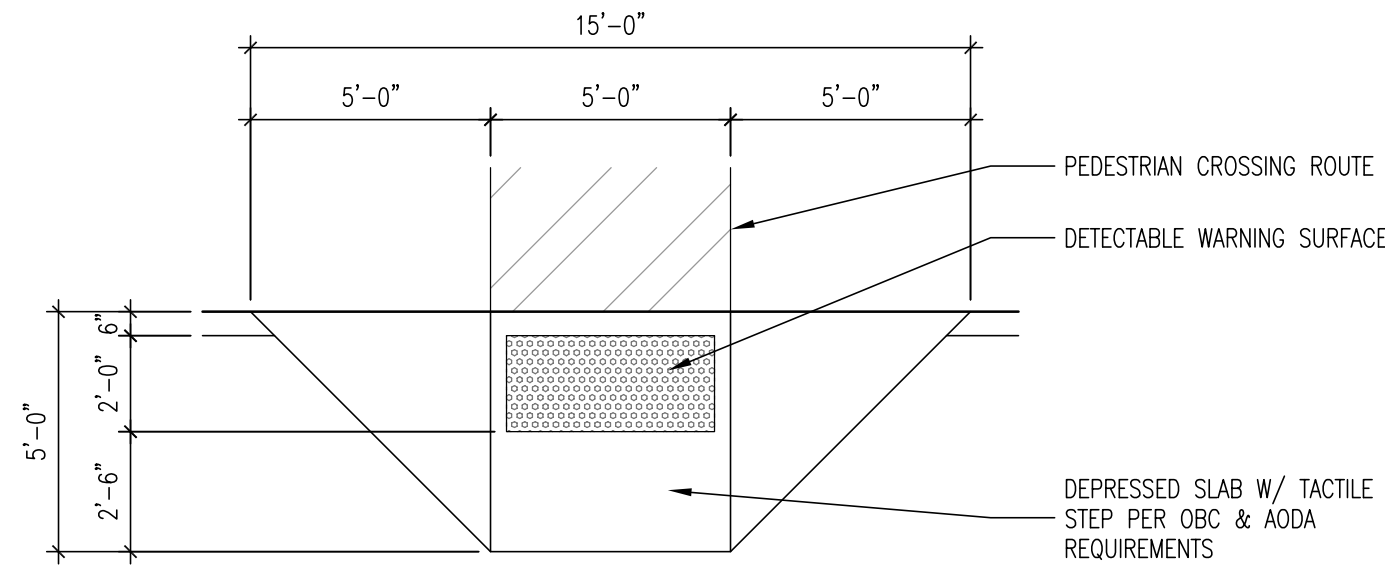
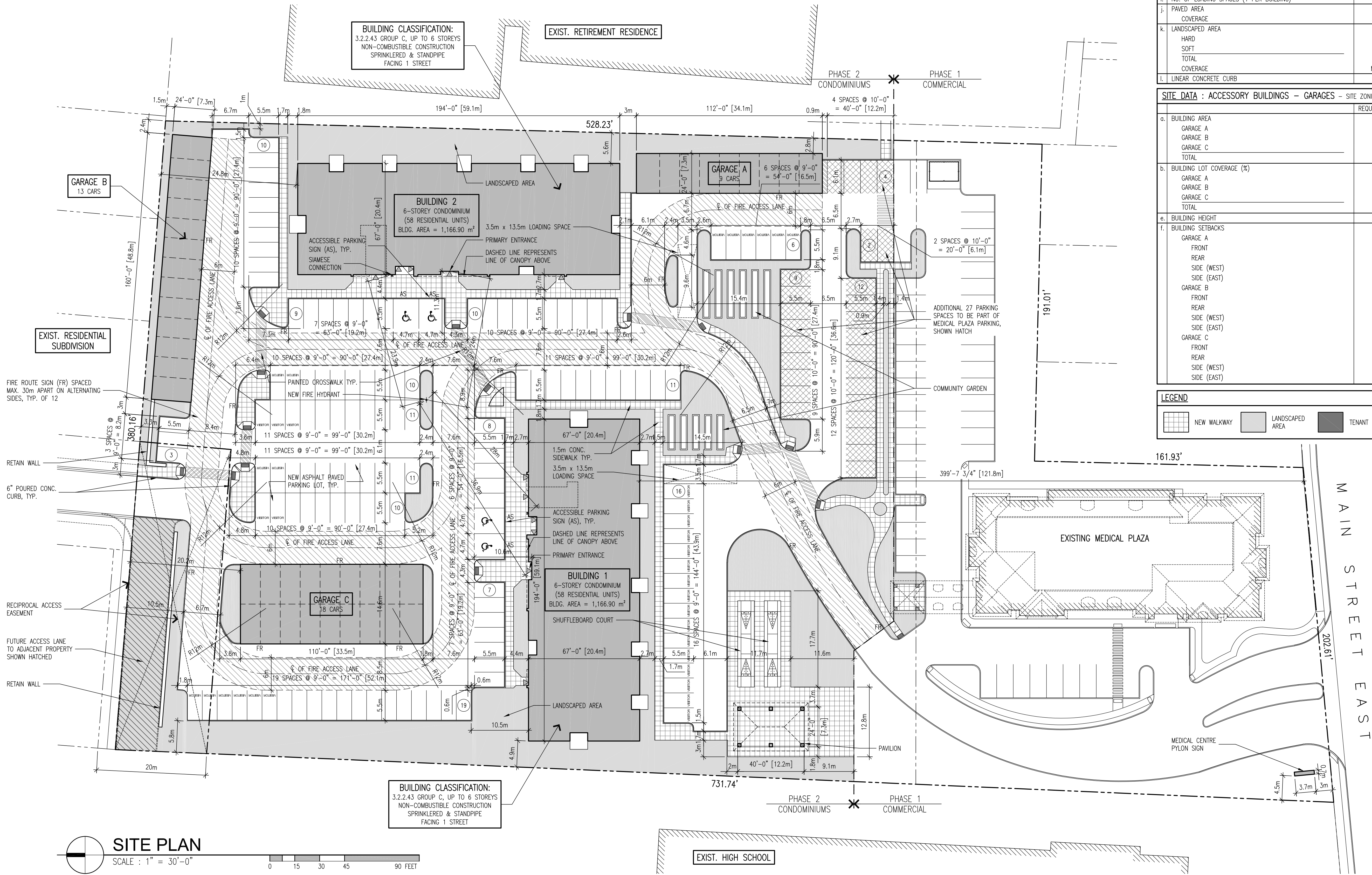


Appendix B



TYPICAL CURB RAMP PLAN

SCALE : 1/4" = 1'-0"



SITE DATA : TECUMSEH GATEWAY TOWER - SITE ZONING : R4.1		
	REQUIRED	PROPOSED
a. LOT AREA - PHASE 2 ONLY		15,976.29 m ²
b. BUILDING AREA		
BUILDING 1		1,166.90 m ²
BUILDING 2		1,166.90 m ²
TOTAL		2,333.80 m ²
c. BUILDING LOT COVERAGE (%)	MAX. 45.0 %	14.61 %
d. BUILDING GROSS FLOOR AREA (G.F.A.)		14,002.80 m ²
e. BUILDING HEIGHT		18.8 m
f. BUILDING SETBACKS		
FRONT	MIN. 8.0 m	121.8 m
REAR	MIN. 10.0 m	24.8 m
SIDE (WEST)	MIN. 4.5 m	4.9 m
SIDE (EAST)	MIN. 4.5 m	5.6 m
g. NO. OF PARKING SPACES (INCLUDES HANDICAPPED SPACES)		
1.25 SPACES PER UNIT = 1.25 x 116 =	145 SPACES	141 SPACES
SURFACE COVERED		40 SPACES
TOTAL		181 SPACES
0.25 OF THE REQUIRED PARKING SPACES SHALL BE DEDICATE TO VISITOR PARKING	37 SPACES	37 SPACES
h. NO. OF HANDICAPPED PARKING SPACES (151+)	4 SPACES	4 SPACES
i. NO. OF LOADING SPACES (1 PER BUILDING)	2 SPACES	2 SPACES
j. PAVED AREA		7,188.06 m ²
COVERAGE		44.99 %
k. LANDSCAPED AREA		
HARD		1,394.45 m ²
SOFT		3,421.60 m ²
TOTAL		4,816.05 m ²
COVERAGE	MIN. 30.0 %	30.14 %
l. LINEAR CONCRETE CURB		1,012.51 m

SITE DATA : ACCESSORY BUILDINGS - GARAGES - SITE ZONING : R4.1		
	REQUIRED	PROPOSED
a. BUILDING AREA		
GARAGE A		249.72 m ²
GARAGE B		356.75 m ²
GARAGE C		490.53 m ²
TOTAL		1,097.00 m ²
b. BUILDING LOT COVERAGE (%)		
GARAGE A		1.56 %
GARAGE B		2.23 %
GARAGE C		3.07 %
TOTAL		6.86 %
c. BUILDING HEIGHT		5.64 m
d. BUILDING SETBACKS		
GARAGE A		
FRONT		40.3 m
REAR		86.7 m
SIDE (WEST)		106.2 m
SIDE (EAST)		2.8 m
GARAGE B		
FRONT		152.3 m
REAR		1.5 m
SIDE (WEST)		64.3 m
SIDE (EAST)		2.4 m
GARAGE C		
FRONT		162.5 m
REAR		20.2 m
SIDE (WEST)		20.0 m
SIDE (EAST)		80.1 m

LEGEND			
	NEW WALKWAY		LANDSCAPED AREA
	TENANT PATIO		PAINTED ASPHALT

2021/06/02 SITE PLAN CONTROL

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project:
PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGSVILLE, ONTARIO

client:
VALENTE DEVELOPMENT

title:
SITE PLAN

scale:
AS SHOWN

drawn by:
SJP

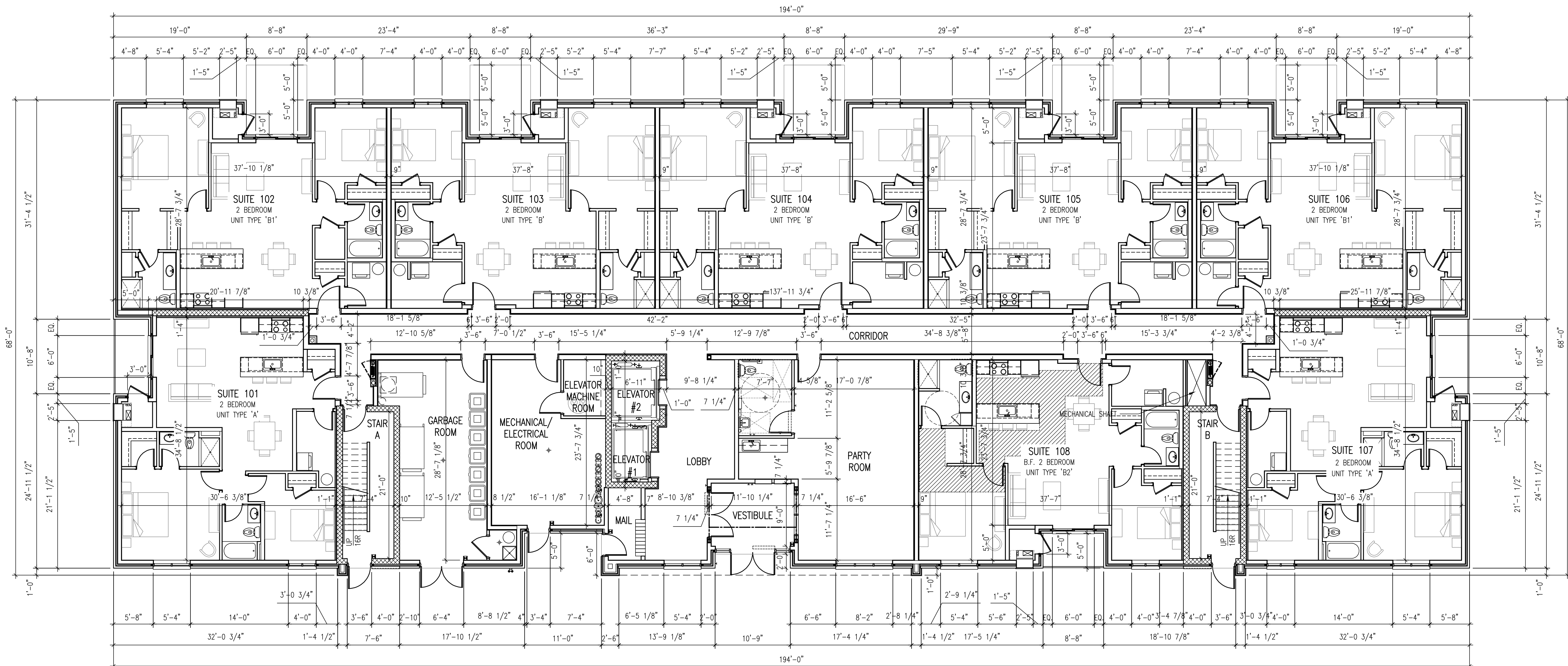
checked by:
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date:
MAY, 2021

comm. no.:
2021-048

sheet no.:

SPC-1



FIRST FLOOR PLAN

SCALE : 1/8" = 1'-0"

0 2 4 8 12 24 FEET

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PROPOSED PHASE 2
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190-224 MAIN STREET EAST,
KINGSVILLE, ONTARIO

client:

VALENTE DEVELOPMENT

title:

FIRST FLOOR PLAN

scale:

AS SHOWN

drawn by:

SJP

checked by:

SMB

date:

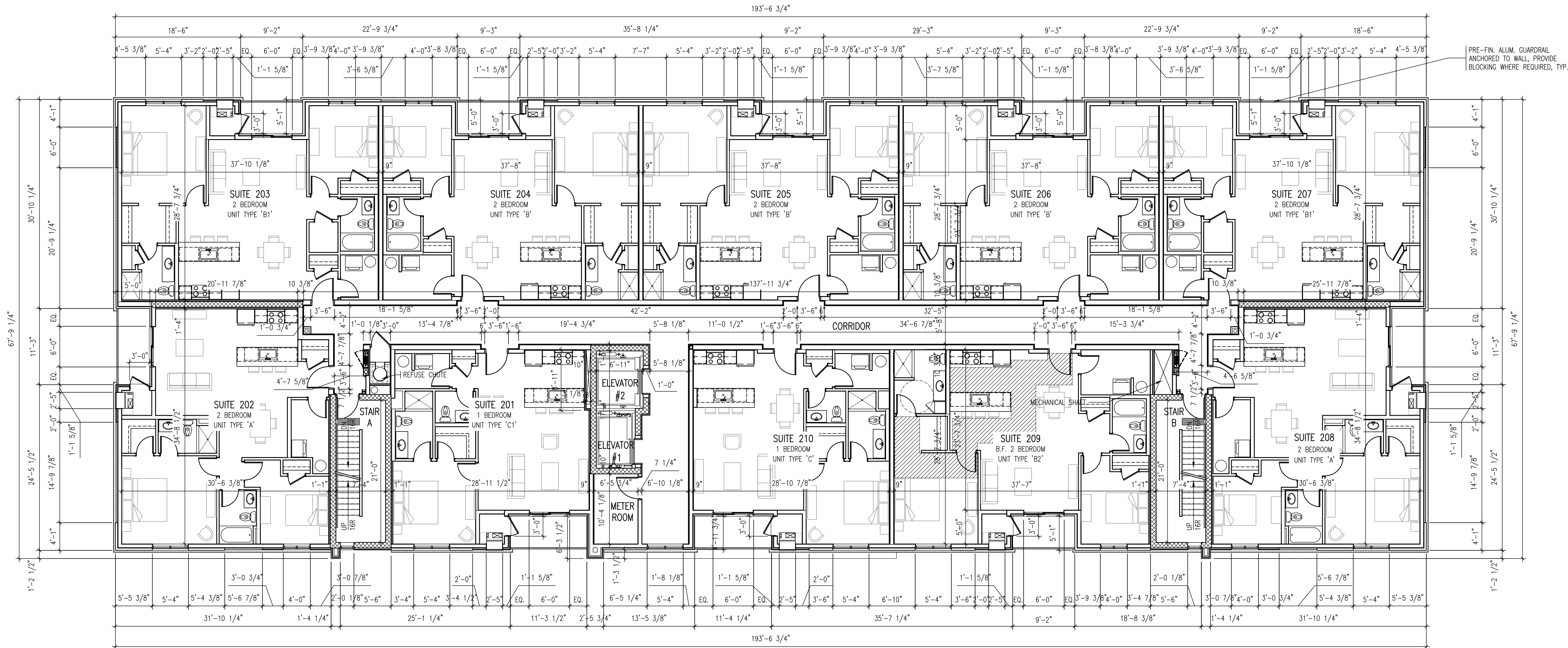
MAY, 2021

comm. no.:

2021-048

sheet no.:

SPC-2a



TYPICAL FLOOR PLAN

SCALE : 1/8" = 1'-0"

0 2 4 8 12 24 FEET

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PROPOSED PHASE 2
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190-224 MAIN STREET EAST,
KINGSVILLE, ONTARIO

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VALENTE DEVELOPMENT

title:

TYPICAL FLOOR PLAN

scale: AS SHOWN

drawn by: SJP

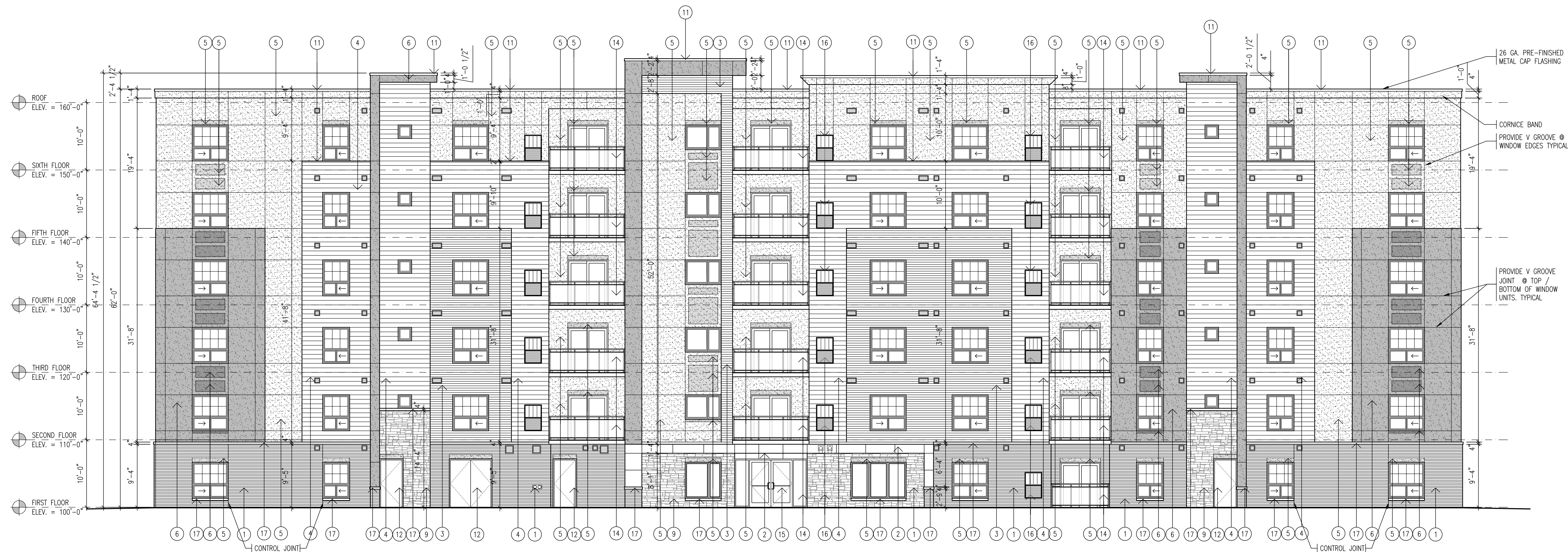
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date: MAY, 2021

comm. no.: 2021-048

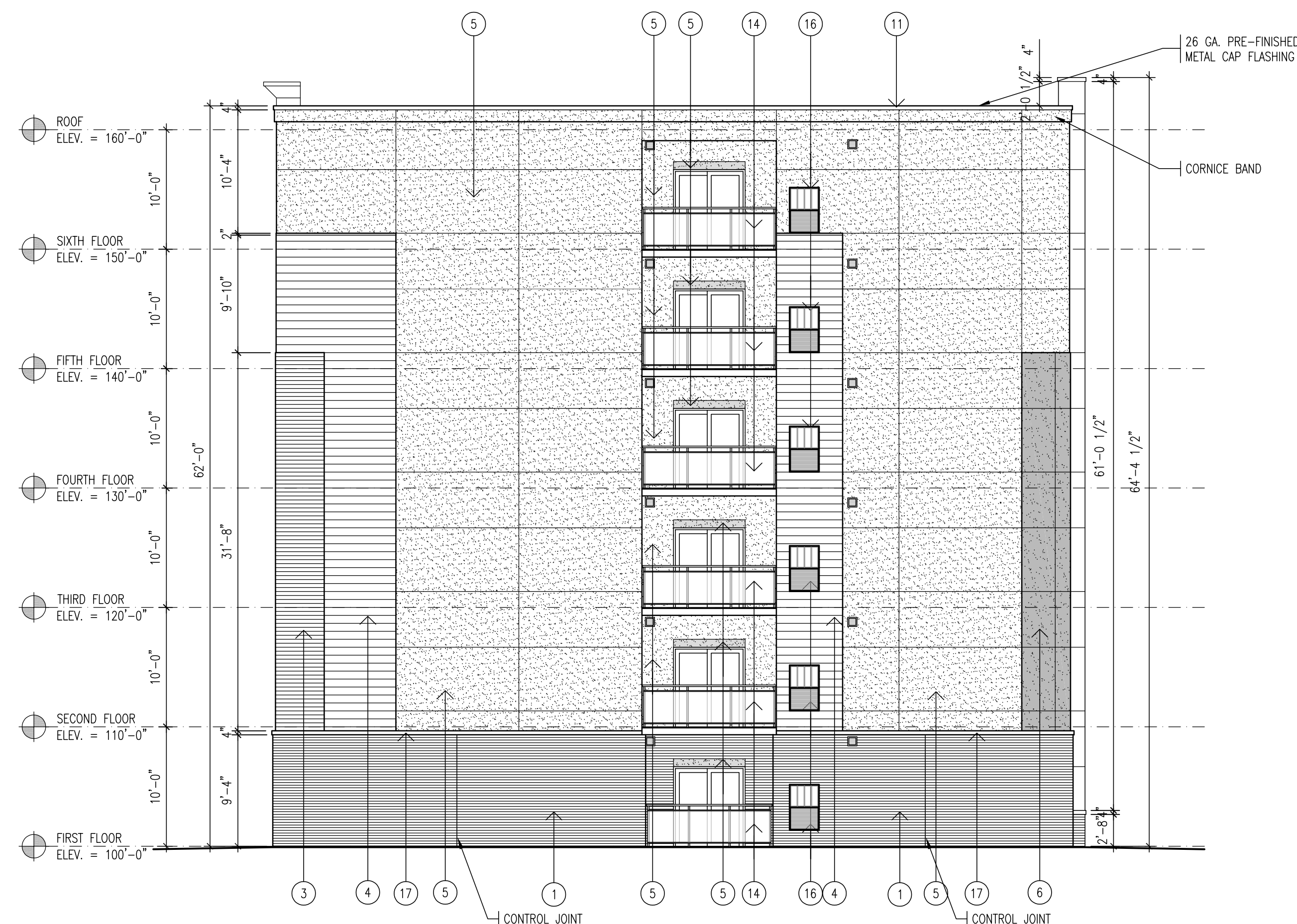
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SPC-2b



NORTH ELEVATION - BUILDING 1

SCALE : 1/8" = 1'-0"



EAST ELEVATION - BUILDING 1

SCALE : 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
1	BRICK	BRICK VENEER	X	X	--
2	ALUMINUM COMPOSITE PANEL	X	X	X	--
3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST AD300R METAL SIDING	VICWEST	X	X	--
5	E.I.F.S. 01	DRYWIT OR EQUAL	X	X	--
6	E.I.F.S. 02	DRYWIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYWIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYWIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

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project:

PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGSVILLE, ONTARIO

client:

VALENTE DEVELOPMENT

title:

CONDO ELEVATIONS
BUILDING 1

scale:

AS SHOWN

drawn by:

SJP

checked by:

SMB

date:

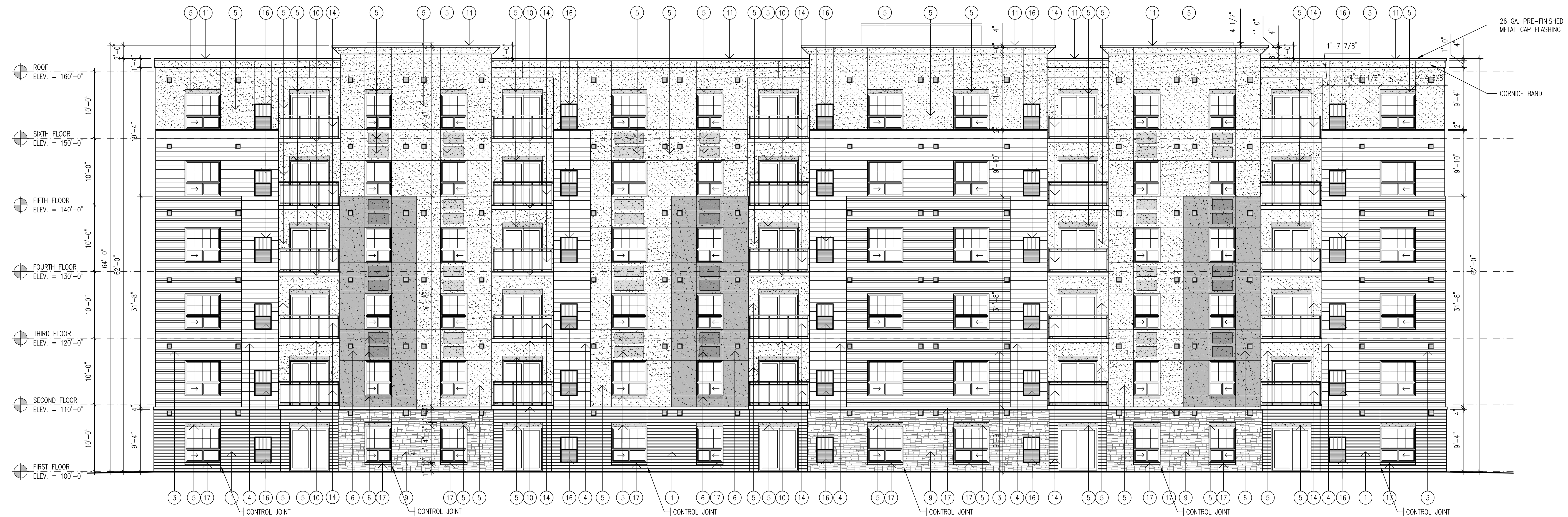
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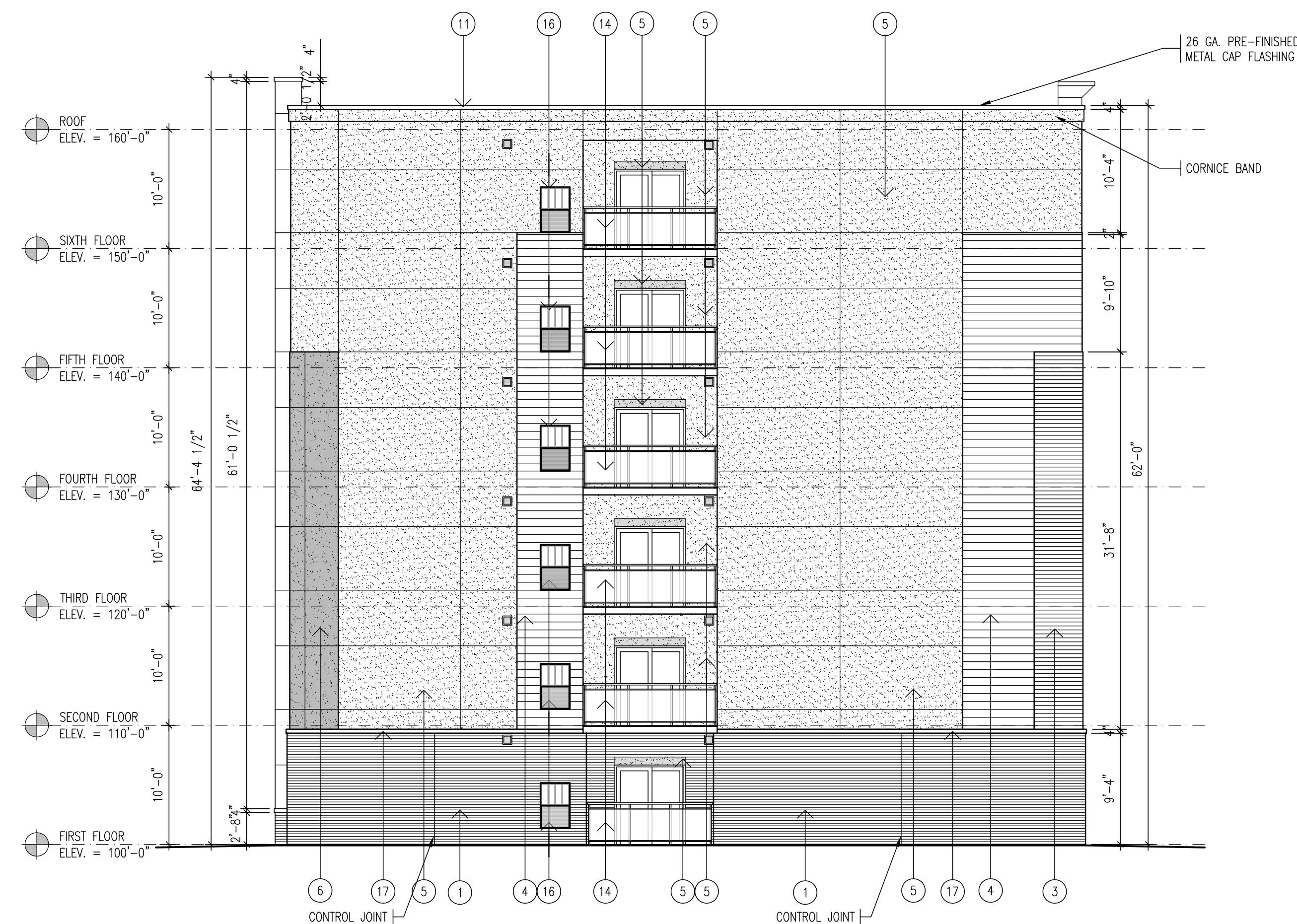
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SPC-3a



SOUTH ELEVATION - BUILDING 1

SCALE : 1/8" = 1'-0"



WEST ELEVATION - BUILDING 1

SCALE : 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
1	BRICK	BRICK VENEER	X	X	--
2	ALUMINUM COMPOSITE PANEL	X	X	X	--
3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST AD300R METAL SIDING	VICWEST	X	X	--
5	E.I.F.S. 01	DRYWIT OR EQUAL	X	X	--
6	E.I.F.S. 02	DRYWIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYWIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYWIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

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project:

PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGVILLE, ONTARIO

client:

VALENTE DEVELOPMENT

title:

CONDO ELEVATIONS
BUILDING 1

scale:

AS SHOWN

drawn by:

SJP

checked by:

SMB

date:

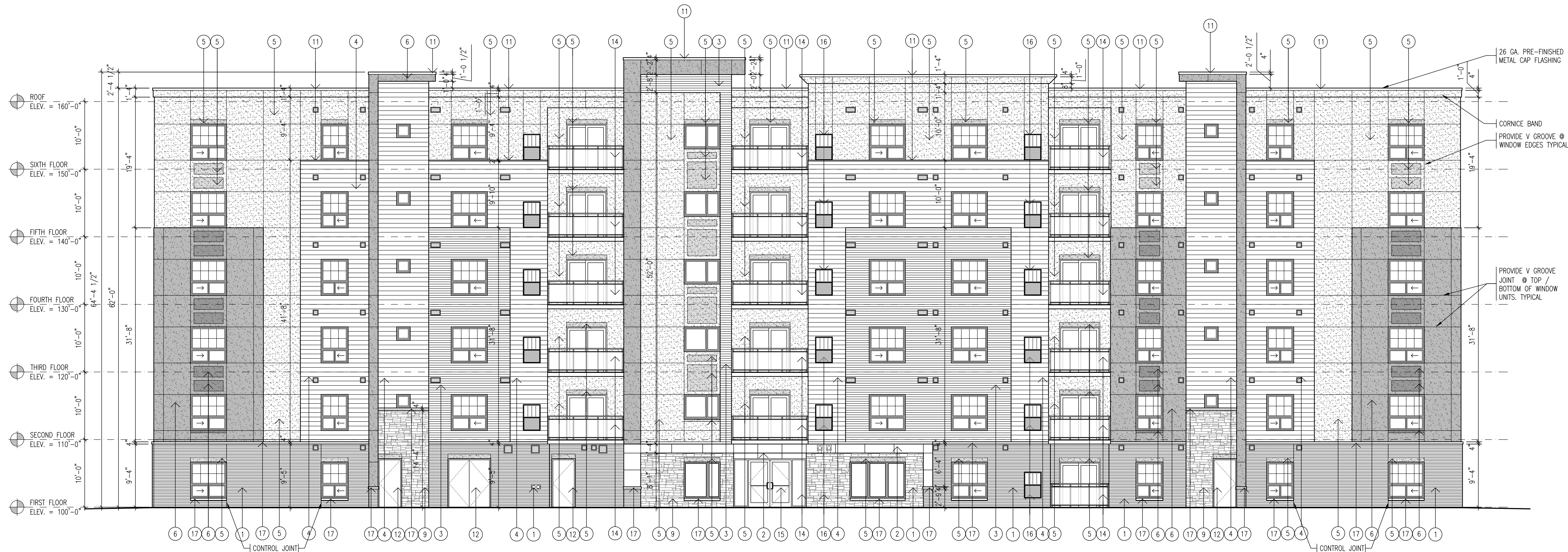
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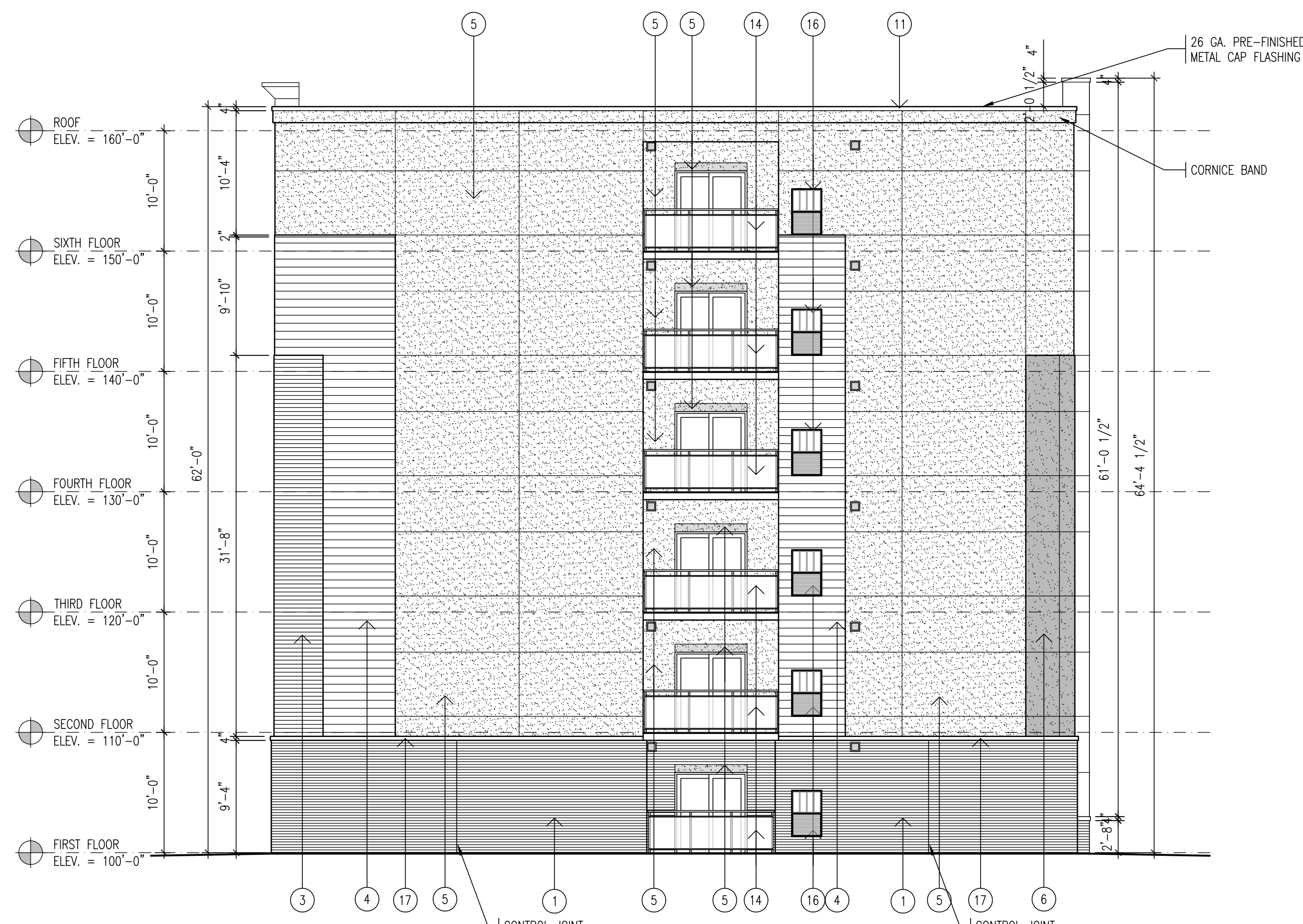
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SPC-3b



WEST ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"



NORTH ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
1	BRICK	BRICK VENEER	X	X	--
2	ALUMINUM COMPOSITE PANEL	X	X	X	--
3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST AD300R METAL SIDING	VICWEST	X	X	--
5	E.I.F.S. 01	DRYWIT OR EQUAL	X	X	--
6	E.I.F.S. 02	DRYWIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYWIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYWIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

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stamp:

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project:
PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGSVILLE, ONTARIO

client:
VALENTE DEVELOPMENT

title:
CONDO ELEVATIONS
BUILDING 2

scale:
AS SHOWN

drawn by:
SJP

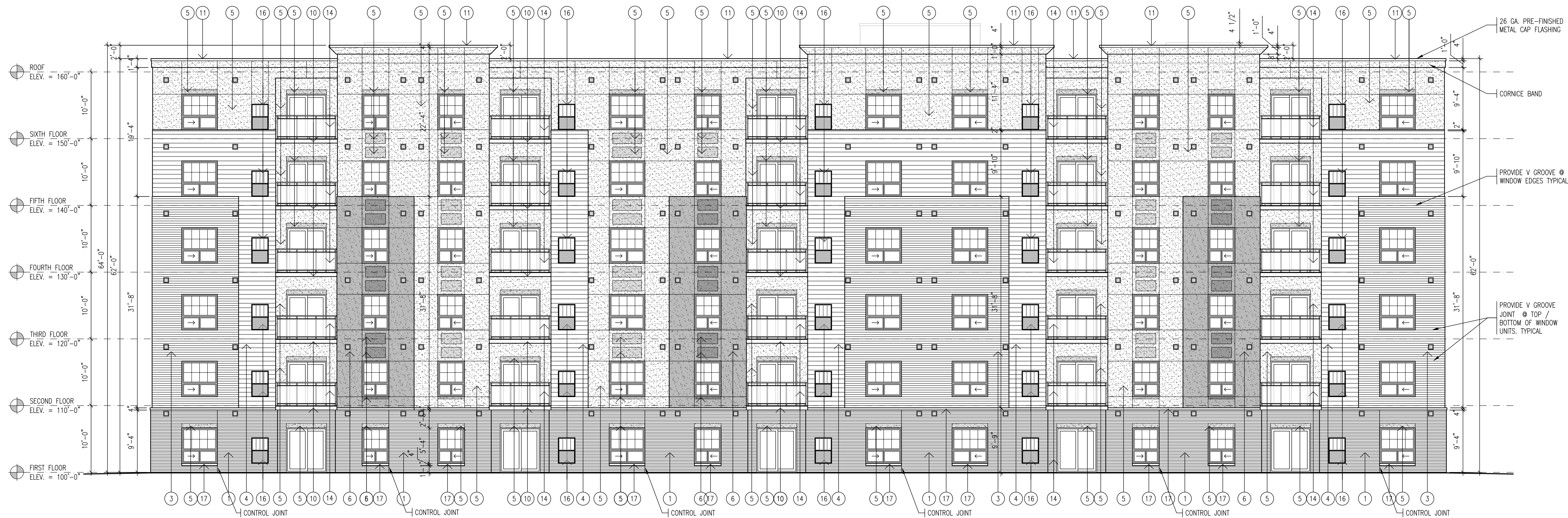
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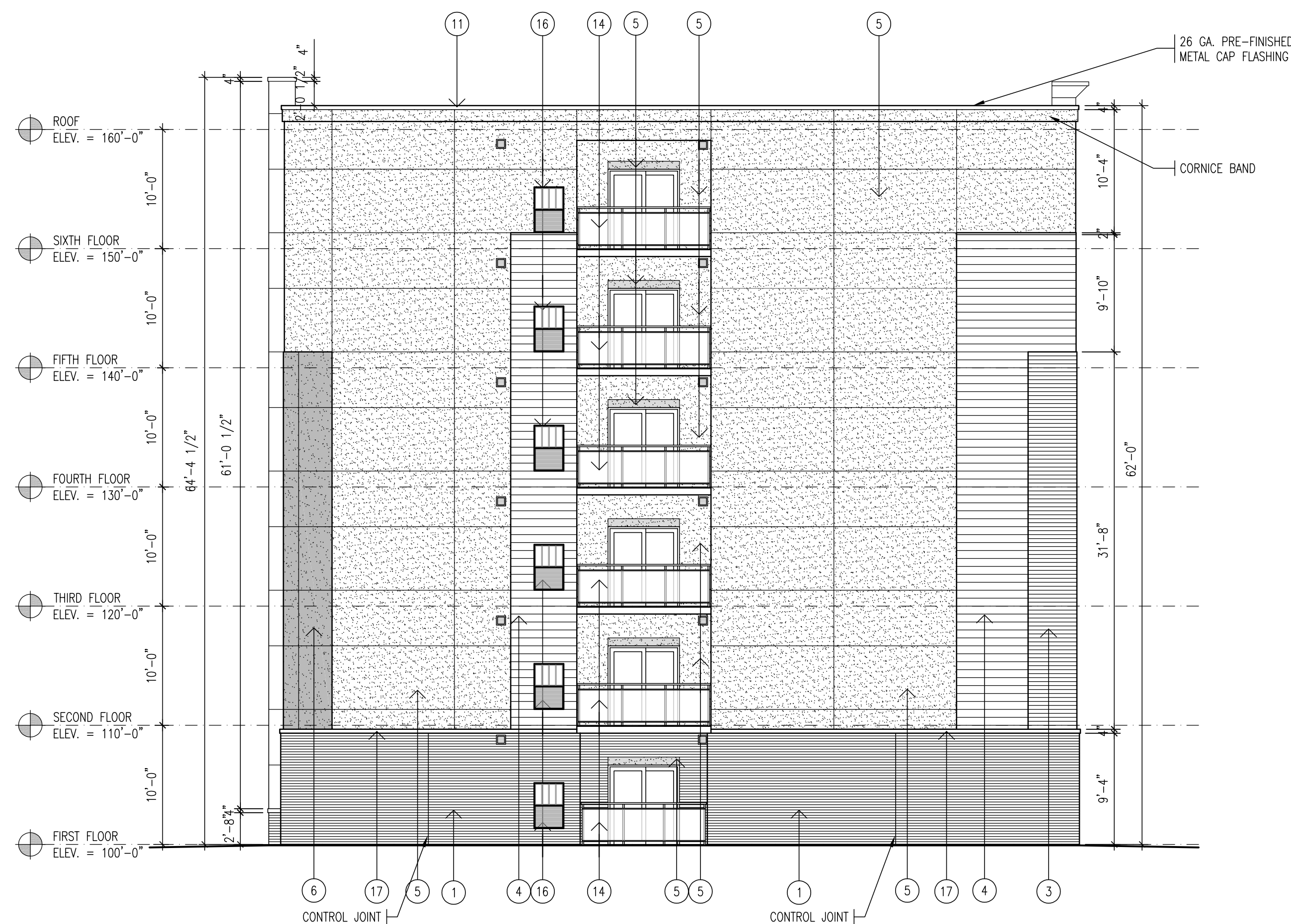
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SPC-3c



EAST ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
1	BRICK	BRICK VENEER	X	X	--
2	ALUMINUM COMPOSITE PANEL	X	X	X	--
3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST AD300R METAL SIDING	VICWEST	X	X	--
5	E.I.F.S. 01	DRYVIT OR EQUAL	X	X	--
6	E.I.F.S. 02	DRYVIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYVIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYVIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

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project:

PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGSVILLE, ONTARIO

client:

VALENTE DEVELOPMENT

title:

CONDO ELEVATIONS
BUILDING 2

scale:

AS SHOWN

drawn by:

SJP

checked by:

SMB

date:

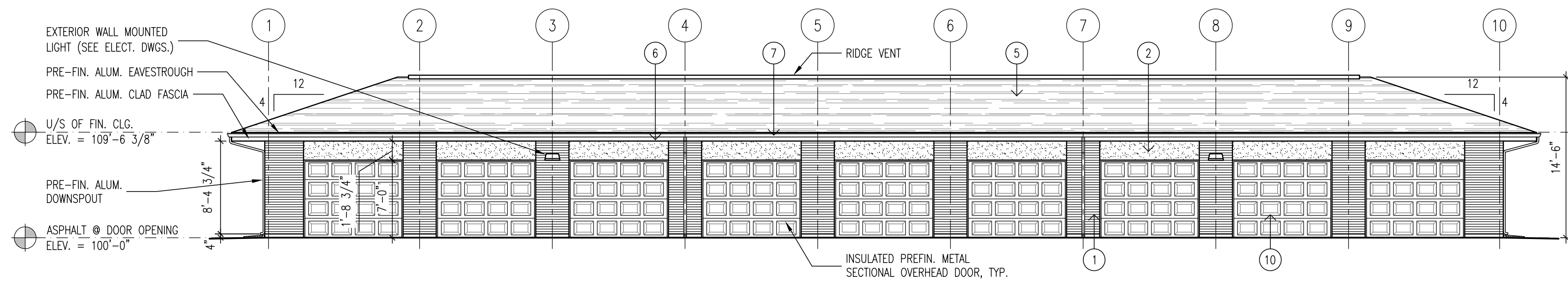
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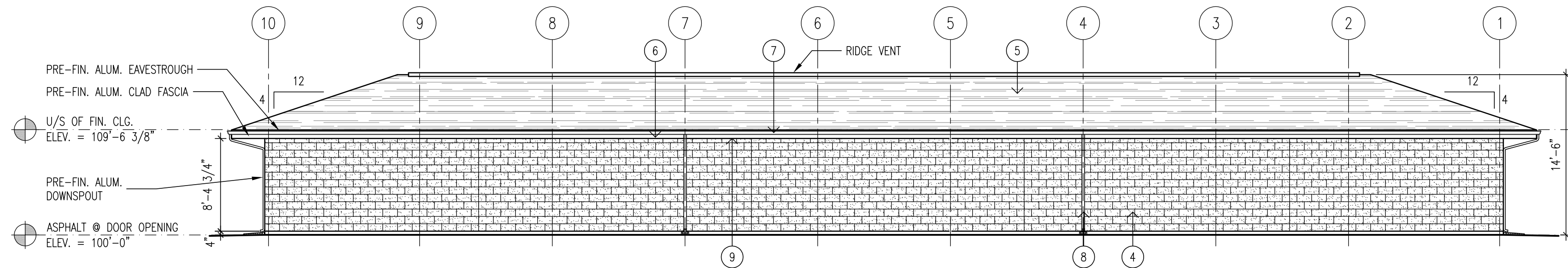
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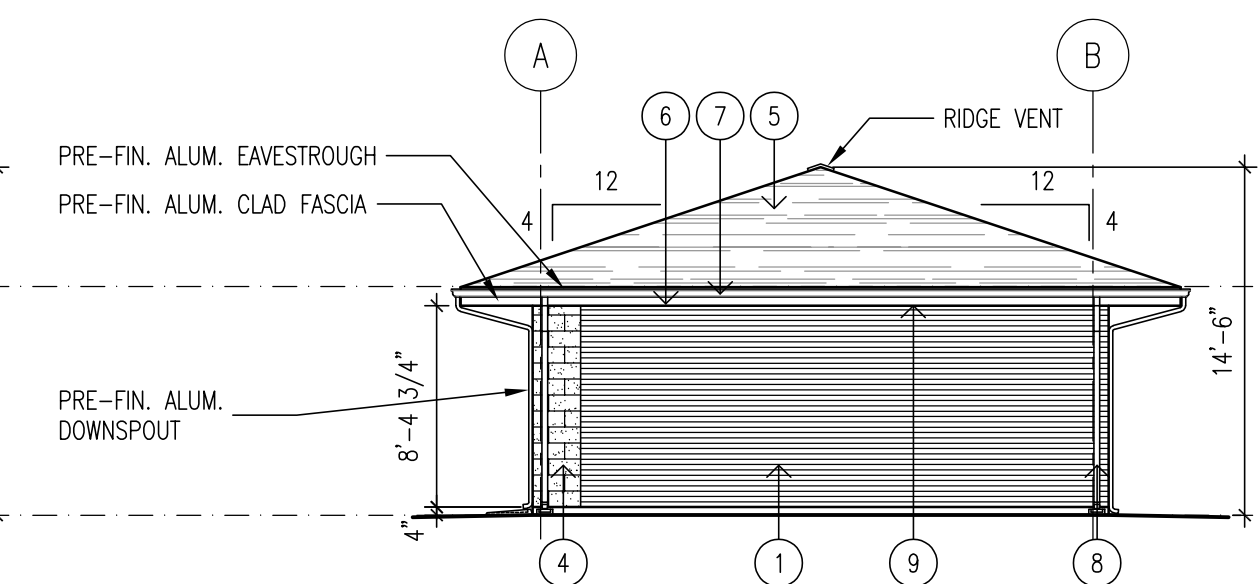
FRONT ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



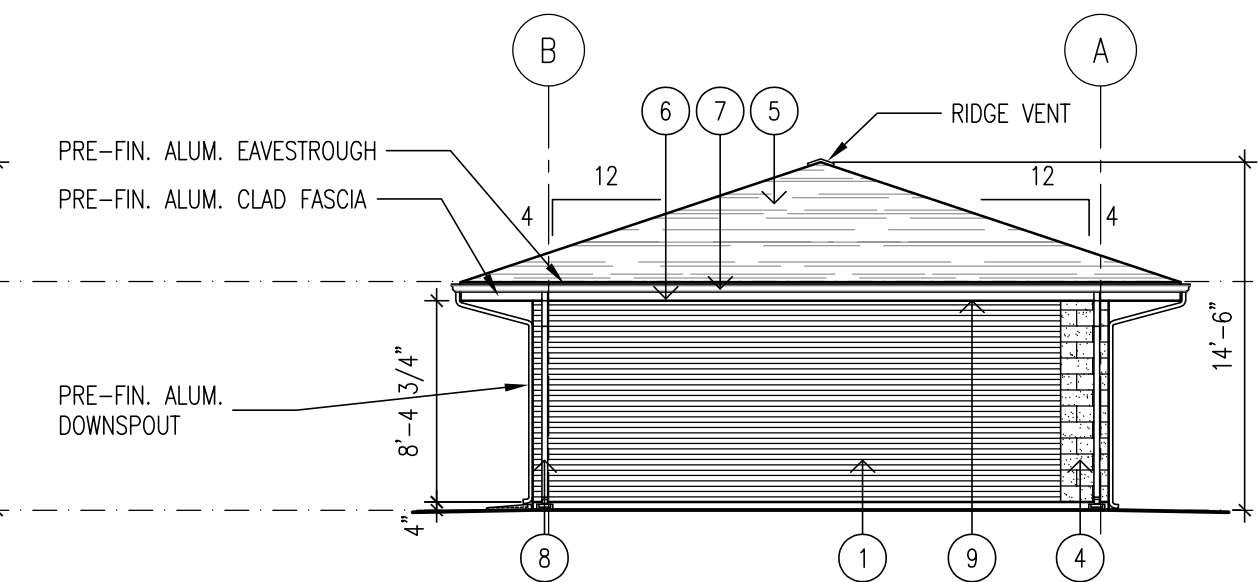
REAR ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



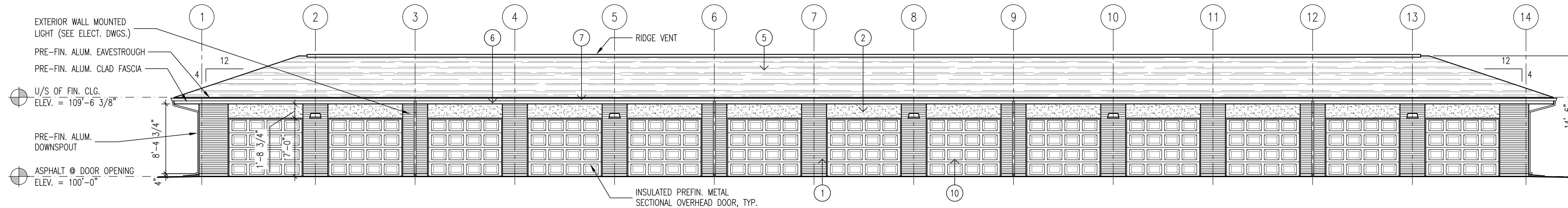
LEFT SIDE ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



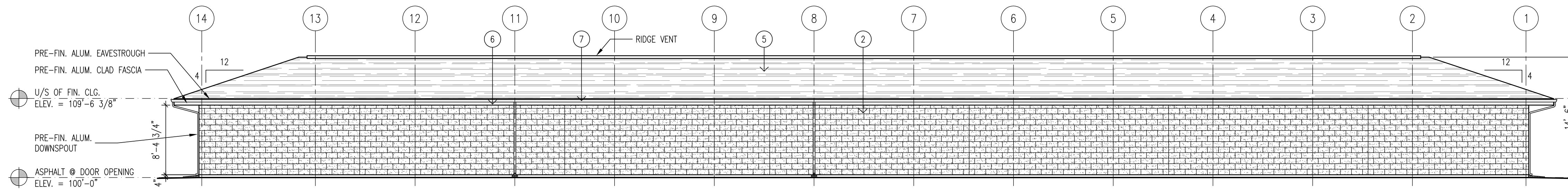
RIGHT SIDE ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



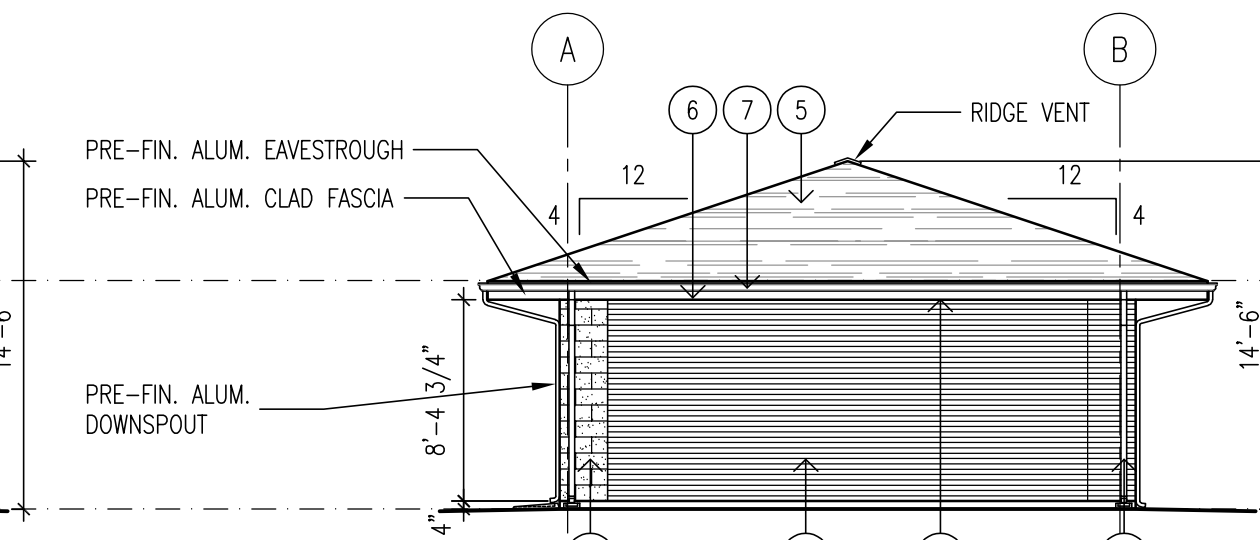
FRONT ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



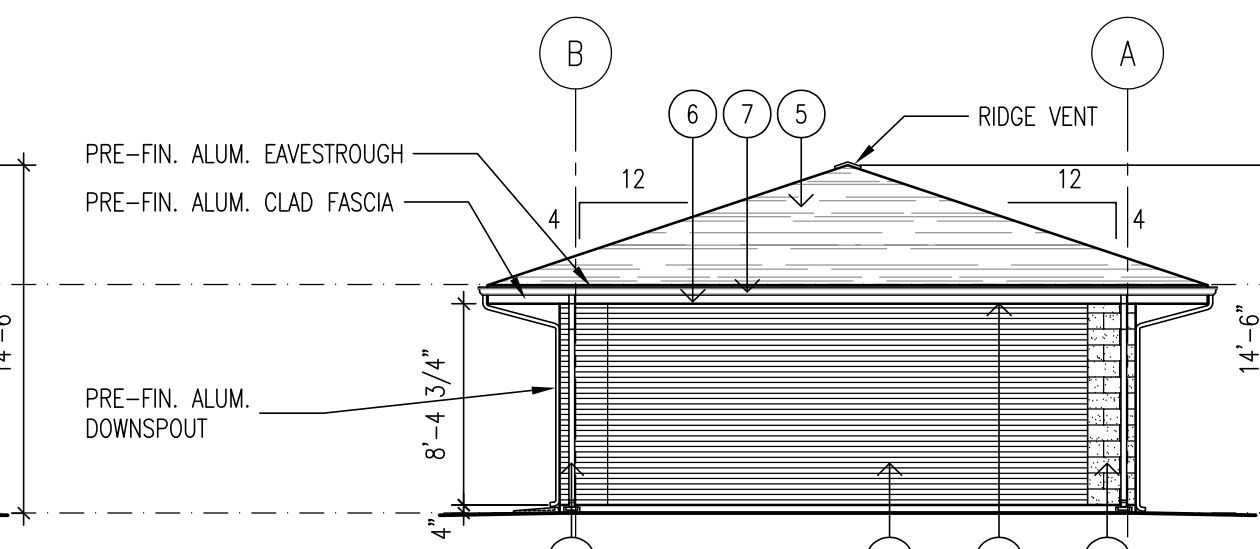
REAR ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



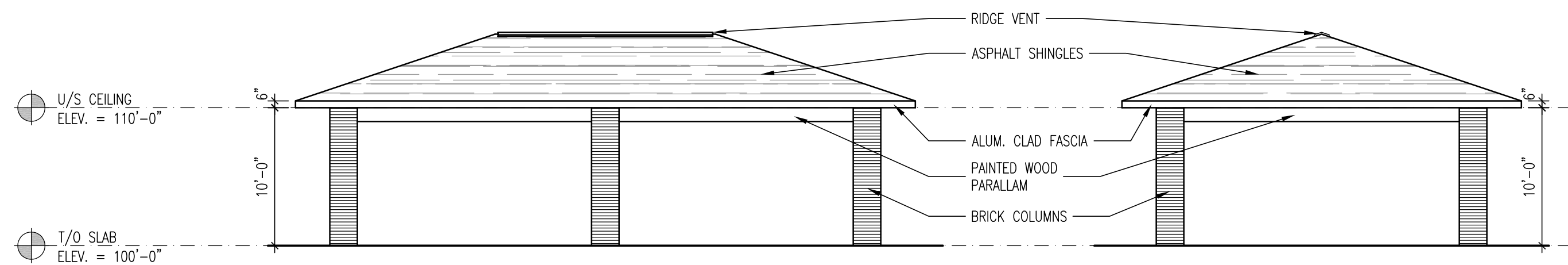
LEFT SIDE ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



RIGHT SIDE ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



PAVILION ELEVATIONS

SCALE : 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE						
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	DISTRIBUTOR	SIZE	COLOUR	NOTE
①	BRICK VENEER					
②	E.I.F.S.					
③						
④	SPLIT FACE ARCHITECTURAL BLOCK					
⑤	ASPHALT SHINGLES					
⑥	PREFIN. ALUMINUM FASCIA		VICWEST			
⑦	PREFIN. ALUMINUM EAVESTROUGH		VICWEST			
⑧	PREFIN. ALUMINUM DOWNSPOUT		VICWEST			
⑨	PREFIN. ALUMINUM SOFFIT		VICWEST			
⑩	INSULATED PREFIN. METAL SECTIONAL OVERHEAD DOOR					

2021/06/02 SITE PLAN CONTROL

date (yyyy/mm/dd): issued for:

general notes:

- THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT.
- DRAWINGS SHALL NOT BE SCALED.
- CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- ATTENTION IS DIRECTED TO PROVISIONS IN THE GENERAL CONDITIONS REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARD TO SUBMISSION OF SHOP DRAWINGS.
- IN THE EVENT THE ARCHITECT IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK FOR CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS.
- CONTRACTORS SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF THE EXISTENCE OF ANY OBSERVED VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR BY-LAWS.
- THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONTRACTOR'S MEANS, METHODS AND OR TECHNIQUES IN THE CONSTRUCTION OF THIS FACILITY.

stamp:

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project:

PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGSVILLE, ONTARIO

client:

VALENTE DEVELOPMENT

title:

GARAGE A & B ELEVATIONS
& PAVILION ELEVATIONS

scale:

AS SHOWN

drawn by:

SJP

checked by:

SMB

date:

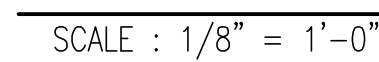
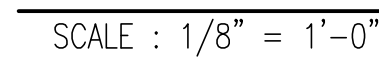
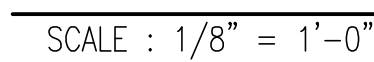
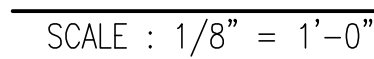
MAY, 2021

comm. no.:

2021-048

sheet no.:

SPC-3e

SPC-3f