

Colin Kelly, Town Planner

Town of Kingsville
2021 Division Road North
Kingsville ON, N9Y 2Y9
ckelly@kingsville.ca

Dear Colin Kelly,

LandSolutions Inc., on behalf of TELUS Communications Inc. (TELUS), has completed the public consultation process for the following telecommunications proposal and is pleased to submit to you this Municipal Concurrence Request Package for your review.

TELUS File:	ON002959
PID:	75146-0072 (LT)
Property Address:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates:	Lat: 42.05460 Long: -82.66136

LandSolutions Inc., on behalf of TELUS, in compliance with the Town of Kingsville's' Telecommunication Policy 2017: Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities, is proposing a new 45m (48m to top of lightning rod) Lattice-Tripole Telecommunications Facility to be placed at 1834 Talbot Road, in the northwestern corner of the property. As per Town of Kingsville protocols, the Municipality Staff, Councillors, MP, ISED, and affected stakeholders within a 120m radius from subject property have been consulted via a mailed public notification on March 12, 2025.

Below is a brief summary of the consultation process that was followed for this file:

- The process met the public consultation requirements of the Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities.
- Public notification packages were provided in both French and English.
- Public notices were mailed to 38 property owners and neighbouring residents within 120m of the subject property on March 12, 2025. Addresses were provided by the Town of Kingsville (see attached)
- Detailed notification packages were emailed to the Town of Kingsville, the local Councillors, Member of Parliament, and ISED.
- A Public Open House information session was held on April 16, 2025 at the Kingsville Arena from 5-7pm to provide residents and community members an opportunity to learn more about the project and voice any concerns.
 - 17 community members attended.
 - 8 completed questionnaires.
 - 2 stakeholders were not within the notification radius – 1 from Kingsville, 1 from Leamington.
 - Two Representatives from the Town attended; Colin Kelly (Town Planner) & Sherri Lowrie (Councillor), 2 TELUS staff, 1 LandSolutions staff, and 1 representative from Roehampton Communications Inc.
 - The main concern raised was interest in an alternate site location. TELUS investigated this option; however, it does not meet coverage requirements. Supporting technical data is attached.
- The public comment period was open until April 23, 2025.
- 10 Stakeholders provided comments 8 against the proposal and 2 in support. All stakeholders received a formal response from LandSolutions (see consultation log and responses attached).
- No further comments or questions have been received on this file after April 23, 2025.

Following the end of the public comment period on April 23, 2025, LandSolutions is submitting to the Town of Kingsville, this consultation summary including all stakeholder feedback and responses to the same.

LandSolutions will continue to engage with Stakeholders if any further comments are received, we will provide copies of the engagement to the Municipality for your records.

LandSolutions' site acquisition process, along with federal and municipal guidelines, have led us to the conclusion that the proposed facility is in a suitable location with consideration having been given to current and proposed land uses. When complete, the facility will provide improved wireless coverage and capacity for high-speed and reliable telecommunications services, including improved access to emergency services.

LandSolutions Inc. on behalf of TELUS, is requesting a Letter of Concurrence from the Town of Kingsville at this time.

Sincerely,
LandSolutions Inc. for TELUS Communications Inc.

A handwritten signature in blue ink, appearing to read 'Levi Hayworth'.

Levi Hayworth
Municipal Affairs & Stakeholder Engagement Specialist
LandSolutions Inc.
1420, 333 11th Avenue SW
Calgary, Alberta, T2R 1L9
T: (403) 930-4667 Ext. 2664
E: comments@landsolutions.ca

For your consideration we have taken the liberty of providing the following information within the Concurrence request package for your review.

1. Drawings
2. Survey
3. Photo Simulations
4. Certificate of Title
5. Letter of Authorization
6. Consultation radius (120m radius from subject property as per Kingsville's Policy)
7. Stakeholder addresses
8. Copy of Public Consultation Notification
9. Consultation Tracker
10. Received Stakeholder feedback
11. Copies of Response to Stakeholders feedback
12. TELUS Justification on Alternate site

Re: Alernate Site

TELUS File: ON002959
PID: 75146-0072 (LT)
Property Address: 1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates: Lat: 42.05460 Long: -82.66136

Please find attached the enhanced, customer-experience-focused coverage maps. These show the areas ("bins") where TELUS customers are currently experiencing poor mobile connectivity. Each of these bins represents real, ongoing service issues affecting residents and businesses alike.

After extensive analysis, we've found that placing a mobile tower at our proposed location would significantly improve connectivity for approximately 74% of affected customers. In comparison, the alternative location at the Water Tower would only address the needs of about 11% of customers. This is primarily because the Water Tower is too far from the core area, experiencing coverage problems.

We understand that some members of the community have expressed concerns about radio frequency (RF) emissions. It's important to note that all TELUS equipment operates well within Health Canada's Safety Code 6 limits, which are among the most stringent in the world. The actual RF exposure levels from TELUS mobile towers are typically at least ten times lower than these conservative safety thresholds. Moreover, better coverage leads to lower overall RF exposure for individuals, as their mobile devices can operate at lower power when connected to a nearby site.

By approving this site, the community will receive the following

- Improved public safety by ensuring reliable access to 911 and emergency services
- Better service for local residents and businesses, especially in a world increasingly dependent on digital connectivity
- A future-ready network capable of supporting smart city initiatives, healthcare access, and economic development.

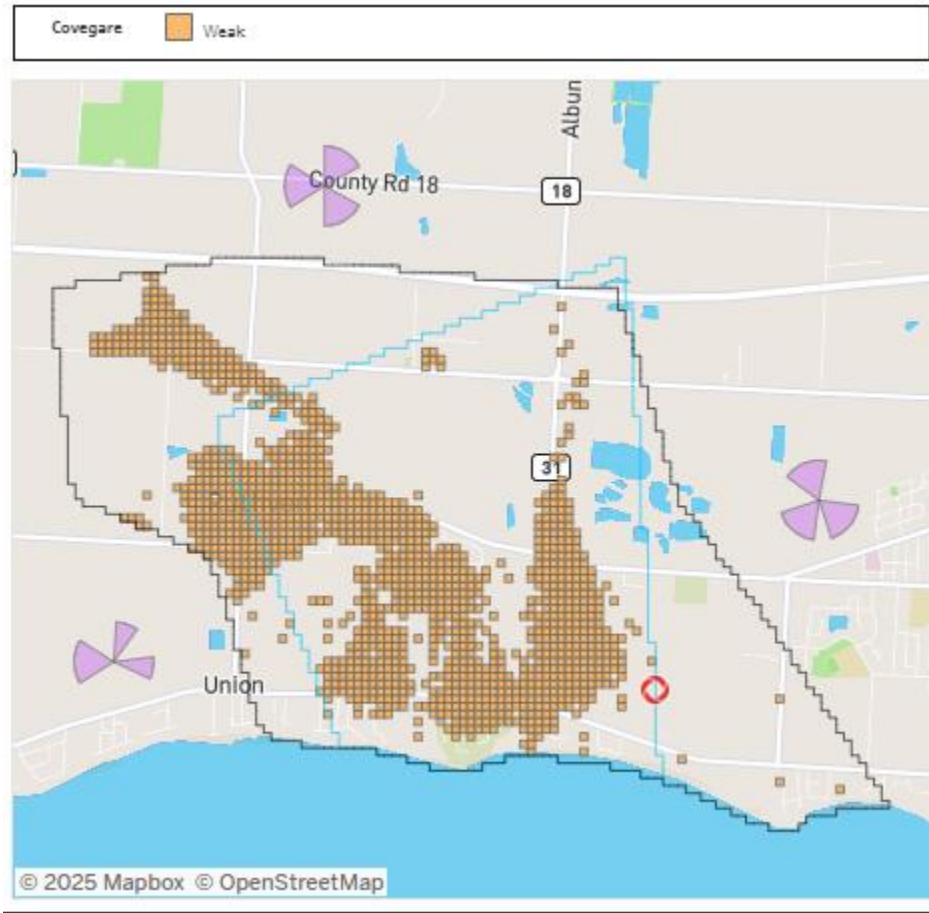
We welcome the opportunity to work with the Town of Kingsville and the community to ensure that this project meets both technical and public interest standards.

Sincerely,
LandSolutions Inc. for TELUS Communications Inc.

A handwritten signature in blue ink, appearing to read 'Levi Hayworth', with a stylized flourish extending to the right.

Levi Hayworth
Municipal Affairs & Stakeholder Engagement Specialist
LandSolutions Inc.

Current Coverage:

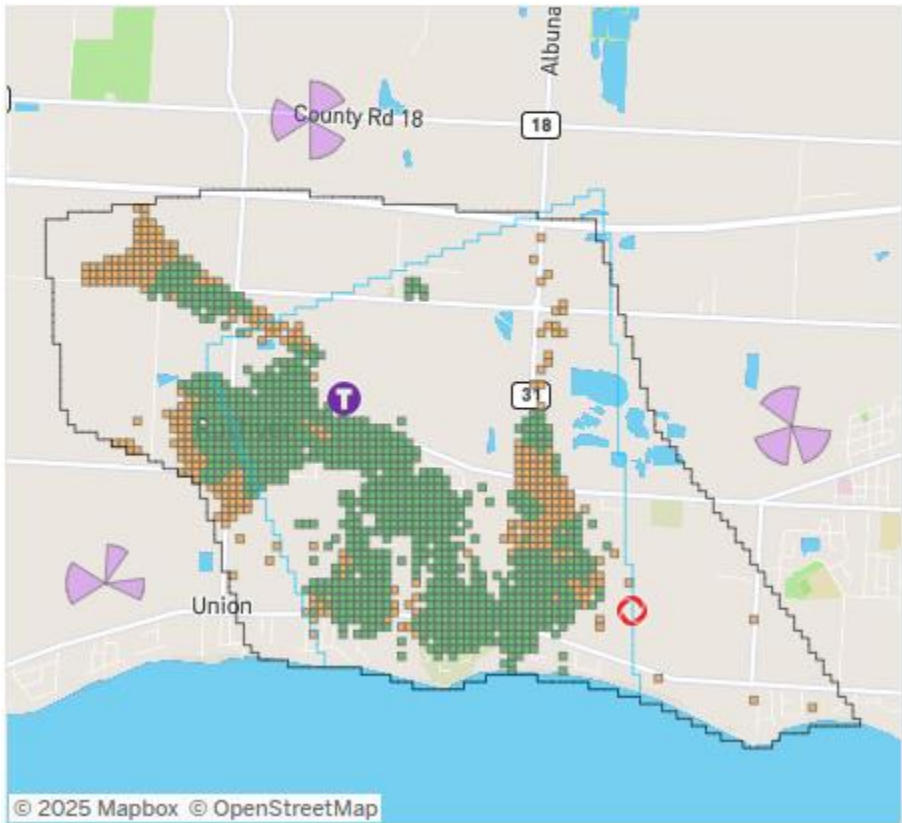


1834 Talbot Rd, Ruthven, ON N0P 2G0

Proposed Tower Location:

	# quadbins	% quadbins	Area Km2	Pop Cove	IMSI Cove	RSRP Gain
Target Area	951	74%	3.06	944	71,325	12.6

Coverage: Improved Weak



Water Tower Location:

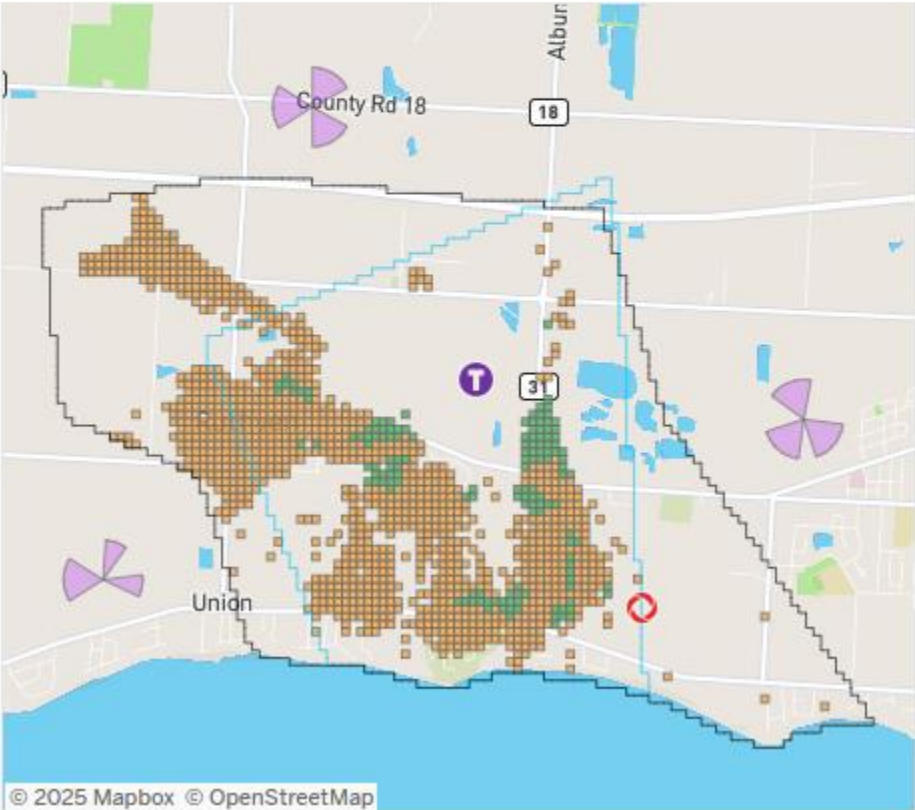
3942+56 Kingsville, ON

	# quadbins	% quadbins	Area Km2	Pop Cove	IMSI Cove	RSRP Gain
Target Area	143	11%	0.46	0	10,725	10.4

Coverage

Improved

Weak



Consultation Summary - ON002959_Kingsville_Talbot								
Design: 45m Lattice Tripole (48m to top of lightning rod)			Coordinates: Lat: 42.05460 Long: -82.66136 Legal: PT LT 11 CON 2 EASTERN DIVISION GOSFIELD PT 2 12R7560, PT 1 12R8513 EXCEPT PT 2 12R8513; S/T R1512287; KINGSVILLE			Civic Address: 1834 Talbot Road, Kingsville, Ontario, N0P 2G0		
Notification Radius: 120m radius from subject property			Number of Notifications Sent: 38			Deadline for Comments: April 23, 2025		
Topic	Name	Contact	Date	End of Response Period	Comments / Notes			
Pre-Consultation			18-Nov-24					
Public Notification Sent			12-Mar-25	April 23,2025				
Newspaper Ad.	N/A							
LUA & Other Groups								
VIP	Name Contact Details	Date Sent	Response Received	Concerns	Acknowledged	Responded	End of Counter Response Period	Comments / Notes
LUA	Colin Kelly, Town Planner Town of Kingsville 2021 Division Road North Kingsville ON, N9Y 2Y9 ckelly@kingsville.ca	13-Mar-25						
Local Elected Official Councillor	Tony Gaffan, Councillor Town of Kingsville 2021 Division Road North Kingsville ON, N9Y 2Y9 tgaffan@kingsville.ca	13-Mar-25						
ISED Southwestern Ontario District Office	Innovation, Science and Economic Development Canada Southwestern Ontario District Office 4475 North Service Road, Suite100 Burlington ON, L7L 4X7 spectrumsodo-spectrebdsoo@ised- isde.gc.ca	13-Mar-25						
Community Association								
MP	Chris Lewis, MP 7B-35 Victoria Avenue Essex, ON, N8M 1M4 Chris.lewis@parl.gc.ca	13-Mar-25						
MPP	Anthony Leardi MPP 310 Thomas Road Amherstburg ON, N9V 2Y9 Anthony.leardi@pc.ola.org	13-Mar-25						
Public Feedback								
Name & Address	Phone & Email	Response Received	Concerns	Acknowledged	Responded	End of Counter Response Period	Comments / Notes	
Landlord Eric and Cindy Zimmer 1834 Talbot Road Ruthven, Ontario, N0P 2G0	519-325-8698 eric@ezautobody.ca							
LandSolutions Inc. 333 - 11 Avenue SW, Suite 1420 Calgary, Alberta T2R 1L9								
PAUL & CAROLE-ANN ABBOTT 73 SATINWOOD CRES LEAMINGTON, ON N8H 4P1								
SHAWN ROBERT & DIANA REAUME 1917 DOLCE VITA AVE KINGSVILLE, ON N9Y 0G5	519-985-9519 shawn_reaume@hotmail.com	16-Apr-25	TELUS users and currently have no issues with coverage, proximity to residences, suggestion to move site to Landfill	24-Apr	24-Apr-25	15-May-25		
JACOB & HELEN NEUFELD 1791 TALBOT RD KINGSVILLE, ON N9Y 2E4								
STOWE TAMMY MARIE SCHROETER STEVEN JAMES OTTO 1841 TALBOT RD KINGSVILLE, ON N9Y 2E4								
JAMES & KAREN PEARCE 1872 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4		16-Apr-25	location, not in my back yard and health concerns	24-Apr	24-Apr-25	15-May-25		
WANG PENG 1912 DOLCE VITA AVE KINGSVILLE, ON N9Y 2E4								
PORRONE CRISTINA BOX 359 1811 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4								
HAROLD JACOB & CAROL ANN WIENS 1880 TALBOT RD KINGSVILLE, ON N9Y 2E4								
PORRONE MARY 1801 TALBOT RD KINGSVILLE, ON N9Y 2E4								
BULL MARKET FARMS INC 2633 ALBUNA TOWNLINE LEAMINGTON, ON N8H 3V5								
CHOBDRDA JEREMY MARTIN 1794 COUNTY RD 34 E KINGSVILLE, ON N9Y 2E4								
CORBEIL STEPHANIE MARIE DIANE TAGGART BRANDON CASEY 1928 VILLACANAL DR KINGSVILLE, ON N9Y 0G5	226-246-9284 brandontaggart1@gmail.com	4-Apr-25	supports the tower	4-Apr	4-Apr-25	25-Apr-25		
MUCCI FARMS LTD 1876 SEACLIFF DR KINGSVILLE, ON N9Y 2N1								

SARAH MARIE & NEIL FOTHERINGHAM BOX 335 RUTHVEN, ON N0P 2G0							
GEORGE JOHN MUNRO MADELEINE 1831 TALBOT RD RR1 KINGSVILLE, ON N9Y 2E4							
HIELDEBRANDT HELEN 547 HWY 77 LEAMINGTON, ON N8H 3V8							
KALIFAHE JACOB 1936 VILLACANAL DR KINGSVILLE, ON N9Y 0G5							
LOCK THOMAS FREITAS-LOCK STEPHANIE 1916 DOLCE VITA AVE KINGSVILLE, ON N9Y 0G5	519-999-1905 sfreitas86@gmail.com	16-Apr-25	Proximity to residential, confusion on process/consultation, suggestion to move to Landfill	24-Apr	24-Apr-25	15-May-25	Stakeholder not familiar with process and felt the project was already approved/moving forward regardless of community input.
WORD OF LIFE COMMUNITY CHURCH OF STAPLES 69 CLARK ST W LEAMINGTON, ON N8H 1E6							
CABRAL DANIEL FAGUNDE 1802 COUNTY RD 34 RR 1 KINGSVILLE, ON N9Y 2E4							
RAM NATH & ESHA CHODHA 1821 TALBOT RD RR# 1 KINGSVILLE, ON N9Y 2E4							
DIMENNA TONY DIMENNA MICHELE ANNETTE PO BOX 68 1700 TALBOT ST W RUTHVEN, ON N0P 2G0	519-796-4197 ruthvennursery@copeco.net	14-Apr-25	Proximity to future residential development	14-Apr	14-Apr-25	5-May-25	The area in question is not with the Towns settlement area and currently has a ban on development due to environmental issues.
ENNS RICHARD HENRY 1818 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
FOX NOBLE EDWIN PO BOX 35 RUTHVEN, ON N0P 2G0							
MARIA & KATHARINA GIESBRECHT 1854 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
HORNE LAURIE SUSAN KLASSEN WILLIAM JOHN 1886 TALBOT RD KINGSVILLE, ON N9Y 2E4							
HARRY GERD & GUGLIELMINA KELLER 1810 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4	519-796-5576 carpenter1810@hotmail.com	16-Apr-25	Proximity to residential, health concerns for local bees	24-Apr	24-Apr-25	15-May-25	
LOESEN FARMS INC PO BOX 249, 1851 ROAD 3 E RUTHVEN, ON N0P 2G0	519-890-9502	March 26, 2025	Asking if Tower could be place on their land		26-Mar-25		Phone call from neighbour to the north in support of the tower and asking if tower could be moved to their land
MENG GUOJIANG 1916 VILLACANAL DR KINGSVILLE, ON N9Y 0G5							
STERLING ACRE FARMS LIMITED 100 OUELLETTE AVE SUITE 1004 WINDSOR, ON N9A 6T3							
TEICHROEB PETER DOSTER MELISSA LYNN 1932 VILLACANAL DR KINGSVILLE, ON N9Y 0G5							
WEST ERIC STEVEN WEST ANNA 1871 TALBOT RD, RR1 KINGSVILLE, ON N9Y 2E4	519-325-0556 eric@futurhockey.com	16-Apr-25	Health concern for children, proximity to residential, suggested landfill location.	24-Apr	24-Apr-25	15-May-25	
GIULIANO & CATHERINE PORRONE 1855 TALBOT RD KINGSVILLE, ON N9Y 2E4							
NOC DEVELOPMENTS 1318 BARKLEY AVE WINDSOR, ON N8P 0E8							
NELDA & GUIDO PORRONE 1875 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
ABRAM & HELENA PENNER 1846 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
Darwin Balde 1776 Talbot Rd Ruthven, ON N0P 2G0	226-788-7919 dawwinbm23@hotmail.com	16-Apr-25	Proximity to residential	24-Apr	24-Apr-25	15-May-25	Stakeholder is not within notification radius but a resident of Kingsville
Frank Coppola 30 Carter Ave Leamington	519-324-5366 papcoppola1@hotmail.com	16-Apr-25	Safety concerns, proximity to residential, environmental (bees)	24-Apr-25	24-Apr-25	15-May-25	*stakeholder is not a resident of Kingsville, just a concerned community member (From neighbouring town of Leamington)

TELUS ON002959 Consultation Radius
120m radius from subject property as per Town of Kingsville Policy 2017





LANDSOLUTIONS

Cell tower is proposed within
100 metres of this residence.
Information is enclosed.

Cell tower is proposed within
100 metres of this residence.
Information is enclosed.

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Information is enclosed.



SIGN-IN SHEET

ON002959

Public Open House & Information Session

April 16, 2025

This information **will not** be used for marketing purposes

* indicates stakeholders who completed questionnaire

	NAME	ADDRESS
* 1	Karen Pearce	1872 talbot west Kingsville ONT
2	Anne Daniels	1802 County Rd 34
3	Dan Cabral	1802 County Rd 34.
* 4	HARRY KELLER	1810 County Rd 34.
* 5	Mina Keller	1810 County Rd. 34
* 6	Frank Coppock	30 Carter Ave.
* 7	Eric West	1871 Talbot
8	Anna West	1871 Talbot
9	Tom Lock	1916 Dolce Vita Ave
* 10	Steph Lock	1916 Dolce Vita Ave
11	Nelson Andrade	1784 Talbot Rd
12	Branouy Fram	1784 Talbot Rd
13	Diana Reaume	1917 Dolce Vita Ave
* 14	Shawn Reaume	1917 Dolce Vita Ave.



SIGN-IN SHEET

ON002959

Public Open House & Information Session

April 16, 2025

This information will not be used for marketing purposes

	NAME	ADDRESS
15	TOMY Dioneana	1766 TALBOT RD. RUTHVEN
16	Darwin Bards	1876 Talbot Kd Ruthven.
17	Fino Porrone	1801 Talbot Rd Kingsville
18		
19		
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*

From: Comments <comments@landsolutions.ca>
Sent on: Friday, April 4, 2025 7:45:47 PM
To: brandontaggart1@gmail.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Taggart 04 04 2025

Hi Brandon,

Thank you for taking the time to share your support regarding the proposed TELUS telecommunications facility at 1834 Talbot Road, Kingsville, ON (TELUS ON002959).

If you would like any additional information we invite you the Open House held on April 16, 2025 from 5-7pm,

Kingsville Arena Complex – Room B

1741 Jasperson Dr
Kingsville ON, N9Y 3J4

TELUS is committed to working with the community and operating in accordance with **ISED Canada's Client Procedures Circular CPC-2-0-03**. As part of this consultation, stakeholders are invited to submit any additional written comments **within 21 days** of this correspondence.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca

Comment Sheet – ON002959

Send by Fax to (403) 290-0050 or email at comments@landsolutions.ca
or Mail to TELUS c/o LandSolutions Inc.

Suite 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9

Proposed TELUS Telecommunications Facility
1834 Talbot Road, Kingsville, Ontario, N0P 2G0

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why?

Our Property (West) of proposed tower, is
going to be residential subdivision.

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments:

4. Other comments (please attach pages if more space is needed):

I would suggest the North/East corner
of that proposed property

This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. Please write legibly. Thank you.

Name:

Tony DIMENNA

Address:

11096 TALBOT Rd. WEST. Ruthven

Postal Code:

N0P 2G0.

Phone:

519-796-4197

Email:

ruthvennursery@cageco.net



To Whom It May Concern,

LandSolutions Inc., on behalf of TELUS Communications Inc. (TELUS) is pleased to share with you this site proposal information package for your review, with information for nearby landowners about the proposed telecommunications facility at the location listed below:

TELUS File:	ON002959
PID:	75146-0072 (LT)
Property Address:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates:	Lat: 42.05460 Long: -82.66136

Location and Site Context

TELUS is proposing to construct a 45m (48m to top of lightning rod) lattice tri-pole telecommunications tower and supporting equipment shelter at this location. The proposed tower will be located within the northeast corner of an existing yard where a commercial auto business is ran, E-Z Auto body. To the west north and east of the proposed site is agricultural farmland. The residential residence is 110m to the south.

Proposed Facility Map

Due to a variety of circumstances, including the distance between the existing towers and growing number of wireless users in the area, TELUS produced a search area for a needed telecommunications facility. As a result, TELUS has secured a site as indicated on the map below. TELUS Radio Engineering Department selected this site as an appropriate location to improve wireless service for users in the area.

Google Earth Satellite Image of the Proposed Site



From: Comments <comments@landsolutions.ca>

Sent on: Monday, April 14, 2025 6:51:57 PM

To: ruthvennursery@cogeco.net

Subject: ON002959 TELUS Telecommunications Facility at 1834 Talbot Road, Kingsville, ON_Stakeholder Response_Tony Dimenna 14 04 2025

1696 Talbot Rd. West Ruthven, ON

Dear Mr. Tony Dimenna,

Thank you for taking the time to share your concerns regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and value the feedback of community members like yourself.

We understand that your primary concern is the proximity of the proposed facility to potential residential developments to the west. While no formal submissions have been made regarding the development of the neighbouring agricultural land at this time, we acknowledge the possibility of future residential growth in this area.

TELUS is committed to meeting the growing network demands in Kingsville, especially as new developments and coverage needs emerge. As such, new infrastructure is necessary to support both existing and future residential and business needs. The proposed site at 1834 Talbot Road was carefully selected to address coverage gaps and improve network reliability for current and future residents and businesses in Kingsville. We are actively reviewing all community feedback.

You are also warmly invited to attend our upcoming Open House Information Session:

Date: Wednesday, April 16, 2025

Time: 5:00 p.m. – 7:00 p.m.

Location: Kingsville Arena, Room B

1741 Jaspersen Drive

Kingsville, ON N9Y 3J4

This session will provide an opportunity to meet TELUS representatives, learn more about the project, and have your questions answered directly. We encourage your participation and look forward to connecting with you in person.

Should you have any further questions or wish to submit additional comments, please do not hesitate to contact us.

Thank you once again for your valuable feedback. TELUS remains committed to working with the community and operating in accordance with ISED Canada's *Client Procedures Circular CPC-2-0-03*. As part of this consultation process, stakeholders are invited to submit any additional written comments within 21 days of this correspondence.

Sincerely,

LandSolutions, on behalf of TELUS

Levi Hayworth

Municipal Affairs & Stakeholder Engagement

comments@landsolutions.ca



Comment Sheet – ON002959

Send by Fax to (403) 290-0050 or email at comments@landsolutions.ca

or Mail to TELUS c/o LandSolutions Inc.

Suite 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9**Proposed TELUS Telecommunications Facility
1834 Talbot Road, Kingsville, Ontario, N0P 2G0**

1. Are you a cellular telephone or wireless internet user?

☒ Yes☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes☒ NoIf no, why? Proximity much too close to residence.

3. Are you satisfied with the design of the proposed facility?

☐ Yes☒ No

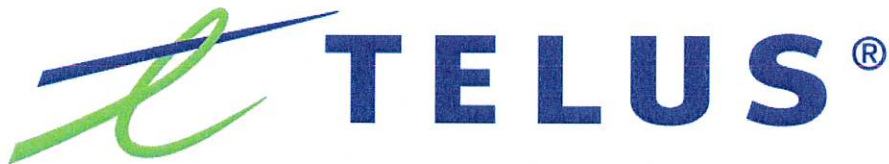
Comments: _____

4. Other comments (please attach pages if more space is needed):

We oppose the potential health risks, property value impacts,
& environmental concerns the proposed cell tower poses on
the community & residences in close proximity (within 400 m).
Alternative solutions such as using existing infrastructure or other technologies should
be explored instead.

This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. Please write legibly. Thank you.

Name: Diana BeaumeAddress: 1917 Dolce Vita Ave. Kingsville, ONPostal Code: N94 0G5Phone: 647-504-3422Email: d-april-310@hotmail.com



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? We are Telus users & have NO ISSUES with
coverage in our area

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☐ No

Comments: The design is fine. The location is NOT.
Proximity to residential neighbourhood unacceptable

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments: _____

5. Other comments:

Please see neighbourhood proposal to relocate to
the waste/landfill facility instead of

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Shawn Reaume

Address:

1917 Duke Vita Ave

Kingsville, ON N94 0G5

Phone:

519-985-9519

Email:

shawn_reaume@hotmail.com

From: Comments <comments@landsolutions.ca>

Sent on: Thursday, April 24, 2025 3:16:54 PM

To: shawn_reaume@hotmail.com

Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Shawn Reaume 24 04 2025

Dear Mr. Shawn Reaume,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concern about the proposed location's proximity to residential areas and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increased wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water tower or landfill—may provide a technically viable and community-supported solution.

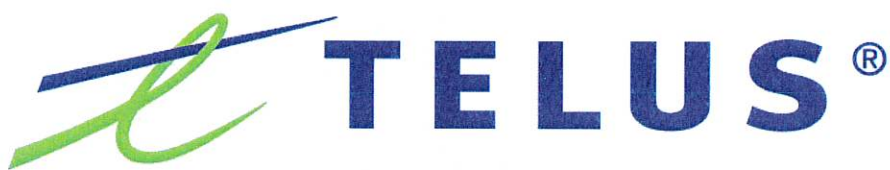
Should you have any further questions or wish to submit additional comments, please don't hesitate to contact us.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's *Client Procedures Circular CPC-2-0-03*. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☐ No

If no, why? close to residential areas, there are
surrounding areas with more industrial like
features more suitable for this tower.

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☐ No

Comments: do we have a choice?

4. Do you feel that the community consultation process was effective and informative?

☐ Yes

☒ No

Comments: community consultation was done
after the fact, after decisions were made.

5. Other comments:

move to transfer station,

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Steph Lock

Address:

1914 Dolce Vita Ave

Kingsville, ON N9Y 0G5

Phone:

519-999-1905

Email:

sfreitas86@gmail.com

From: Comments <comments@landsolutions.ca>
Sent on: Thursday, April 24, 2025 4:10:03 PM
To: sfreitas86@gmail.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Steph Lock 24 04 2025

Dear Steph Lock,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concerns regarding the proposed location's proximity to residential areas, and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

TELUS adheres to all federal safety regulations, including Health Canada's Safety Code 6, which sets strict limits on radiofrequency (RF) exposure. Our facilities operate well below these limits, ensuring the safety of the public, including children. Independent scientific research continues to affirm that wireless infrastructure complying with these standards is safe.

This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increasing wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water towers or landfill—may provide a technically viable and community-supported solution.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? IN MY BACKYARD. TOO CLOSE TO RESIDENTIAL
COMMUNITY. HAVE AN APIARY WITHIN 70m and
RF is hazardous for the survival of Bees

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments: Yes we had a good discussion
We agreed to disagree

5. Other comments:

The tower should be located at the old
landfill site or on the tower

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

HARRY KELLER

Address:

1810 County Rd 34

Phone:

519-796-5576

Email:

carpenter1810@hotmail.com



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? Right in my backyard.

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments: _____

5. Other comments:

The tower should be located at the
old town landfill

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name: Mina Keller

Address: 1810 County Rd. 34

Kingsville, Ont. N9Y 2E4

Phone: 519-566-3555

Email: _____

From: Levi Hayworth <lhayworth@landsolutions.ca>

Sent on: Thursday, April 24, 2025 3:34:53 PM

To: carpenter1810@hotmaill.com

Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Harry Keller 24 04 2025

Dear Mr. Harry Keller,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We also appreciate your attendance at the recent open house and your participation in the community engagement process. Your involvement is vital in ensuring the development reflects the needs and values of the community.

We understand your concerns about the proposed location's proximity to residential areas, as well as your suggestion to consider alternative sites such as the Kingsville landfill. TELUS carefully evaluates a range of factors when selecting a location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

This location was identified to address existing service gaps and improve network reliability for residents and businesses in Kingsville—needs that continue to grow alongside increasing wireless usage. That said, we are actively reviewing all community feedback, including your input, to assess whether alternative sites—such as the water tower or landfill—may offer a technically viable and publicly supported solution.

In addition, we acknowledge your concerns about potential environmental impacts, particularly regarding local bee populations. TELUS is committed to environmental stewardship, and as part of our planning process, we conduct environmental assessments as required to identify and mitigate potential effects on local ecosystems and wildlife. We will ensure that environmental best practices are followed throughout the planning and development phases of this project.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Should you have further questions or wish to provide additional feedback, please do not hesitate to contact us.

Sincerely,

LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why?

way to close to children

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments:

Move to less populated area

→ landfill, 3rd concession or more NORTH/Hwy 1

→ Water tower @ Albina, put tower near it. Secure gated access. Town property → give money to the town & invest in something for the children

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments:

5. Other comments:

If landfill train can hold the water tower, it can surely hold a cell tower.

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Eric West

Address:

1871 Talbot

Phone:

519-325-0556

Email:

Eric@Futurhockey.com

From: Comments <comments@landsolutions.ca>

Sent on: Thursday, April 24, 2025 4:03:13 PM

To: eric@futura hockey.com

Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Eric West 24 04 2025

Dear Mr. Eric West,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concerns regarding the proposed location's proximity to residential areas, particularly in relation to the health and safety of children, and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

TELUS adheres to all federal safety regulations, including Health Canada's Safety Code 6, which sets strict limits on radiofrequency (RF) exposure. Our facilities operate well below these limits, ensuring the safety of the public, including children. Independent scientific research continues to affirm that wireless infrastructure complying with these standards is safe.

This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increasing wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water towers or landfill—may provide a technically viable and community-supported solution.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,

LandSolutions, on behalf of TELUS

Levi Hayworth

Municipal Affairs & Stakeholder Engagement

comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☐ Yes

☒ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? too close to both of my residential
properties 1876 & 1776 Talbot Rd

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☐ Yes

☒ No

Comments: One of my neighbours informed and
not the company

5. Other comments:

I would prefer a different location to
the old land field site.

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Darwin Baide

Address:

1776 Talbot Rd Ruthven ON N0P 2S0

1876 Talbot Rd Ruthven ON

Phone:

226 788 7919

Email:

darwinbm23@hotmail.com.

From: Comments <comments@landsolutions.ca>

Sent on: Thursday, April 24, 2025 3:26:23 PM

To: darwinbm23@hotmail.com

Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Darwin Baide 24 04 2025

Dear Darwin Baide,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concern about the proposed location's proximity to residential areas and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increased wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water tower or landfill—may provide a technically viable and community-supported solution.

Should you have any further questions or wish to submit additional comments, please don't hesitate to contact us.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's *Client Procedures Circular CPC-2-0-03*. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

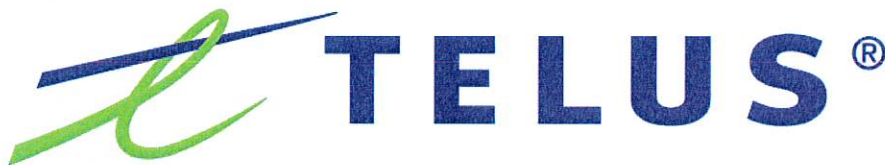
Sincerely,

LandSolutions, on behalf of TELUS

Levi Hayworth

Municipal Affairs & Stakeholder Engagement

comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. ☒ Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why?

safety issues. EMF not good for Humanity

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments:

Keep it Further away from Residents and Residential areas

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments:

Need more safety data research and statistics on long term effects on People.

5. Other comments:

Im not in affected area but a concerned citizen. Also concerned about bees and polinators.

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Frank Coppola

Address:

30 Carter Ave. Leamington

Phone:

519-324-5366

Email:

papacoppola1@hotmail.com

From: Levi Hayworth <lhayworth@landsolutions.ca>
Sent on: Thursday, April 24, 2025 3:45:15 PM
To: papacoppola1@hotmail.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Frank Coppola 24 04 2025

Dear Frank Coppola,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your participation in the engagement process and your commitment to ensuring that this development reflects the needs and values of the Kingsville community.

We understand and acknowledge your concerns regarding the proximity of the proposed site to residential areas, your suggestion to explore alternative locations such as the Kingsville landfill, and your questions about the long-term health effects of radiofrequency (RF) exposure. Additionally, we recognize your concern about potential environmental impacts—particularly regarding local bee populations.

TELUS carefully considers a variety of factors when identifying a site for infrastructure, including technical requirements for coverage, land-use compatibility, property availability, and proximity to users. This location was selected based on the need to address existing coverage gaps and enhance network reliability for residents and businesses in Kingsville—needs that continue to grow with increased wireless demand. That said, we are actively reviewing all community feedback, including yours, to evaluate whether alternative sites—such as the Kingsville water tower or landfill—may provide a technically feasible and community-supported solution.

In regard to health concerns, TELUS facilities are designed and operated in full compliance with **Health Canada's Safety Code 6**, which sets science-based limits for safe human exposure to RF energy. These guidelines are among the most stringent in the world and are supported by international health authorities, including the World Health Organization. TELUS facilities operate well below these established safety limits.

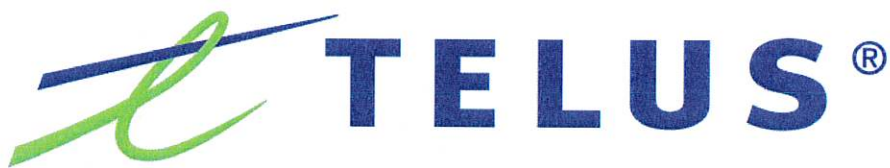
We also share your concern for local ecosystems and pollinator species such as bees. TELUS is committed to environmental stewardship. As part of our planning process, we conduct environmental assessments as required and follow environmental best practices to identify, avoid, and mitigate any potential impacts on wildlife, including pollinators.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

If you have any further questions or comments, please do not hesitate to contact us.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☐ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? in the wrong spots

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☐ Yes

☒ No

Comments: _____

5. Other comments:

Dont want the things in my backyard
in my back cause health problems for ever

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Karen Pearce

Address:

1872 14th Road West Kingsville
N9Y 3E4

Phone: _____

Email: _____

To Whom It May Concern,

LandSolutions Inc., on behalf of TELUS Communications Inc. (TELUS) is pleased to share with you this site proposal information package for your review, with information for nearby landowners about the proposed telecommunications facility at the location listed below:

TELUS File:	ON002959
PID:	75146-0072 (LT)
Property Address:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates:	Lat: 42.05460 Long: -82.66136

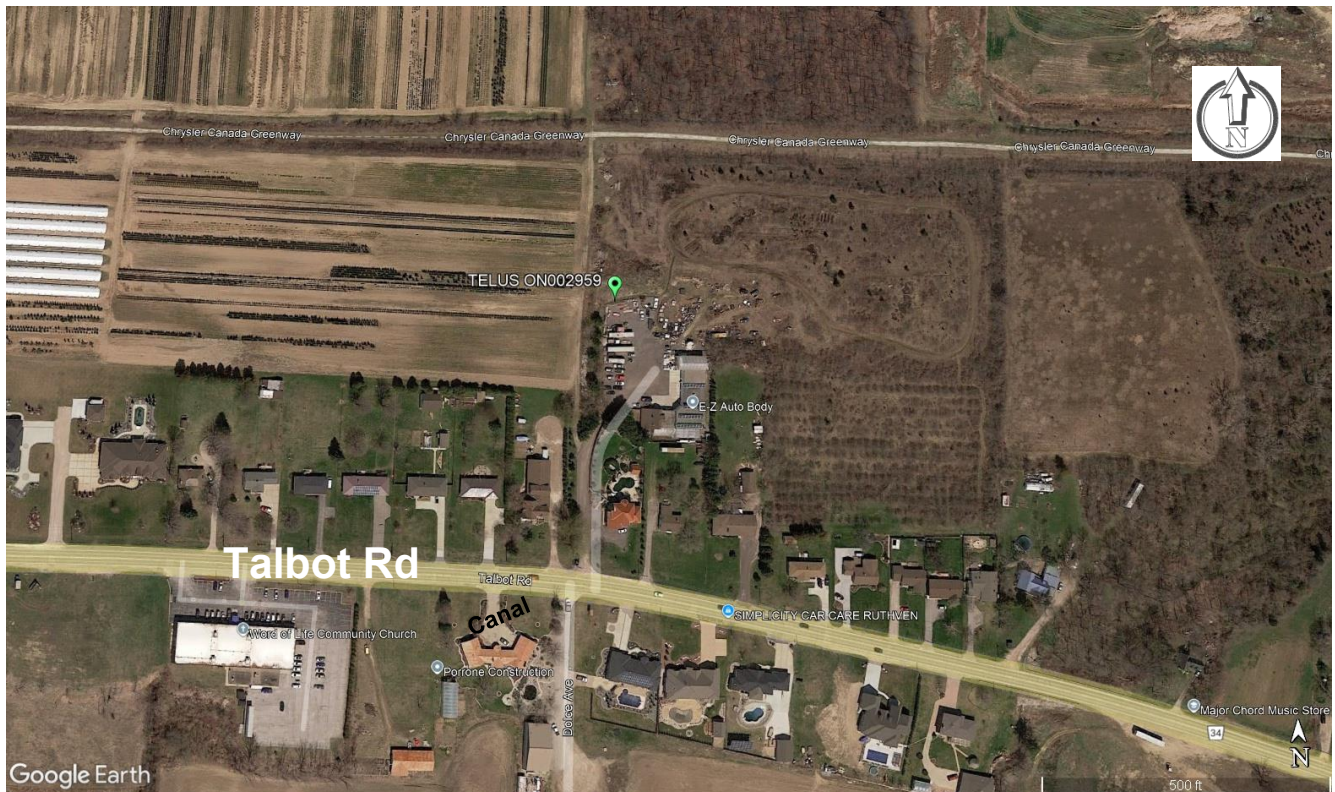
Location and Site Context

TELUS is proposing to construct a 45m (48m to top of lightning rod) lattice tri-pole telecommunications tower and supporting equipment shelter at this location. The proposed tower will be located within the northeast corner of an existing yard where a commercial auto business is ran, E-Z Auto body. To the west north and east of the proposed site is agricultural farmland. The residential residence is 110m to the south.

Proposed Facility Map

Due to a variety of circumstances, including the distance between the existing towers and growing number of wireless users in the area, TELUS produced a search area for a needed telecommunications facility. As a result, TELUS has secured a site as indicated on the map below. TELUS Radio Engineering Department selected this site as an appropriate location to improve wireless service for users in the area.

Google Earth Satellite Image of the Proposed Site



Site Selection and Co-Location

Among the factors considered during the site selection process are expected usage patterns of wireless service, local terrain, interaction with existing radio base stations, and line of sight requirements for high quality communication. Each site that is investigated must go through an internal review by radio frequency, transmission and civil engineering groups in order to qualify.

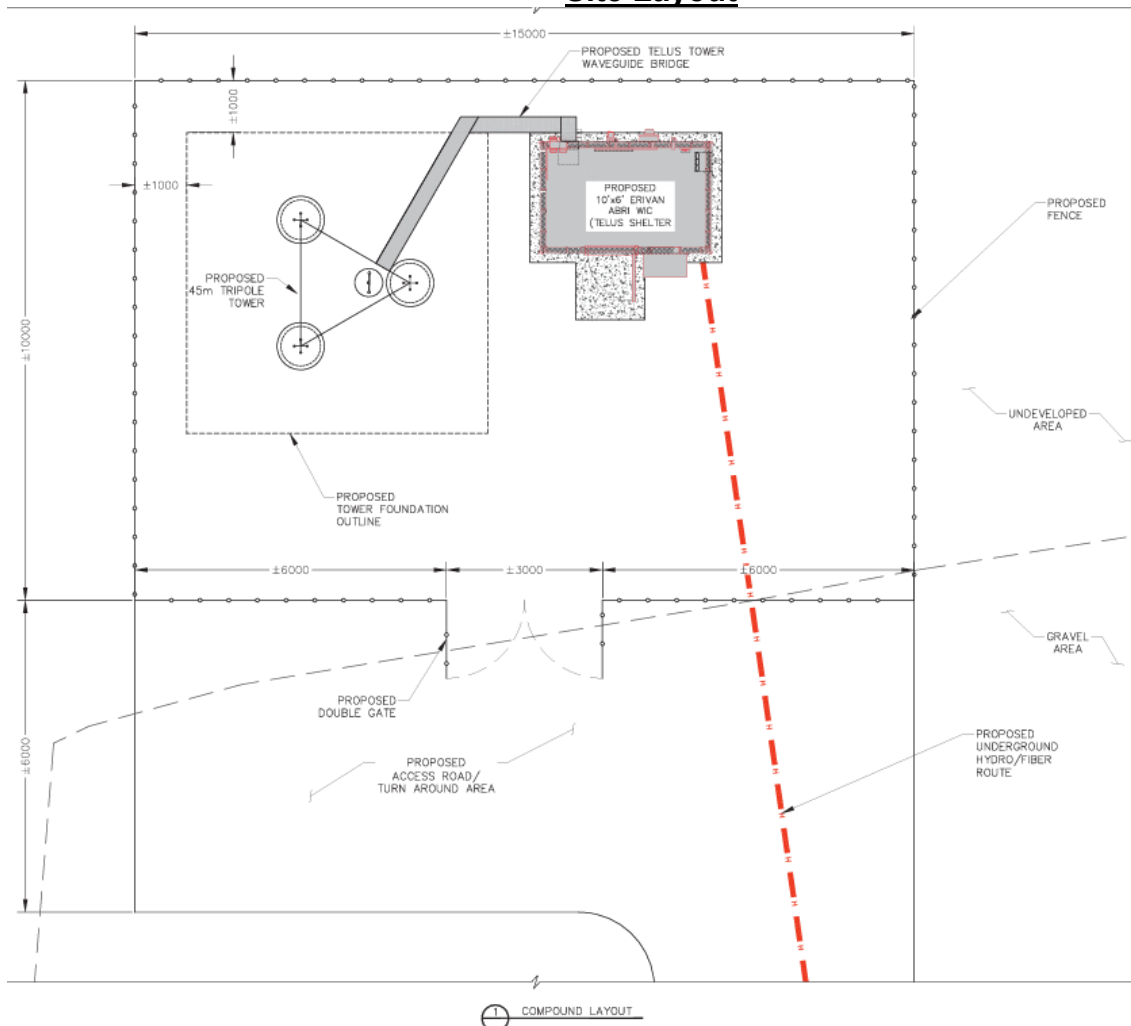
Before building a new antenna-supporting structure, Innovation, Science and Economic Development Canada (ISED) requires that the proponent (TELUS) first explore the following options:

- consider sharing an existing antenna system, modifying or replacing a structure if necessary.
- locate, analyze and attempt to use any feasible existing infrastructure such as rooftops, water towers etc.

During the site selection process for this proposed facility, TELUS determined that there are no suitable co-locate opportunities within 1 km of the proposed location.

In addition, TELUS will welcome future tower sharing opportunities on this proposed tower as per ISED's guidelines. At the time of this notification, TELUS anticipates having space available for future sharing proponents below 25m on the tower. TELUS will respond to a request to share in a timely fashion and will negotiate in good faith to facilitate sharing where feasible following standard collocation procedures.

Site Layout



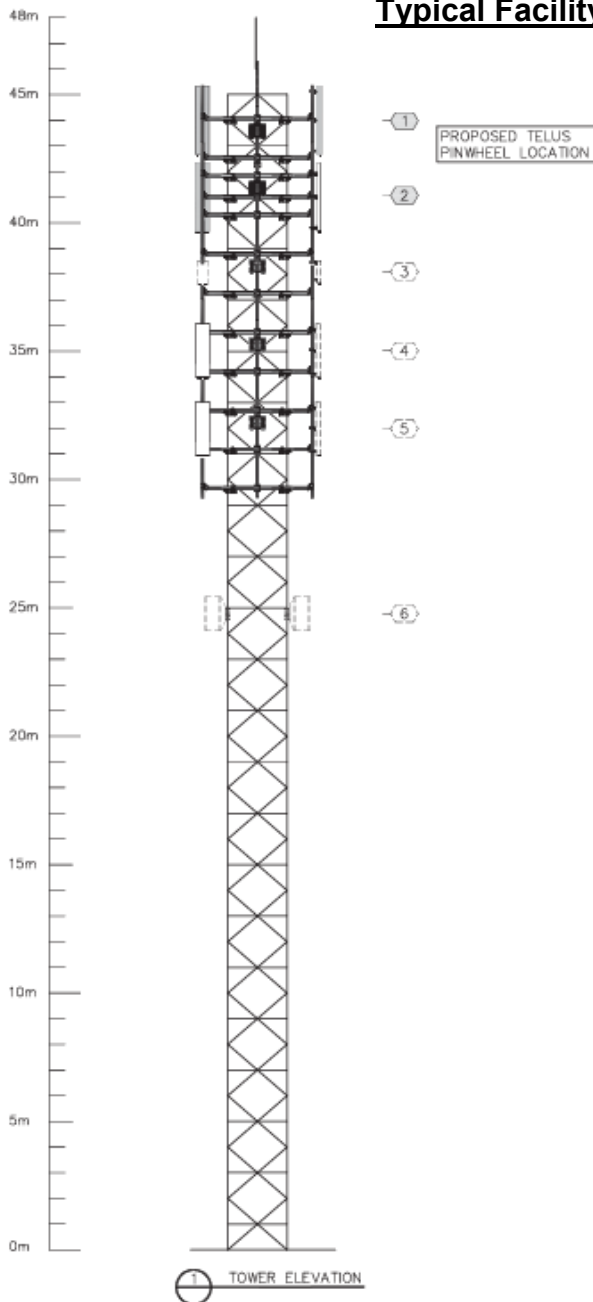
Site Access

For construction and maintenance, access will be from the existing property access from Talbot Rd and through the parking lot of E-Z Auto Body.

Site Information

The design is a 45m (48m to top of lightning rod) lattice tri-pole tower facility within a fenced premise, as shown on the above drawing. TELUS proposes to install an equipment shelter within the fenced portion of the premises. The shelter will house equipment necessary for the operation of the telecommunications facility. The shelter will be armed with a 24-hour alarm system to ensure protection from vandalism and to warn for environmental concerns such as flooding or fire. Twelve (12) initial panel-style antennas measuring approximately 2.6m x 0.5m, will be installed at the top of the tower.

Typical Facility Profile and Photo Simulations



Construction and Maintenance

The construction period will last four to six weeks and once completed the facility will remain unoccupied. The only traffic generated at this site will be for routine monthly maintenance visits.

LandSolutions Inc., on behalf of TELUS, attests that the installation will respect good engineering practices including structural adequacy.

Aeronautical Approvals

All necessary Transport Canada and NAV Canada approvals and lighting requirements will be obtained by TELUS and provided upon request. Currently, TELUS does not expect Transport Canada to require tower lighting (top) due to the height and location of the proposed facility.

Environmental Health Standards / Safety Code 6 Guidelines

ISED requires that the installation and modification of antenna systems be done in a manner that complies with appropriate environmental legislation. This includes the Impact Assessment Act (IAA), formerly the Canadian Environmental Assessment Act (CEAA) and local environmental assessment requirements where required by the IAA.

LandSolutions Inc., on behalf of TELUS, attests that the radio antenna system described in this notification does not qualify as a Designated Project under the IAA, formerly CEAA and is excluded from environmental assessment.

ISED manages the radio communications spectrum in Canada. Among other requirements, ISED requires telecommunications facilities to comply with guidelines established by Health Canada in order to protect people who live or work near these facilities.

These Health Canada safety guidelines are outlined in their 'Safety Code 6' document and are among the most stringent in the world. All TELUS facilities meet or exceed these standards. LandSolutions Inc., on behalf of TELUS, attests that the radio installation described in this notification package will be installed and operated on an ongoing basis to comply with Health Canada's Safety Code 6, as may be amended from time to time, for the protection of the public, including any combined effects of nearby installations within the local radio environment.

Map of Notification Area of 120m Radius from Subject Property

Approximate radius shown below, notification radius determined by Telecommunication Policy 2017 Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities





Public Consultation

LandSolutions Inc., on behalf of TELUS is following the Town of Kingsville's "*Telecommunication Policy 2017 Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities*" which requires notification of landowners within a radius of 120m from subject property and an Open House Information session. Please submit written comments within 30 days of receipt of this package. Upon receiving any comments from the public, LandSolutions Inc. on behalf of TELUS will respond to all feedback and will deliver a formal submission to the Town requesting support for this proposal.

An Open House will be held on **April 16, 2025**, from 5:00pm-7:00pm at the below address;

**Kingsville Arena Complex – Room B
1741 Jasperson Dr
Kingsville ON, N9Y 3J4**

Written comments posted on or before April 23, 2025, will be included in the formal submission package.

Please contact our office to discuss the proposed facility with representatives from LandSolutions Inc. at comments@landsolutions.ca or 1-866-834-0008.

This site proposal information package is in accordance with the requirements of ISED's Radiocommunication and Broadcasting Antenna Systems.



Conclusion

Wireless communications contribute to the quality of everyday life. This proposed site will satisfy demand for better service to current and future subscribers in the area.

If you have any questions, or require further information about the proposed facility, please feel free to contact:

LandSolutions Inc. for TELUS

Levi Hayworth
Municipal Affairs and Stakeholder Engagement Specialist
1420, 333 – 11 Avenue SW
Calgary, AB T2R 1L9
P. 403-930-4667 Ext. 2664
F. 403-290-0050
E. comments@landsolutions.ca

Town of Kingsville

Colin Kelly
Town Planner
2021 Division Road North
Kingsville ON, N9Y 2Y9
P. 519-733-2305 ext. 248
E. ckelly@kingsville.ca

Innovation, Science and Economic Development Canada Southwestern Ontario District Office

4475 North Service Road, Suite 100
Burlington, ON L7L 4X7
T. 1-855-465-6307
F. 905-639-6551
E. ic.spectrumswodo-spectrebdsoo.ic@canada.ca

Industry and Health & Safety Information

<http://www.ic.gc.ca/towers>
<http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf11467.html>
http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio_guide-lignes_direct-eng.php
<https://www.canada.ca/en/health-canada/services/consumer-radiation/safety-cell-phones-cell-phone-towers.html>
http://www.hc-sc.gc.ca/hl-vs/alt_formats/pacrb-dgapcr/pdf/iyh-vsv/prod/cell-eng.pdf
<https://canadatelecoms.ca/knowledge-centre/>
<http://www.TELUS.com>



Comment Sheet – ON002959
Send by Fax to (403) 290-0050 or email at comments@landsolutions.ca
or Mail to TELUS c/o LandSolutions Inc.
Suite 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9

Proposed TELUS Telecommunications Facility
1834 Talbot Road, Kingsville, Ontario, N0P 2G0

1. Are you a cellular telephone or wireless internet user?

☐ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☐ No

If no, why? _____

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☐ No

Comments: _____

4. Other comments (please attach pages if more space is needed):

This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. Please write legibly. Thank you.

Name: _____

Address: _____

Postal Code: _____

Phone: _____

Email: _____

À qui de droit,

LandSolutions Inc., qui agit au nom de TELUS Communications Inc. (TELUS), a le plaisir de partager avec vous cette trousse d'information concernant la proposition d'un site de télécommunications. Ce document a été réalisé pour informer les propriétaires fonciers à proximité du site proposé et leur fournir des détails relatifs à cette proposition.

Référence TELUS:	ON002959
PID:	75146-0072 (LT)
Adresse:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordonnées:	Lat: 42.05460 Long: -82.66136

Emplacement et contexte du site

TELUS propose de construire une tour de télécommunications tripolaire en treillis de 45 m (48m jusqu'au sommet du paratonnerre) et un abri pour l'équipement de soutien à cet endroit. La tour proposée sera située dans le coin nord-est d'un chantier existant où est exploitée une entreprise automobile commerciale, E-Z Auto body. À l'ouest, au nord et à l'est du site proposé se trouvent des terres agricoles. La résidence résidentielle est à 110m au sud.

Zone de recherche des installations proposées

En raison de diverses circonstances, y compris la distance entre les tours existantes et le nombre croissant d'utilisateurs de services sans fil dans la région, TELUS a produit une zone de recherche afin de cibler un emplacement optimal pour un nouveau site de télécommunication permettant d'améliorer le service sans fil dans la région.

Image satellite Google Earth du site proposé



Sélection du site et co-location

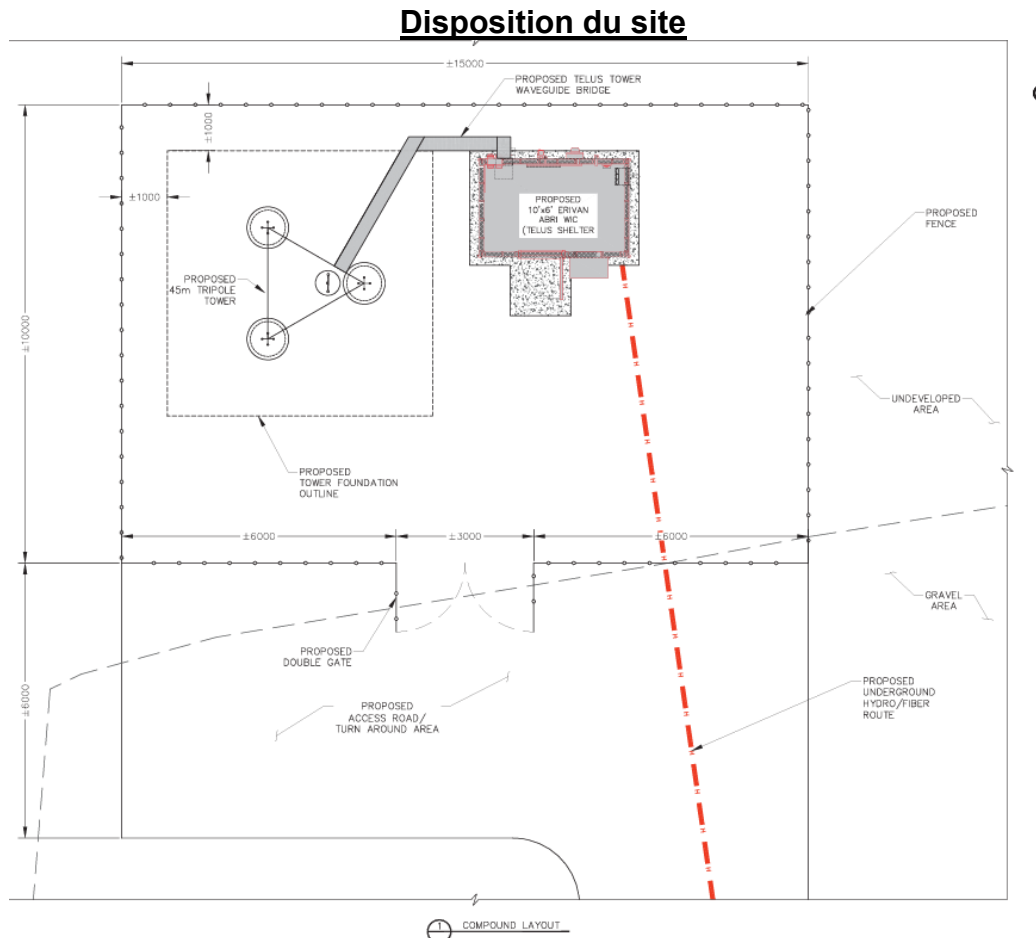
Parmi les facteurs qu'on se doit de prendre en considération lors du processus de sélection du site, il y a les modèles de prévision de la couverture désirée du service sans fil, la topographie de la zone de recherche, l'interaction avec les sites de télécommunications existants et les exigences de visibilité directe pour une communication de haute qualité. Chaque proposition de site doit faire l'objet d'un examen interne par des groupes spécialisés en radiofréquence, en transmission et en génie civil afin de déterminer si la proposition répond aux critères attendus.

Avant de construire une nouvelle structure de support d'antenne, Innovation, Sciences et Développement économique Canada (ISDE) exige que le promoteur (TELUS) explore d'abord les options suivantes :

- envisager de partager un système d'antenne existant, modifier ou remplacer une structure si nécessaire.
- localiser, analyser et tenter d'utiliser toute infrastructure existante telle que les toits, les châteaux d'eau, etc.

Le processus de sélection, a permis à TELUS a de déterminer qu'il n'y a pas de possibilité de partager des structures existantes appropriées à moins de 1 km de l'emplacement proposé.

De plus, TELUS accueillera favorablement les futures occasions de partage de pylônes sur cette tour proposée, conformément aux lignes directrices d'ISED. Au moment de la présente notification, TELUS prévoit avoir de l'espace disponible pour les futurs promoteurs de partage à moins de 25 m sur la tour. TELUS répondra à une demande de partage en temps opportun et négociera de bonne foi pour faciliter le partage dans la mesure du possible en suivant les procédures de colocation standard.



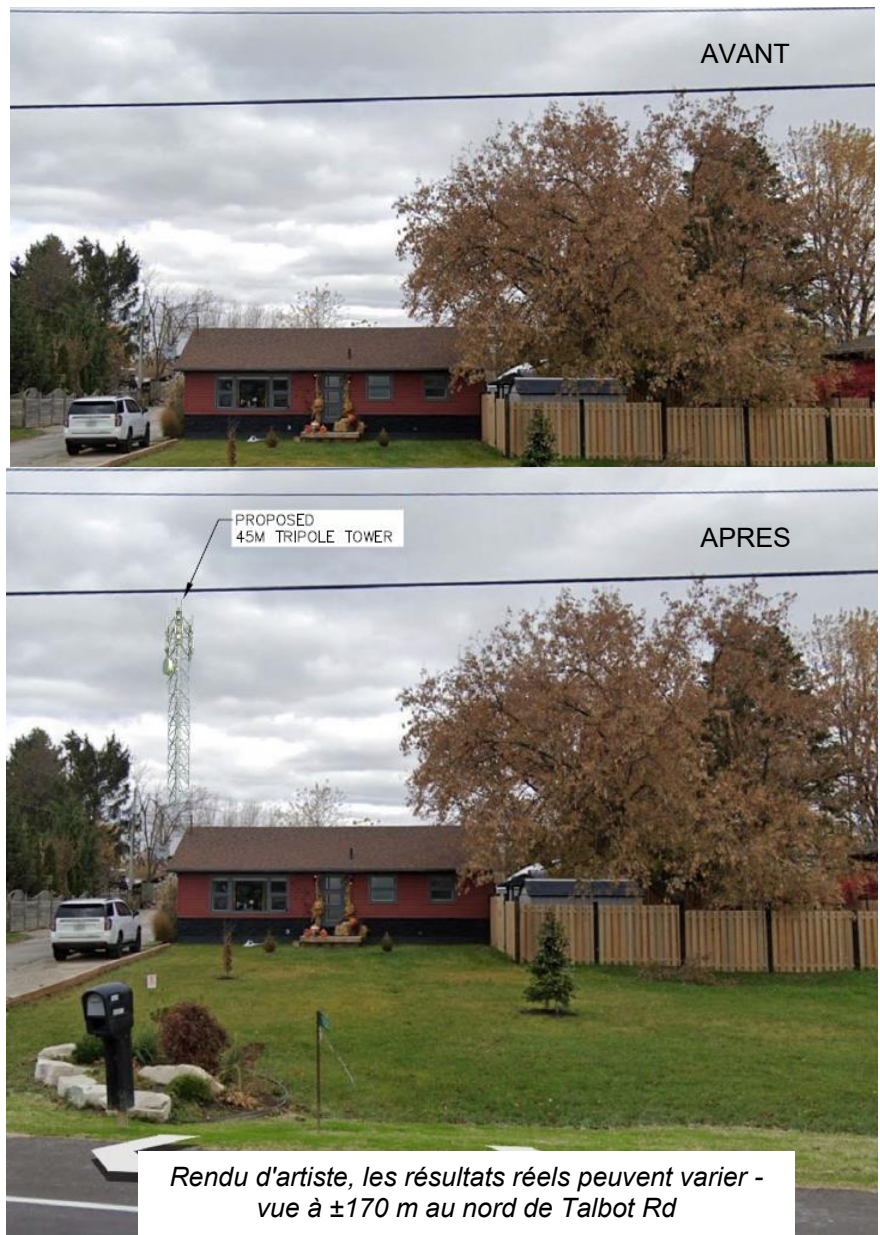
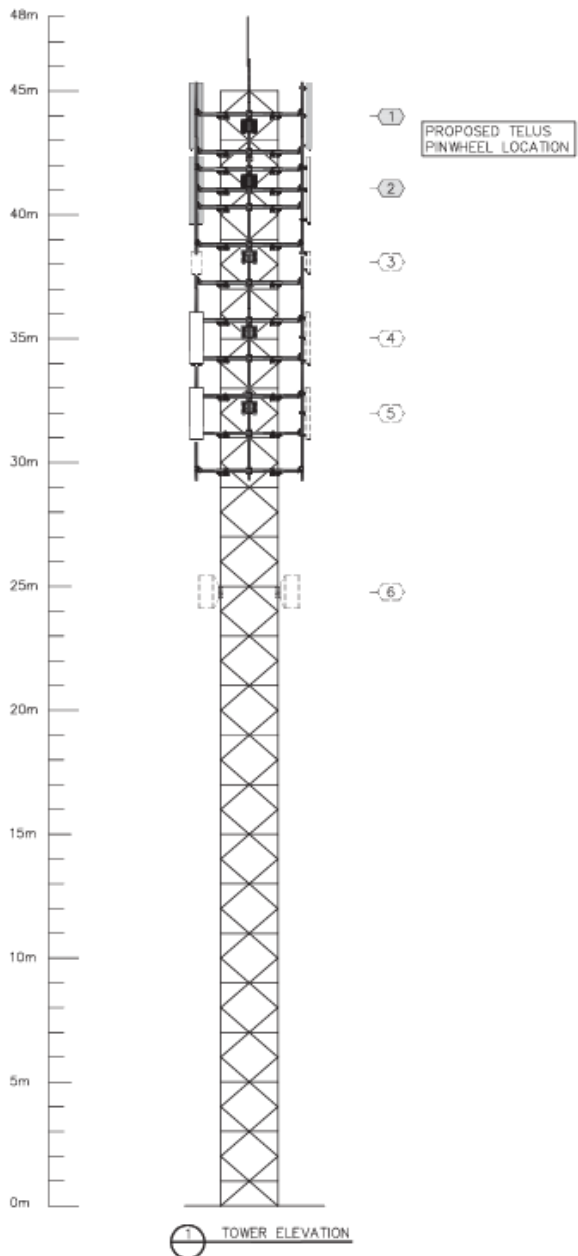
Accès au site

Pour la construction et l'entretien, l'accès se fera depuis l'accès à la propriété existante depuis Talbot Rd et via le parking d'E-Z Auto Body.

Informations sur le site

La conception est un pylône de 45.0 m (48m au sommet de l'antenne) comme indiqué sur le dessin ci-dessus. TELUS propose d'installer un abri d'équipement à la base de la tour et le tout sera clôturé. L'abri abritera l'équipement nécessaire au fonctionnement de l'installation de télécommunications. L'abri sera armé d'un système d'alarme 24 heures sur 24 pour assurer la protection contre le vandalisme et pour avertir des préoccupations environnementales telles que les inondations ou les incendies. Douze (12) antennes initiales de type panneau mesurant environ 2,6 m x 0,5 m seront installées au sommet de la tour.

Profil d'installation typique et simulations photographiques



Construction et entretien

La période de construction durera de quatre à six semaines et une fois terminée, outre les visites d'entretien de routine mensuels le site ne générera pas de circulation. LandSolutions Inc., au nom de TELUS, atteste que l'installation respectera les bonnes pratiques d'ingénierie.

Agréments aéronautiques

Toutes les approbations et exigences en matière d'éclairage nécessaires de Transports Canada et de NAV Canada seront obtenues par TELUS et fournies sur demande. À l'heure actuelle, TELUS ne s'attend pas à ce que Transports Canada exige l'éclairage des pylônes (en haut) en raison de la hauteur et de l'emplacement de l'installation proposée.

Normes d'hygiène du milieu / Lignes directrices du Code de sécurité 6

ISDEC exige que l'installation et la modification des systèmes d'antenne soient effectuées d'une manière conforme à la législation environnementale appropriée. Cela comprend la Loi sur l'évaluation d'impact (LEI), anciennement la Loi canadienne sur l'évaluation environnementale (LCEE) et les exigences locales en matière d'évaluation environnementale lorsque la LEI l'exige.

LandSolutions Inc., au nom de TELUS, atteste que le système d'antenne radio décrit dans cet avis n'est pas admissible en tant que projet désigné en vertu de l'AEI, anciennement l'ACEE, et est exclu de l'évaluation environnementale.

En tant que responsable de la gestion du spectre des radiocommunications au Canada, ISDEC exige que les installations de télécommunications se conforment aux directives établies par Santé Canada afin de protéger les personnes qui vivent ou travaillent à proximité de ces installations.

Ces directives de sécurité de Santé Canada sont décrites dans le document « Code de sécurité 6 » et sont parmi les plus strictes au monde. Toutes les installations de TELUS respectent ces directives.

Carte de la zone de notification d'un rayon de 120 m à partir de la propriété concernée

Rayon approximatif indiqué ci-dessous, rayon de notification déterminé par la Politique des télécommunications 2017 Politique de développement et/ou de réaménagement des installations de communication et de radiodiffusion





Consultation publique

LandSolutions Inc., au nom de TELUS, se conforme à la Politique de télécommunication de 2017 de la Ville de Kingsville concernant l'aménagement et le réaménagement des installations de communication et de radiodiffusion, qui exige la notification des propriétaires fonciers dans un rayon de 120 m de la propriété visée et la tenue d'une séance d'information portes ouvertes. Veuillez soumettre vos commentaires écrits dans les 30 jours suivant la réception de ce dossier. Dès réception des commentaires du public, LandSolutions Inc., au nom de TELUS, répondra à tous les commentaires et remettra une demande officielle à la Ville pour solliciter son soutien à cette proposition.

Une journée portes ouvertes aura lieu le 16 avril 2025, de 17h00 à 19h00 à l'adresse ci-dessous

Kingsville Arena Complex – Room B
1741 Jasperson Dr
Kingsville ON, N9Y 3J4

Les commentaires écrits reçus d'ici au 23 Avril 2025, au plus tard, seront inclus dans la trousse de demande officielle soumise à la Ville.

Veuillez communiquer avec notre bureau pour discuter de l'installation proposée avec des représentants de LandSolutions Inc. au comments@landsolutions.ca ou au 1-866-834-0008. Cette trousse d'information sur la proposition d'emplacement est conforme aux exigences des systèmes d'antennes de radiocommunication et de radiodiffusion d'ISDE.

Conclusion

Les communications sans fil contribuent à la qualité de la vie quotidienne. Le site proposé répondra à la demande d'un meilleur service aux abonnés actuels et futurs de la région.

Si vous avez des questions ou si vous avez besoin de plus amples renseignements sur l'installation proposée, n'hésitez pas à communiquer avec :

LandSolutions Inc. for TELUS

Levi Hayworth
Municipal Affairs and Stakeholder Engagement Specialist
1420, 333 – 11 Avenue SW
Calgary, AB T2R 1L9
P. 403-930-4667 Ext. 2664
F. 403-290-0050
E. comments@landsolutions.ca

Town of Kingsville

Colin Kelly
Town Planner
2021 Division Road North
Kingsville ON, N9Y 2Y9
P. 519-733-2305 ext. 248
E. ckelly@kingsville.ca

Innovation, Sciences et Développement Économique Canada

Bureau de district du sud de l'Ontario
4475 North Service Road, Suite 100
Burlington, ON L7L 4X7
T. 1-855-465-6307
F. 905-639-6551
E. ic.spectrumswodo-spectrebdsoo.ic@canada.ca

Information sur l'industrie et la santé et la sécurité

<https://ised-isde.canada.ca/site/gestion-spectre-telecommunications/fr/securite-conformite/faits-sujet-pylones>
<https://ised-isde.canada.ca/site/gestion-spectre-telecommunications/fr>
<https://www.canada.ca/fr/sante-canada/services/securite-et-risque-pour-sante/radiation/exposition-professionnelle-reglementation/code-securite-6-lignes-directrices-exposition-radiofrequences.html>
<https://www.canada.ca/fr/sante-canada/services/securite-et-risque-pour-sante/radiation/sources-rayonnements-quotidien.html>
<https://canadatelecoms.ca/fr/centre-de-connaissances/>
<https://www.telus.com/fr>

Feuille de commentaires – ON002959
À transmettre par télécopieur au (403) 290-0050 ou par courriel à
comments@landsolutions.ca
ou par la poste à TELUS a/s de LandSolutions Inc.
Bureau 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9

Installation de télécommunications proposée par TELUS
1834 Talbot Road, Kingsville, Ontario, N0P 2G0

5. Êtes-vous un utilisateur de téléphone cellulaire ou d'Internet sans fil?

☐ Oui

☐ Non

6. L'emplacement de l'installation proposée est-il acceptable?

☐ Oui

☐ Non

Si non, pourquoi ? _____

7. Êtes-vous satisfait de la conception de l'installation proposée?

☐ Oui

☐ Non

Commentaires: _____

8. Autres commentaires (veuillez joindre des pages si vous avez besoin de plus d'espace) :

Ces informations ne seront pas utilisées à des fins de marketing ; toutefois, vos commentaires seront transmis à l'autorité compétente en matière d'utilisation du sol. Merci d'écrire lisiblement. Merci.

Nom: _____

Adresse: _____

Code Postal: _____

Téléphone: _____

E-mail: _____



TELUS

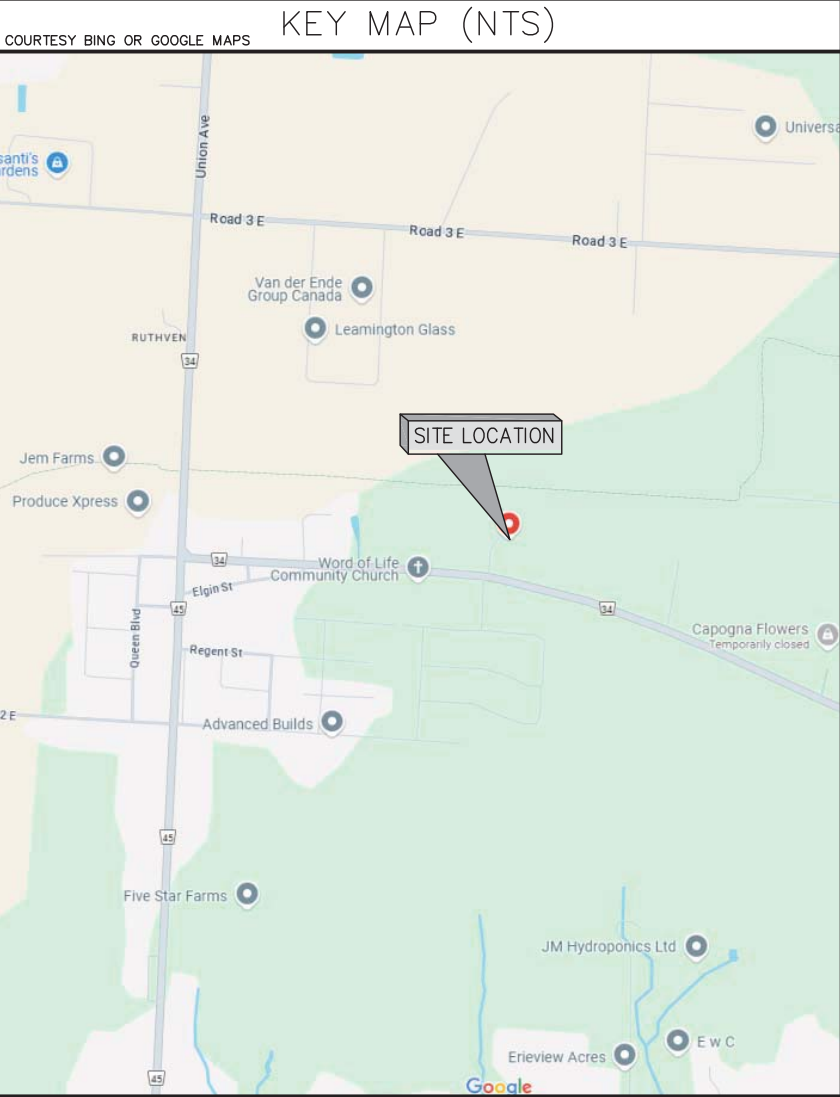
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PROJECT NAME:	NEW TOWER BUILD
PROJECT TYPE:	45.0m TRIPOLE TOWER
PROJECT SITE No.:	ON002959
TOWER OWNER:	TELUS
ADDRESS:	1834 TALBOT ROAD, KINGSVILLE, ON

DRAWING INDEX			
SHEET	DRAWING DESCRIPTION	NO.	DATE
COV.	TITLE SHEET & SITE KEY PLAN	0	27FEB2025
A01	TOWER PROFILE	0	27FEB2025
A02	SITE PLAN	0	27FEB2025
A03	COMPOUND LAYOUT	0	27FEB2025
A04	TOWER FOUNDATION	0	27FEB2025
A05	TELUS SHELTER FOUNDATION	0	27FEB2025
A06	FENCE DETAILS	0	27FEB2025
N01	GENERAL NOTES	0	27FEB2025

ISSUE		
0	ISSUED FOR PERMIT	27FEB2025

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CONSTRUCTION



GEOGRAPHIC COORDINATES	
LATITUDE:	42.05460
LONGITUDE:	-82.66136

NOTES:	
1. ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE.	
2. READ THESE DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.	
3. DO NOT SCALE DRAWINGS.	

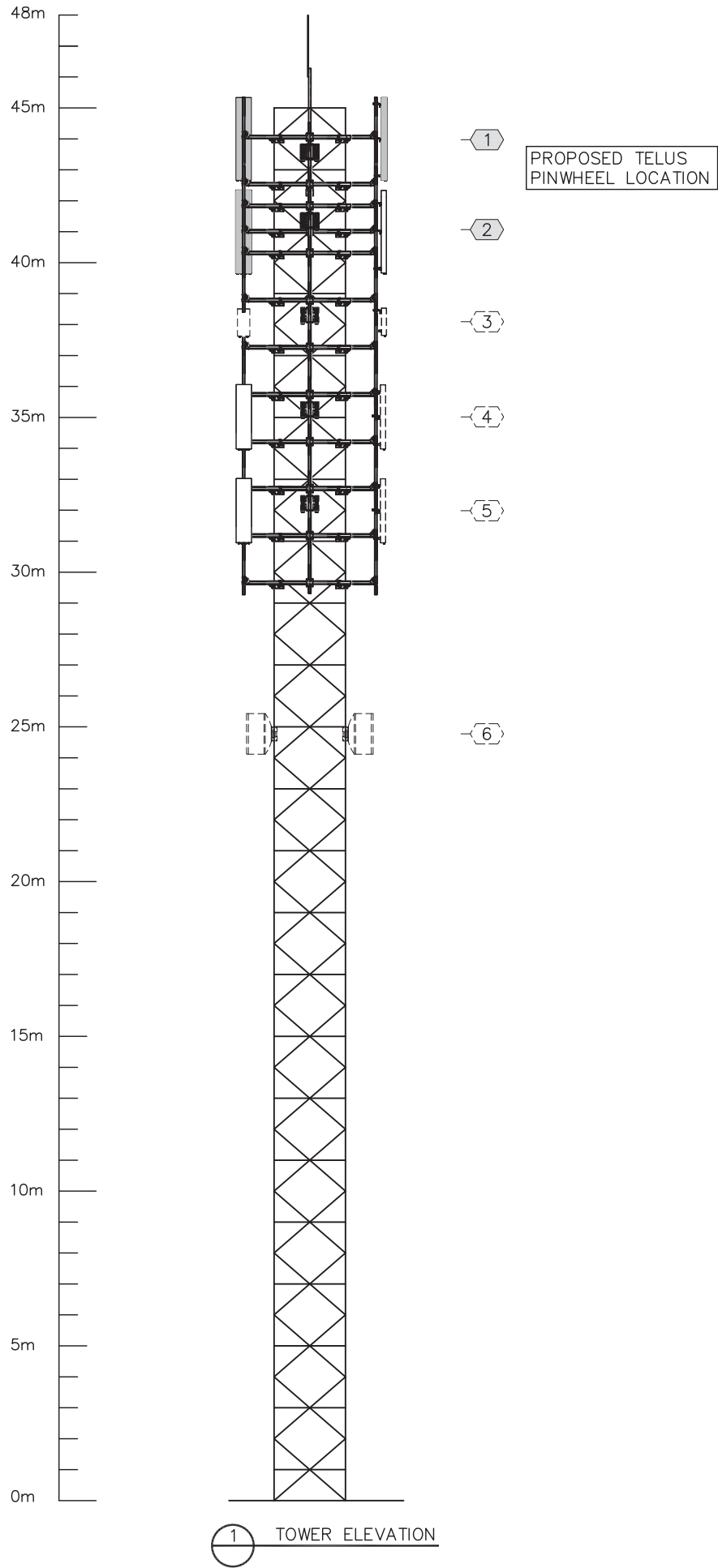
**ROEHAMPTON
COMMUNICATIONS LTD.**

40 ADVANCE RD,
TORONTO, ON M8Z-2T4

VANCOUVER - CALGARY - EDMONTON - WINNIPEG

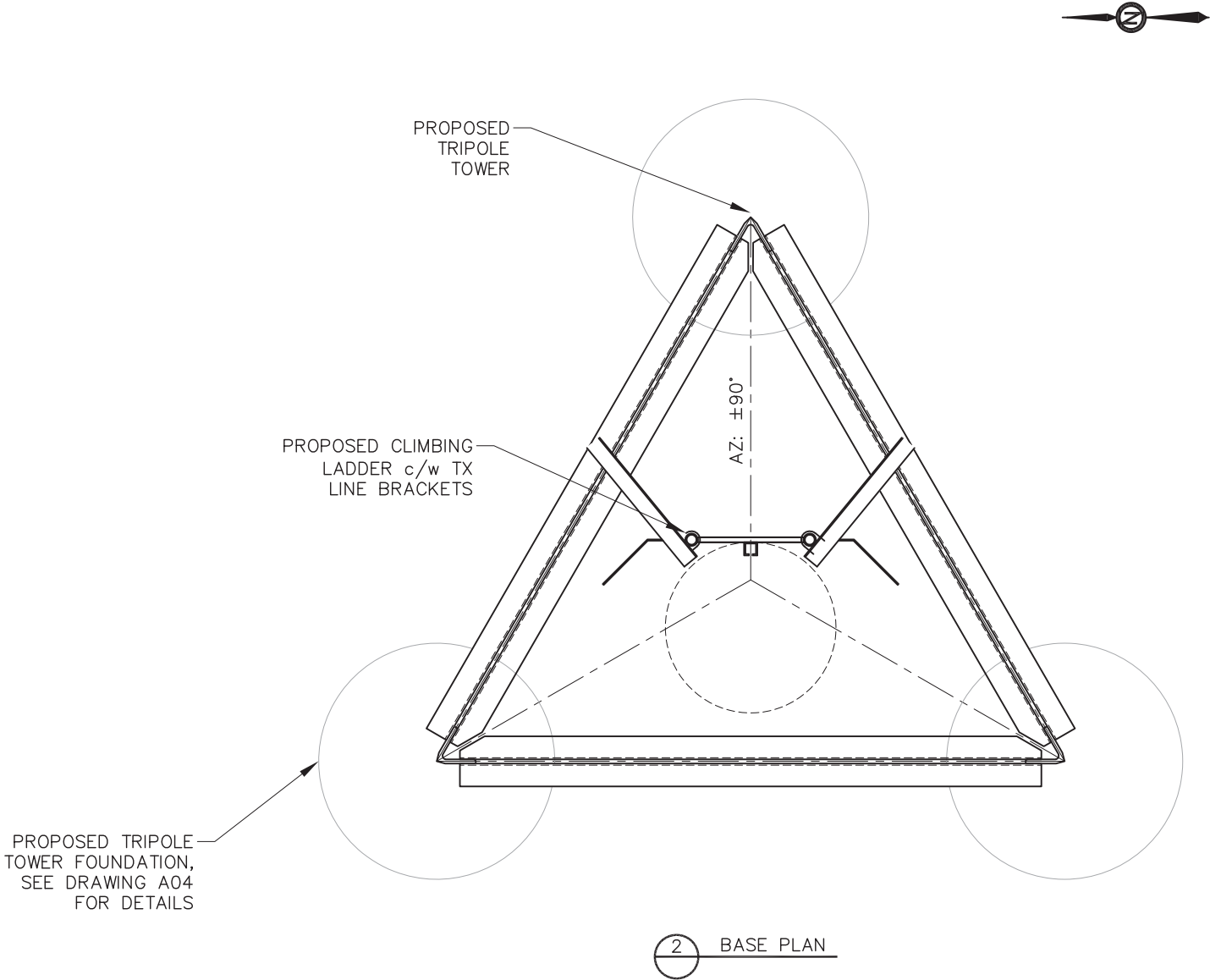
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RADIO ANTENNA/MICROWAVE SCHEDULE								
NO	ELEV. (m)	QTY.	MODEL	AZIMUTH	QTY.	TX.LINE	OWNER	ANT. STATUS
1	44.0	6	T2008L6R033	TBD*	(TBD) RRUs PACKS (TBD) DC/FO BOXES (TBD) DC/FO		TELUS	PROPOSED
2	41.0	6	TQBM-D608017-Q172717DEI-65FT	TBD*			TELUS	PROPOSED
3	38.0	3	64T MMU	TBD*			TELUS	FUTURE
4	35.0	6	T2008M6R033	TBD*	(TBD) RRUs PACKS (TBD) DC/FO BOXES (TBD) DC/FO		OTHERS	FUTURE
5	32.0	6	T2008M6R033	TBD*			OTHERS	FUTURE
6	25.0	2	4' M/W	TBD*	TBD		TELUS	FUTURE

NOTE:
• TOWER LOADING MAY CHANGE BASED ON FINAL CARRIERS REQUIREMENTS.



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CONSTRUCTION

CLIENT:

CARRIER:



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		27FEB2025



LOCATION: 1834 TALBOT ROAD, KINGSVILLE, ON		
TITLE: PLAN VIEW		
PROJECT NAME: NEW TOWER BUILD	PROJECT NO: ON002959	DWG. NO: A01

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1 SITE PLAN



NOTES:

- 1. TELUS COMPOUND LOCATION SUBJECT TO CHANGE.
- 2. TELUS COMPOUND SIZE SUBJECT TO CHANGE BASED ON FINAL TOWER AND FOUNDATION DESIGN.
- 3. FINAL LOCATION OF THE TOWER TO BE DETERMINED ON THE REVIEW OF THE GEOTECHNICAL REPORT.

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CONSTRUCTION

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LOCATION:
1834 TALBOT ROAD, KINGSVILLE, ON

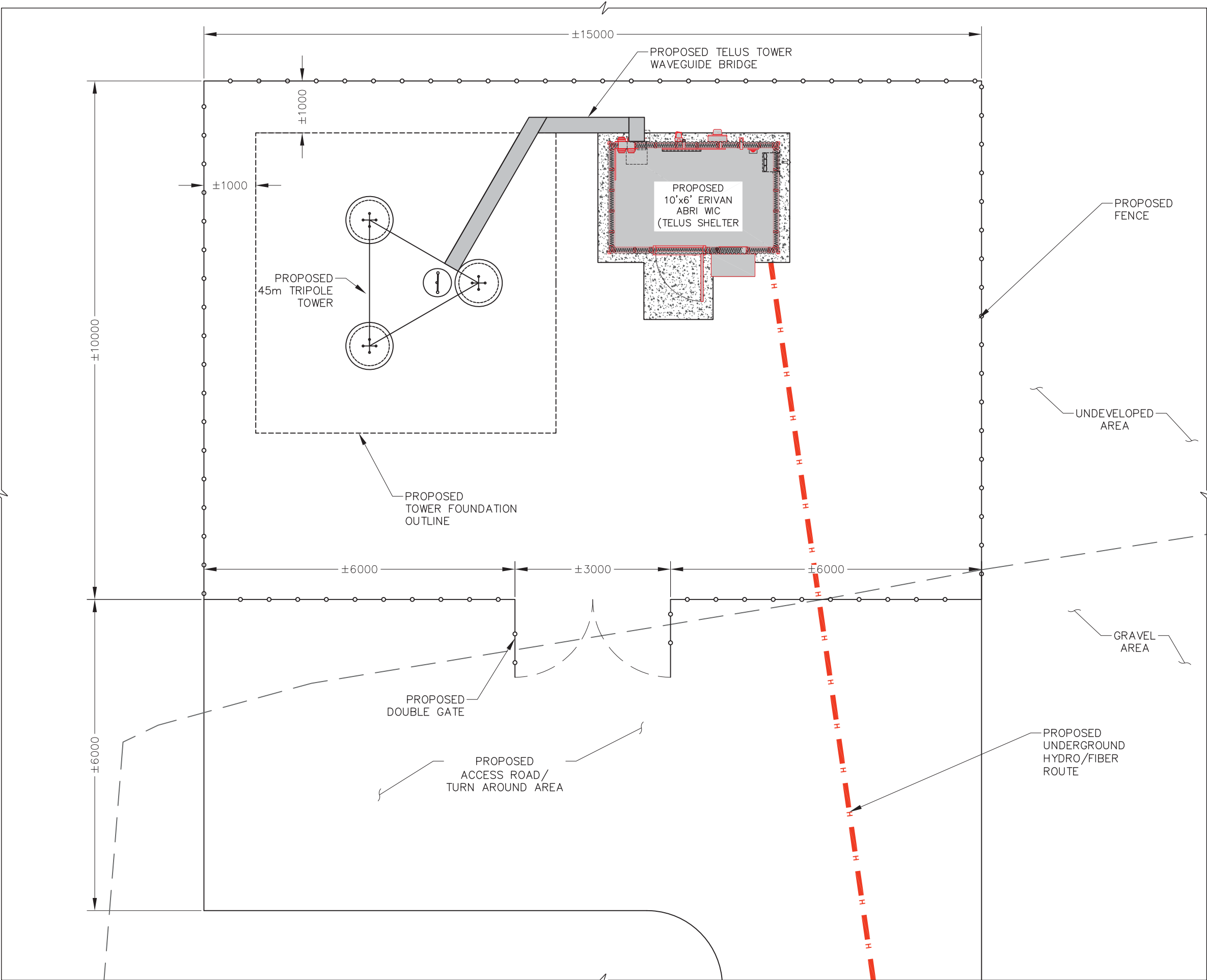
TITLE:
SITE PLAN

PROJECT NAME:
NEW TOWER BUILD

PROJECT NO:
ON002959

DWG. NO:
A02

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NOTES:

1. TELUS COMPOUND SIZE SUBJECT TO CHANGE BASED ON FINAL TOWER AND FOUNDATION DESIGN.

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NO.	BY	DESCRIPTION	DATE



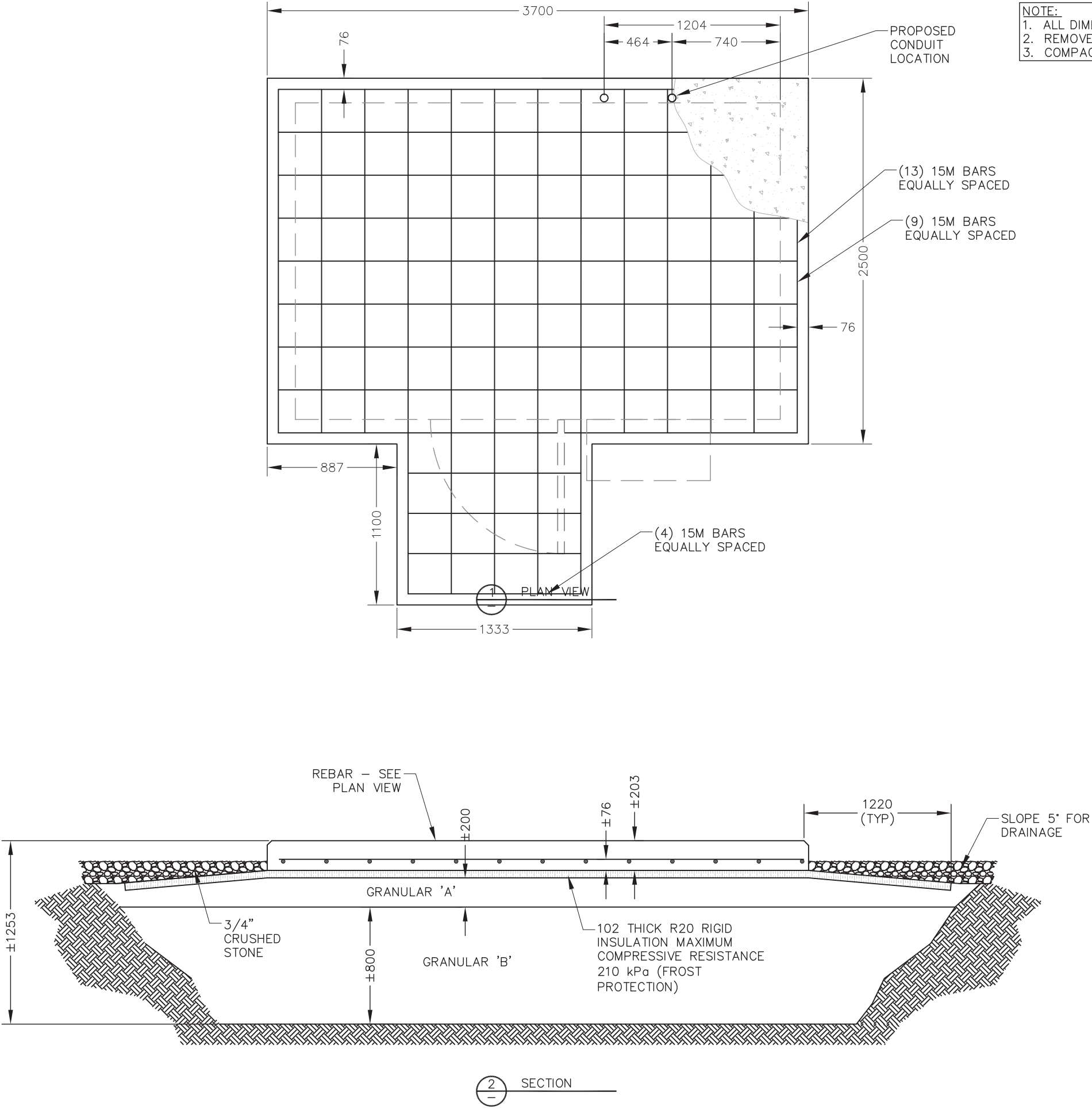
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VANCOUVER - CALGARY - EDMONTON - WINNIPEG

LOCATION:
1834 TALBOT ROAD, KINGSVILLE, ON

TITLE:
COMPOUND LAYOUT

PROJECT NAME: NEW TOWER BUILD	PROJECT NO: ON002959	DWG. NO: A03
----------------------------------	-------------------------	-----------------

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NOTE:
1. ALL DIMENSIONS IN mm.
2. REMOVE TOP OF SOIL MATERIAL
3. COMPACT ALL LAYERS TO 95% SPD

- NOTES:
1. DO NOT SCALE DRAWINGS.
ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
 2. ALL WORK TO CONFORM TO LATEST TELUS SPEC.
 3. CONTRACTOR TO VERIFY ALL DIMENSIONS.
 4. ALL FOUNDATIONS MUST BE DESIGN IN ACCORDANCE WITH LATEST CSA STANDARDS AND REQUIREMENTS.
 5. FINAL DESIGN TO BE DETERMINED ON THE REVIEW OF THE GEOTECHNICAL REPORT.

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CONSTRUCTION

CLIENT:

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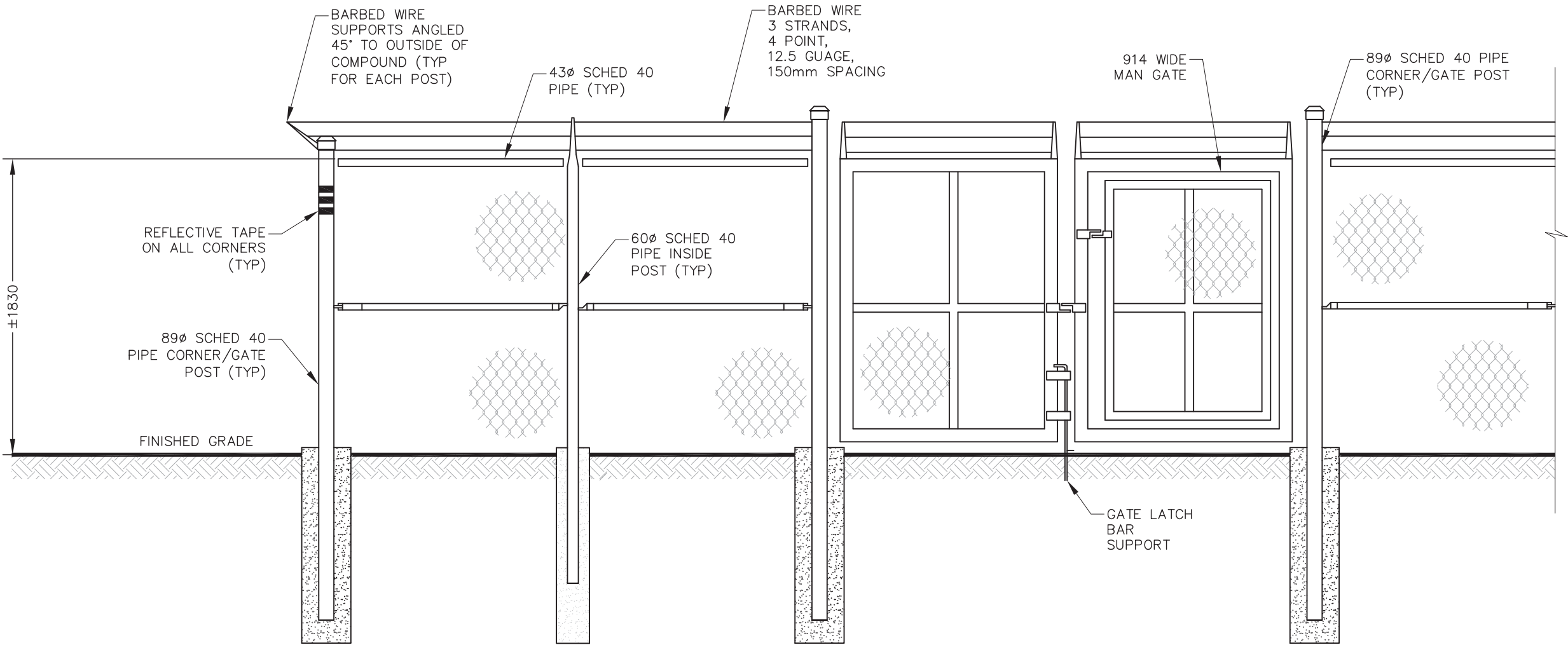


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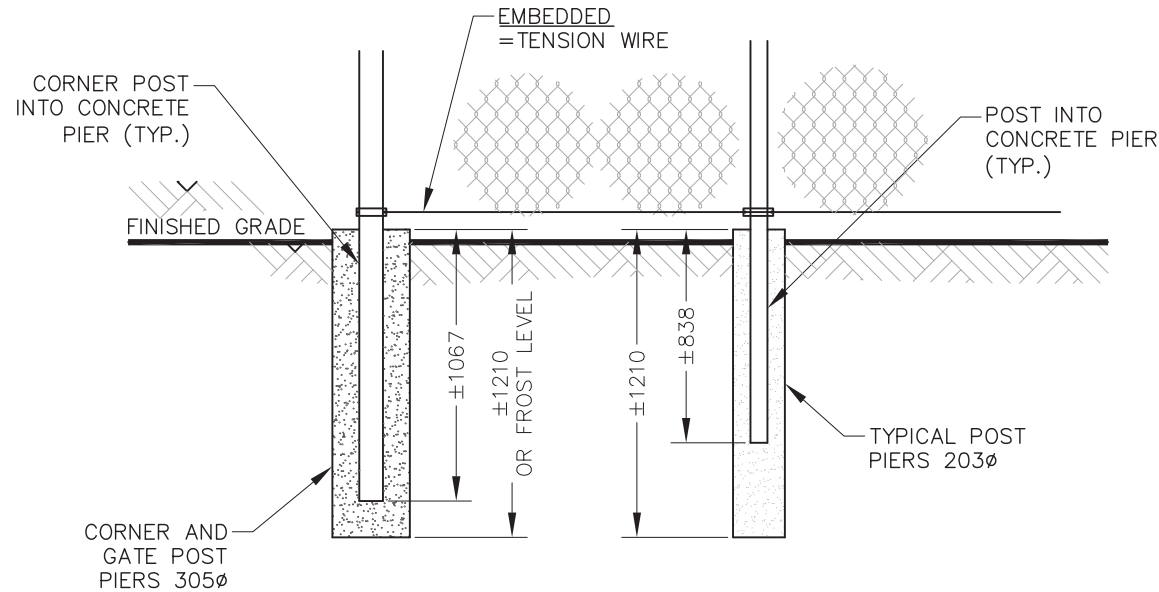
LOCATION: 1834 TALBOT ROAD, KINGSVILLE, ON		
TITLE: SHELTER FOUNDATION		
PROJECT NAME: NEW TOWER BUILD	PROJECT NO: ON002959	DWG. NO: A05

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1 COMPOUND FENCE

- NOTES:
- FENCE EMBEDMENT TO BE BASED ON SITE SPECIFIC SOIL CONDITIONS AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - CONTRACTOR TO PROVIDE LEVEL TOP OF FENCE. BASE MAY VARY.



2 CONNECTION TO BASE DETAIL - GENERAL SOILS

- NOTES:
- DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
 - ALL WORK TO CONFORM TO LATEST TELUS SPEC.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS.
 - ALL FOUNDATIONS MUST BE DESIGN IN ACCORDANCE WITH LATEST CSA STANDARDS AND REQUIREMENTS.
 - FINAL DESIGN TO BE DETERMINED ON THE REVIEW OF THE GEOTECHNICAL REPORT.

NOT FOR CONSTRUCTION

CLIENT:

CARRIER:



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NO.	BY	DESCRIPTION	DATE

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LOCATION: 1834 TALBOT ROAD, KINGSVILLE, ON	PROJECT NO: ON002959	DWG. NO: A06
TITLE: FENCE DETAILS	PROJECT NAME: NEW TOWER BUILD	

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GENERAL NOTES:

- THE MOST RECENT ISSUES OF ANY STANDARDS, CODES OR REGULATIONS MENTIONED IN THE DRAWINGS PROVIDED MUST BE USED, UNLESS INDICATED OTHERWISE IN THE SPECIFICATIONS.
- ALL WORKMANSHIP MUST CONFORM TO THE REQUIREMENTS OF THE TELUS SPECIFICATION, PROVINCIAL BUILDING CODE, APPLICABLE LOCAL BUILDING CODES, AND CSA STANDARDS.
- THE CONTRACTOR’S RESPONSIBILITY INCLUDES:
 - OBTAINING APPROVALS FROM ALL REQUIRED LOCAL AUTHORITIES.
 - SAFEGUARD ALL EXIST. STRUCTURES AFFECTED BY THIS CONSTRUCTION.
 - OBTAINING ALL FIELD MEASUREMENTS REQUIRED FOR FABRICATION.
- PRESERVE FIRE RATING WHEN PENETRATING, CEILINGS, FLOORS AND WALLS.
- DRAWINGS ARE NOT TO BE SCALED.
- ADEQUATE PROTECTION (PLYWOOD SHEETS) MUST BE PROVIDED BY THE CONTRACTOR ON THE EXISTING ROOF FOR THE ENTIRE DURATION OF CONSTRUCTION, TO AVOID DAMAGE TO THE EXISTING ROOFING. CONSTRUCTION LOADS MUST NOT EXCEED A CONCENTRATED LOAD OF 1.3kN OR UNIFORM DISTRIBUTED LOAD OF 1.0 kPa.
- ALL SHOP AND INSTALLATION DRAWINGS MUST BE SUBMITTED TO ROEHAMPTON COMMUNICATIONS LTD. BY THE CONTRACTOR, FOR REVIEW PRIOR TO FABRICATION OF THE MATERIALS.
- CORE DRILLING IN AREAS OCCUPIED BY TENANTS SHALL BE COORDINATED WITH THE BUILDINGS OWNER/MANAGER, AND MAY BE REQUIRED TO BE COMPLETED OUTSIDE OF NORMAL WORKING HOURS. SERVICES DAMAGED MUST BE REPAIRED BY THE CONTRACTOR, AT HIS OWN EXPENSE.
- CORE DRILLING MUST NOT BE DONE UNTIL AN X–RAY INSPECTION PAID FOR BY THE CONTRACTOR, HAS BEEN COMPLETED TO DETERMINE THE PROPER LOCATION FOR THE PENETRATION. CORE DRILLING IS NOT ALLOWED IN COLUMN CAP AREAS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND DETAILS ON THE STRUCTURAL DRAWINGS FOR COMPATIBILITY WITH ARCHITECTURAL AND OTHER CONSULTANTS’ DRAWINGS BEFORE COMMENCING WITH THE WORK.
- THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING DURING THE BIDDING PERIOD OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN SPECIFICATIONS, UPON RECEIPT OF SUCH INFORMATION THE ENGINEER WILL PROVIDE ADDITIONAL INSTRUCTIONS, ANY SUCH DISCREPANCY, OMISSION OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND CORRECTIVE WORK SHALL BE PERFORMED AS DIRECTED BY THE ENGINEER.
- ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
- ENGINEERING SERVICES PRESENTED ON THESE DRAWINGS ARE FOR PERMANENT STRUCTURE ONLY, THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED FOR STRUCTURE STABILITY AND FOR CONSTRUCTION LOADING UNTIL THE PROJECT IS COMPLETED.

CONCRETE NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, AND APPLICABLE STANDARDS.
- REINFORCING STEEL MUST BE GRADE 400 DEFORMED BARS TO CAN/CSA G30.18, UNLESS NOTED OTHERWISE. CONCRETE COVER TO BE 3” (MIN.)
- WELDED STEEL WIRE FABRIC MUST HAVE A MINIMUM YIELD STRENGTH OF 450 MPa AND CONFORM TO CSA G30.5. (PROVIDE IN FLAT SHEETS ONLY)
- BEND AND DETAIL REINFORCING STEEL AS INDICATED IN THE REINFORCING STEEL MANUAL OF STANDARD PRACTICE BY THE REINFORCING STEEL INSTITUTE OF CANADA.
- CAST IN PLACE CONCRETE TO HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 30 MPa UNLESS NOTED OTHERWISE.
- SLUMP AT POINT OF DISCHARGE TO BE 75mm.
- ALL CONCRETE EXPOSED TO FREEZING AND THAWING OR DE–ICING CHEMICALS MUST CONTAIN ENTRAINED AIR.
- ALL CONCRETE EXPOSED CORNER EDGES SHALL BE CHAMFERED 1” x 1”.
- ALL GROUT USED SHALL BE NON–SHRINKING, INSTALLED TO MANUFACTURES INSTRUCTIONS, UNLESS SPECIFIED OTHERWISE.
- NO MORE THAN 120 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY THE TESTING AGENCY AND THE STRUCTURAL ENGINEER, CONTRACTOR’S SUPERINTENDENT TO MONITOR THIS PERIOD, TESTING AGENCY HAS THE AUTHORITY TO REJECT CONCRETE IF NOT IN ACCORDANCE WITH SPECIFICATIONS.

STEEL STUDS AND JOISTS NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE PROVINCIAL BUILDING CODES, APPLICABLE BY–LAWS AND LOCAL CODES.
- MATERIAL TO CONFORM TO ASTM A446 STANDARD SPECIFICATION FOR STEEL SHEET, HOT DIP GALVANIZED.
- BRIDGING TO BE PROVIDED AT 5ft c/c FOR STUDS, UNLESS INDICATED OTHERWISE.
- BRIDGING TO BE PROVIDED @ 7ft c/c FOR JOISTS, UNLESS INDICATED OTHERWISE.
- INSTALLATION MUST MEET THE REQUIREMENTS SET OUT IN THE MANUFACTURERS SPECIFICATIONS AND REQUIREMENTS.

STRUCTURAL STEEL NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, AND APPLICABLE STANDARDS AS LISTED IN CORRESPONDING SECTION.
- ALL STRUCTURAL STEEL TO CONFORM TO CAN3–G40.21, GRADE 300W, RHSS TO MEET REQUIREMENTS OF G40.21, CLASS H, GRADE 350W.
- ALL WELDING SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE CSA STANDARDS AND PERFORMED BY A FABRICATOR CERTIFIED TO CSA W47.1 TO DIVISION 1 OR 2.1.
- ALL BOLTS TO CONFORM TO ASTM SPECIFICATION A325, PROPERLY SIZED FOR THE APPLICATION, AND THE THREADS TO BE EXCLUDED FROM THE SHEAR PLANE.
- HOLES ADDITIONAL TO THOSE SHOWN ON STRUCTURAL DRAWINGS ARE NOT PERMITTED IN ANY STRUCTURAL MEMBER.
- ALL STRUCTURAL STEEL TO BE HOT DIP GALVANIZED.
- APPLY (3) COATS OF ZINC RICH PAINT TO ALL DAMAGED GALVANIZED SURFACES.
- FIELD MODIFICATIONS SUCH AS DRILLING OF HOLES AND WELDING TO BE AVOIDED, UNLESS SPECIFIED OTHERWISE.
- MINIMUM DISTANCE FROM HOLE CENTER TO EDGE SHALL BE:

BOLT DIAM.	SHEARED EDGE	ROLLED EDGE	HOLE
1/2”ø	25 mm	19 mm	14.3ø mm
5/8”ø	30 mm	22 mm	17.5ø mm
3/4”ø	35 mm	26 mm	20.6ø mm

NUT ROTATION FROM SNUG–TIGHT CONDITION* (TURN–OF–NUT– PRETENSION)		
BOLT LENGTH**	DISPOSITION OF OUTER FACE OF BOLTED PARTS	
	BOTH FACES NORMAL TO BOLT AXIS OR ONE FACE NORMAL TO AXIS AND OTHER FACE SLOPED 1:20 MAX. (BEVELED WASHERS NOT USED)***	BOTH FACES SLOPED 1:20 MAX. FROM NORMAL TO BOLT AXIS (BEVELED WASHERS NOT USED)***
<= 4x BOLT DIA.	1/3 TURN	3/4 TURN
> 4x BOLT DIA. <= 8x BOLT DIA. OR 200mm	1/2 TURN	
> 8x BOLT DIA. OR 200mm	2/3 TURN	
<p>* TABLE 8 OF CAN/CSA–S16–14 NUT ROTATION IS RELATIVE TO BOLT REGARDLESS OF WHETHER THE NUT OR BOLT IS TURNED. TOLERANCE OF ROTATION ±30°. THIS TABLE APPLIES TO COARSE–THREADED HEAVY–HEX STRUCTURAL BOLTS OF ALL SIZES AND LENGTHS USED WITH HEAVY–HEX SEMI–FINISHED NUTS.</p>		
<p>** BOLT LENGTH IS MEASURED FROM THE UNDERSIDE OF THE HEAD TO THE EXTREME END OF POINT.</p>		
<p>*** BEVELLED WASHERS ARE NECESSARY WHEN A490M OR A490 BOLTS ARE USED.</p>		

ANTENNA AND WAVEGUIDE NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION.
- INSTALL WAVEGUIDE TO MANUFACTURERS INSTRUCTIONS. (SUPPORT INTERVALS TO BE 1 METER MAXIMUM).
- ALL AREAS AFFECTED BY ROUTING OF WAVE–GUIDE OR CONDUITS MUST BE REHABILITATED TO ORIGINAL CONDITION UPON COMPLETION.

ROOFING NOTES:

- BEFORE STARTING WORK ON ROOF, CONTRACTOR IS TO COMPLETE A ”CUT TEST”, TO DETERMINE THE CONDITION AND TYPE OF THE EXISTING ROOFING.
- REMOVE EXISTING ROOFING AS REQUIRED TO ALLOW FOR THE INSTALLATION OF RHSS AND BASE PLATE, KEEP OPENING TO A MINIMUM.
- ONCE INSTALLATION IS COMPLETE, MAKE GOOD THE EXISTING ROOFING & INSULATION.
- PROVIDE SUFFICIENT TEMPORARY PROTECTION OF ROOF PENETRATIONS, PRIOR TO ROOFING REINSTATEMENT, TO PREVENT WATER FROM ENTERING THE EXISTING BUILDING.
- ALL WORK SHALL CONFORM TO ALL AUTHORITIES HAVING JURISDICTION AND TO THE TELUS SPECIFICATION. WORKMANSHIP TO PROVIDE A CLEAN APPEARANCE OF THE FINISHED WORK.

INVERTED ROOF

- WHERE EXISTING ROOFING IS BITUMEN OR ASPHALTIC BASED, SUPPLY A NEW 3FT x 3FT RUBBERIZED MEMBRANE. TORCH DOWN TO EXISTING. AT UNDERSIDE OF BASE PLATE PROVIDE RUBBERIZED PLASTIC CEMENT, COMPATIBLE WITH MEMBRANE. WATERPROOF ANCHOR BOLT AREAS.

STANDARD BUILT UP ROOF

- CUT OPENING IN ROOF ADEQUATE TO ALLOW FOR THE INSTALLATION OF THE RHSS AND BASE PLATE. FOLLOWING INSTALLATION, PROVIDE 22 Ga. GALVANIZED SHEET METAL, PITCH POCKET, 18” SQUARE x 5” HIGH. FILL AFTER ASSEMBLY IS COMPLETE. FLASH INTO EXISTING WATERPROOFING ON ROOF.

WOOD FRAMING & STRUCTURAL TIMBER NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, PROVINCIAL BUILDING CODES AND APPLICABLE STANDARDS.
- NAILS TO CONFORM TO CSA B111–1974. GALVANIZED FOR EXTERIOR LOCATIONS AND TREATED LUMBER. NAILING OF FRAMING PER OBC TABLES 9.23.3A & B, UNLESS SPECIFIED OTHERWISE.

MASONRY NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, PROVINCIAL BUILDING CODES .
- UTILIZE TYPE 'S' MORTAR FOR ALL INTERIOR AND EXTERIOR LOAD BEARING WALLS, CONFORM TO CSA STANDARD A179.
- ALL METAL MATERIALS USED IN MASONRY TO BE HOT DIP GALVANIZED.
- VERTICAL MASONRY CONTROL JOINTS TO BE INSTALLED AT INTERVALS LESS THAN 3 TIMES THE WALL HEIGHT WITH MAXIMUM SPACING OF 39’–4”.
- PROVIDE ALL REQUIRED TEMPORARY SHORING TO EXISTING MASONRY WALLS WHEN CUTTING NEW OPENINGS.

FIRE STOPPING & SEALING NOTES:

- ALL EXISTING AND NEW OPENINGS LOCATED IN THE EQUIPMENT ROOM AND ALONG CABLE ROUTINGS, MUST BE SEALED AND FIRE STOPPED WITH ONE OR TWO HOUR FIRE RATING AS REQUIRED. USING TREMCO FIRESTOP SYSTEM.

CLIENT:

CARRIER:



5			
4			
3			
2			
1			
0	ST	ISSUED FOR PERMIT	27FEB2025
NO.	BY	DESCRIPTION	DATE





ROEHAMPTON COMMUNICATIONS LTD.
40 ADVANCE RD.
TORONTO, ON M8Z-2T4
VANCOUVER - CALGARY - EDMONTON - WINNIPEG

LOCATION: 1834 TALBOT ROAD, KINGSVILLE, ON			
TITLE: GENERAL NOTES			
PROJECT NAME: NEW TOWER BUILD		PROJECT NO: ON002959	DWG. NO: N01



PHOTOGRAPHIC SIMULATION



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05316° W 82.66113°

STATUS

BEFORE



SITE NOTES:
1. PHOTOGRAPH TAKEN: NOV 2023 BY GOOGLE STREET VIEW 2. VIEWED FROM TALBOT RD, FACING NORTH, TOWARDS PROPOSED TELUS TOWER LOCATION. 3. THE PHOTOGRAPH LOCATION IS APPROXIMATELY 170 METERS FROM THE PROPOSED TOWER LOCATION.

GENERAL NOTES:
1. UNLESS OTHERWISE SPECIFIED IN THE SITE NOTES, ALL PHOTOS ARE TAKEN AT A HORIZONTAL PLANE OF SIGHT OF AN AVERAGE PERSON. 2. PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN. 3. CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.



PHOTOGRAPHIC SIMULATION



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05316° W 82.66113°

STATUS

AFTER

- SITE NOTES:
1.

PHOTOGRAPH TAKEN: NOV 2023 BY GOOGLE STREET VIEW
2.

VIEWED FROM TALBOT RD, FACING NORTH, TOWARDS PROPOSED TELUS TOWER LOCATION.
3.

THE PHOTOGRAPH LOCATION IS APPROXIMATELY 170 METERS FROM THE PROPOSED TOWER LOCATION.

- GENERAL NOTES:
1.

UNLESS OTHERWISE SPECIFIED IN THE SITE NOTES, ALL PHOTOS ARE TAKEN AT A HORIZONTAL PLANE OF SIGHT OF AN AVERAGE PERSON.
2.

PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN.
3.



CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.



PHOTOGRAPHIC SIMULATION

COURTESY BING OR GOOGLE MAPS KEY MAP (NTS)



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05497° W 82.67183°

STATUS

BEFORE

- SITE NOTES:
- 1. PHOTOGRAPH TAKEN: NOV 2023 BY GOOGLE STREET VIEW
 - 2. VIEWED FROM UNION AVE, FACING EAST, TOWARDS PROPOSED TELUS TOWER LOCATION.
 - 3. THE PHOTOGRAPH LOCATION IS APPROXIMATELY 870 METERS FROM THE PROPOSED TOWER LOCATION.

- GENERAL NOTES:
- 1. UNLESS OTHERWISE SPECIFIED IN THE SITE NOTES, ALL PHOTOS ARE TAKEN AT A HORIZONTAL PLANE OF SIGHT OF AN AVERAGE PERSON.
 - 2. PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN.
 - 3. CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.





PHOTOGRAPHIC SIMULATION

COURTESY BING OR GOOGLE MAPS

KEY MAP (NTS)



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05497° W 82.67183°

STATUS

AFTER

- SITE NOTES:
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 2. PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN.
 3. CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.

PROPERTY DESCRIPTION: PT LT 11 CON 2 EASTERN DIVISION GOSFIELD PT 2 12R7560, PT 1 12R8513 EXCEPT PT 2 12R8513; S/T R1512287; KINGSVILLE

PROPERTY REMARKS: RECENTLY 01486-0819. PLANNING ACT CONSENT AS IN R986454.

ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
FIRST CONVERSION FROM BOOK & PIN

PIN CREATION DATE:
2002/08/26

OWNERS' NAMES
ZIMMER, ERIC
ZIMMER, CINDY

CAPACITY SHARE
JTEN
JTEN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 2002/08/26 **						
12R7560	1984/06/08	PLAN REFERENCE				C
R982322	1986/08/20	LEASE			RAM PETROLEUMS LTD.	C
REMARKS: & GRANT						
12R8513	1986/09/19	PLAN REFERENCE				C
12R18796	2001/05/10	PLAN REFERENCE				C
R1512287	2001/05/11	TRANSFER EASEMENT	\$1	ZIMMER, ERIC	THE TOWN OF KINGSVILLE THE MUNICIPALITY OF LEAMINGTON THE TOWN OF ESSEX THE TOWN OF LAKESHORE	C
REMARKS: PART 1 12R-18796						
CE535597	2012/09/07	TRANSFER	\$200,000	ZIMMER, ERIC	ZIMMER, ERIC ZIMMER, CINDY	C

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.
NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
CE646273	2015/02/03	NO SEC INTEREST	\$1	1256533 ONTARIO LTD.		C
CE1132989	2023/05/04	NO SEC INTEREST	\$23,270	FINANCEIT CANADA INC.		C
CE1168849	2024/01/31	CHARGE	\$1,100,000	ZIMMER, CINDY ZIMMER, ERIC	INVESTOR SUITE INC.	C
CE1168926	2024/01/31	POSTPONEMENT		FINANCEIT CANADA INC.	INVESTOR SUITE INC.	C
REMARKS: CE1132989 TO CE1168849						

NOTE: ADJOINING PROPERTIES SHOULD BE INVESTIGATED TO ASCERTAIN DESCRIPTIVE INCONSISTENCIES, IF ANY, WITH DESCRIPTION REPRESENTED FOR THIS PROPERTY.

NOTE: ENSURE THAT YOUR PRINTOUT STATES THE TOTAL NUMBER OF PAGES AND THAT YOU HAVE PICKED THEM ALL UP.

Site No.: ON002959-1

SCHEDULE "D"
AUTHORIZATION LETTER

FROM: Eric Zimmer and
Cindy Zimmer, as Joint Tenants
1834 Talbot Road
Ruthven, Ontario N0P 2G0

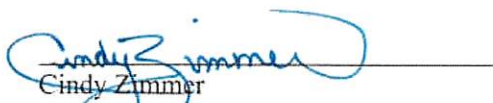
TO WHOM IT MAY CONCERN:

RE: Property Identifier 75146-0072 (LT#)
Site: ON002959-1

We, Eric Zimmer and Cindy Zimmer, the owner of the above mentioned property, hereby give TELUS Communications Inc.(TELUS) and its agents permission to act as our agent to acquire the necessary permits, drawings and/or buildings structural blue-prints, hydro information from the public utility and information from the municipality or other authorities concerned, needed to approve the construction of the telecommunications site at the address indicated above and as shown on the attached plans.

Sincerely,


Eric Zimmer


Cindy Zimmer





2021 Division Road North
Kingsville, Ontario N9Y 2Y9
Phone: (519) 733-2305
www.kingsville.ca

Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities

Purpose:

To establish standard procedures which will enable the Municipality:

- To effectively participate in the review and public consultation process for the consideration of telecommunication and broadcasting facilities; &
- To formulate municipal comments based on acceptable goals and standards.

Goals:

- To facilitate cooperation between the proponent and the Town of Kingsville in effort to allow for the siting of facilities which balance the demand for service and the impact on the community.
- To provide guidance and direction for the appropriate siting of facilities to locations which meet the following criteria in order of priority of land use:
 1. sites co-located on existing structures in non-residential areas;
 2. sites outside of the sight lines of Lake Erie and Jack Miner Bird Sanctuary;
 3. sites outside of planned settlement areas;
 4. sites owned by the municipality;
 5. sites co-located on existing structures in non-agricultural areas;
 6. sites co-located on existing structures in settlement and residential areas; &
 7. new structures on land owned by private land owners.
- To provide high design standards which recognize local considerations for natural heritage features and local aesthetics including:
 1. the placement, style and colour of all elements of the facility which blend with the surrounding environment;
 2. the protection of the existing natural environment;
 3. the enhancement of the natural landscape with plantings and visual screens;
 4. maintaining appropriate setbacks from property lines and adjacent public uses (schools, community centres, day cares, etc.)
 5. maintaining safe vehicular access and site lines onto public roads
- To provide an opportunity for public consultation and input through the approved procedure for the review and consideration of telecommunication and broadcasting facilities within the Town of Kingsville.
- To recognize the final approval authority of Industry Canada for the consideration of radio-communication, telecommunication and broadcasting facilities.

Procedure

Phase 1 – Pre-consultation and Submission Requirements

1. Inquiries with respect to new communication towers or modifications to existing towers where municipal consultation is required shall be directed to the Planning Department for pre-consultation.
2. Proponents will be provided with the following from the Planning Department during pre-consultation:
 - a. A copy of the approved *Communication and Broadcasting Facility Policy*;
 - b. *Site Plan Application, Fee Schedule, Information and Drawing Submission Requirements*; &
 - c. List of Agencies to be consulted by the proponent during public consultation process.
 - ☐ County of Essex – Engineering Department
 - ☐ Essex Region Conservation Authority
 - ☐ Wind Power & Renewable Energy Proponents
 - ☐ Ministry of Transportation (within 400 metres of Provincial Highway)
 - ☐ Transport Canada
 - ☐ Clerk of any abutting municipality within 120 metres of proposed facility
 - ☐ Other: _____
3. Upon submission of the required materials by the proponent, the Planner will undertake the following:
 - a. Forward the application to the Planning Management Review Group for review and provide preliminary site analysis and comments to proponent;
 - b. Generate and provide circulation list to proponent for distribution of information package;
 - c. Provide proponent with the date of next scheduled Public Open House of the Planning Advisory Committee.
4. Proponents shall deliver via regular pre-paid post to every address listed on the circulation list, the notification package containing the information detailed in Industry Canada's written *Public Consultation Process – Public Notification Package*, no less than 30 days prior to the date of the Public Open House to be hosted by the Planning Advisory Committee;
5. Receive *Letter of Undertaking* from the proponent to construct facility in accordance with the information provided and in consideration of the comments received from the Planning Management Review Committee and members of the public at the Public Open House;
6. Presentation of the following to Council:
 - i. Summary report including public comments;
 - ii. Letter of Undertaking by proponent;
7. Forward Council Resolution of Support to advise proponent:
 - i. Whether in the opinion of the municipality, sufficient public consultation was conducted;
 - ii. Whether the siting, design or any anticipated impacts by the community will support the recommendation.
8. Upon issuance of appropriate licencing by Industry Canada, the proponent shall submit the necessary building permit application, fee and information requirements to the Building Department prior to the commencement of construction.

SUBMISSION REQUIREMENTS

1. Completed Site Plan Application, including authorization of land owner.
2. A site plan drawn to scale showing the extent of the subject property, site grading, the location of existing property lines, existing or proposed buildings, fences, buffering, existing and proposed landscaping, access, parking, and the type and height of the proposed tower structure. Any significant vegetation on a particular site should be inventoried on the plan. The site plan shall be formatted to print onto 11 x 17 landscape paper.

3. Two sets of stamped engineered drawings to identify the tower design. In the case of roof-mounted towers, a structural engineer's report may also be required to address the structural effects on the existing building.
4. A key map showing the location of the tower installation and nearby residential dwellings and/or residential zones.
5. A statement from the Proponent (carrier) to indicate the need for the proposed tower height.
6. Written documentation from the Proponent (carrier) outlining the steps taken by the Proponent to investigate all non-tower and co-location options and why a tower option is the only viable alternative.
7. A cheque payable to the Town of Kingsville in the amount as set out in the Municipal Fees Schedule for the processing of Site Plan Applications.

Phase 2 – Public Review Process

A. Exemptions to Public Consultation

1. For freestanding towers, which meet the following criteria, public consultation is **not** required:
 - Maintenance of existing radio apparatus including the antennae system, transmission line, mast, tower or other antennae-supporting structure;
 - Addition or modification of an antennae system (including improving the structural integrity of its integral mast to facilitate sharing), the transmission line, antenna supporting structure or other radio apparatus to existing infrastructure, a building, water tower, etc., provided the addition or modification does not result in an overall height increase above the existing structure of 25% of the original structure's height.
 - Maintenance of an antennae system's painting or lighting in order to comply with Transport Canada's requirements
 - Installation for a limited duration (not more than 3 months) of an antennae system used for a special event or to support local, provincial, territorial or national emergency operations during the emergency and is removed within 3 months after the emergency or special event.
2. In cases where no public consultation is required, the application shall be brought forward to the Planning Management Review Committee within 2 weeks of receiving all required submissions from the Proponent. Upon review by the Planning Management Review Committee, the request shall be presented to Council together with the Letter of Undertaking and a recommendation regarding a resolution of support.

B. Public Consultation Required

For proposed towers or alterations to existing towers that do not meet the above-noted exemption criteria, the proponent shall give notice by regular mail to all owners of properties within a radius of 120 metres of the subject property.

In addition to the requirements of Industry Canada's *Public Notification Package*, the notice shall include the following information:

- Key map showing the proposed location of the tower on the subject site;
- physical details of the tower including its height, colour, type, design,
- sample photo or illustration of the proposed tower;
- the date, time and location of the public open house as established by the Planning Department, &
- the name and telephone number of a contact person employed by the Proponent, as well as a Municipal contact person.

If issues of concern are raised through the consultation process, they will be discussed at the Public Open House in order to seek a mutual resolution. If necessary, representatives from Industry Canada may be consulted to assist with the resolution.

Where Towers are proposed to be constructed in excess of 100 metres in height, notice will be published in local newspaper(s) that in the opinion of the Planning Department is of sufficiently general circulation in the area of the proposed facility, in addition to the provision of the Public Notification Package to all property owners within 300 metres of the subject property.

Letter of Undertaking

The proponent will be required to provide the municipality with a standard Letter of Undertaking with respect to the installation of the proposed facility. The Letter of Undertaking will confirm the proponent's intention to address any changes necessary to address reasonable and relevant concerns of the municipality and the public and include a site plan acceptable to the municipality.

Resolution of Support

Subsequent to the review of the Planning Management Review Group and the Public Open House (if required), the Planning Department will prepare a summary report to Council. The report will include a summary of matters acknowledged by the Planning Management Review Group, concerns received at the Public Open House and the standard Letter of Undertaking.

Upon Council's direction, a letter will be provided to the proponent stating that the proponent is required to enter into the standard Letter of Undertaking with the municipality. The letter shall also include a resolution of support, provided Council is satisfied that adequate public consultation was conducted and that land use impacts have been addressed.

It is expected that applications for the review of telecommunication and broadcasting facilities shall be concluded within 120 days of receipt of a complete application, including submission of all materials required by this policy.