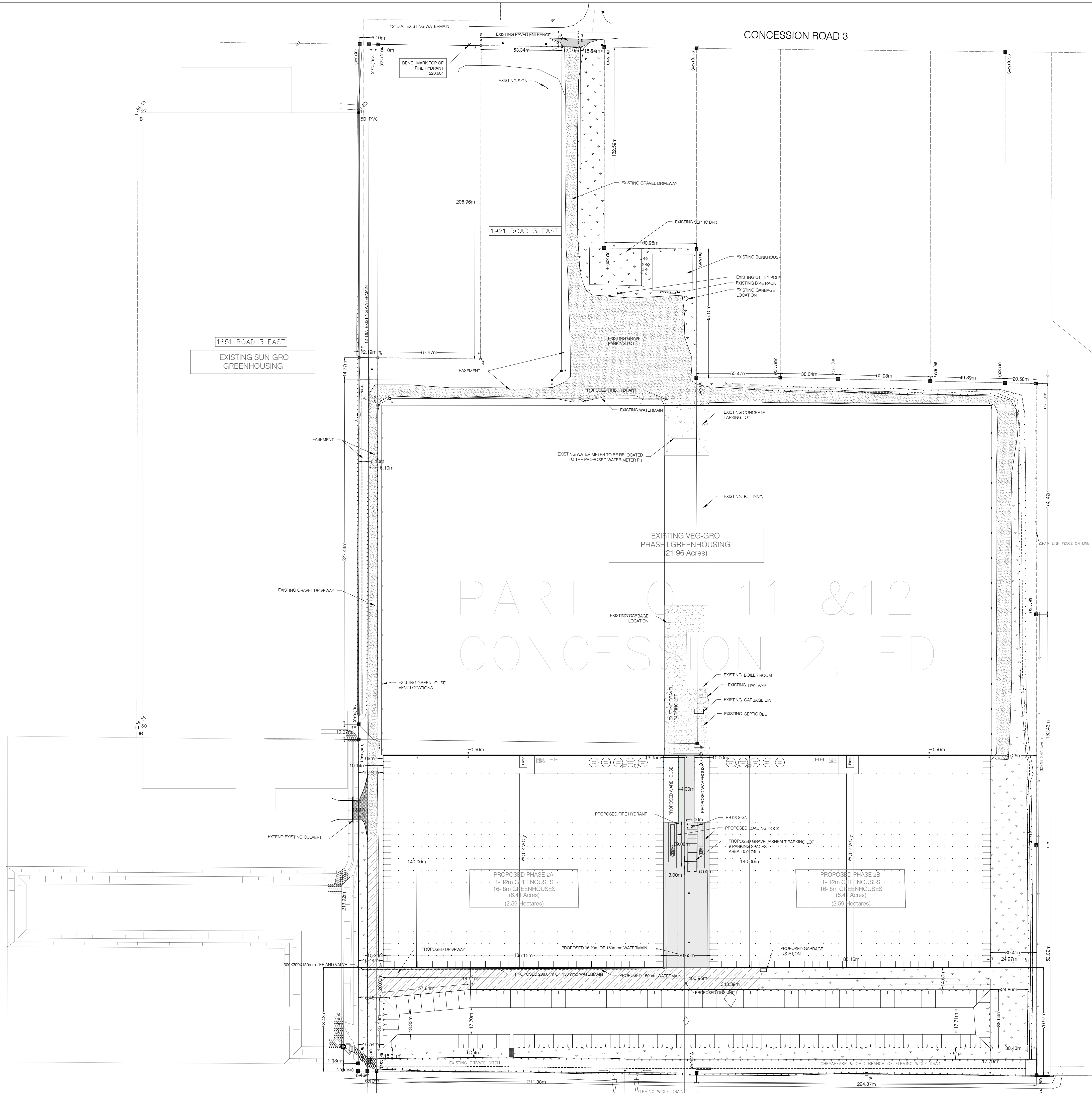




KEY PLAN
(NOT TO SCALE)

Zoning Matrix			
ZONE CATEGORY	REQUIRED - A1	EXISTING	PROPOSED
LOT AREA	MINIMUM 2.0 HECTARES (5.0 ACRES)		22.92 HECTARES
LOT FRONTAGE	25 METRES (82.0 FEET)	81.37m	81.37m
FRONT YARD SETBACK	MINIMUM 15m (49 FEET)	15.11m	15.11m
REAR YARD SETBACK	MINIMUM 15m (49 FEET)	56.78m	56.78m
SIDE YARD SETBACK	MINIMUM 4.5m (15 FEET)		16.24m
BUILDING AREA		9.32 HECTARES	5.61 HECTARES
BUILDING HEIGHT			10.0 m
LOT COVERAGE	MAXIMUM 80%		65.15%
FARM HELP DWELLING	MAXIMUM 2.5 LABOURERS PER 0.5 HECTARES OF GREENHOUSE		
STORMWATER MANAGEMENT	MINIMUM 3 METRES (9.84 FEET) FROM ALL LOT LINES		15.31m
PARKING			
VEHICLES (GREENHOUSE)	1 PARKING SPACE PER 2HA OF GROWING AREA, PLUS 1 PARKING SPACE PER 30 SQ. M OF OFFICE SPACE, PLUS 2 PARKING SPACE PER 30 SQ. M OF LAND AND PROCESSING AREA AND 1 PARKING SPACE PER LOADING DOCK = 3 PARKING SPACE FOR 5.18HA + 2 PARKING SPACE FOR 2 LOADING DOCKS = 5 SPACES IN TOTAL		9 SPACES
BARRIER FREE	1		1 SPACE

LEGEND		
DESCRIPTION	EXISTING	PROPOSED
STORM SEWER		
WATER MAIN		
CATCH BASIN		
FIRE HYDRANT		
STORM MANHOLE		
WATER VALVE		
PROPERTY LINE		

	2m WIDE AND 0.3m THICK RIPRAP USING QUARRIED LIMESTONE WITH EROSION PROTECTION LINING
	EXISTING GRAVEL AREA
	PROPOSED GRAVEL AREA
	PROPOSED GRAVEL / ASPHALT PARKING LOT
	LANDSCAPE
	3m WIDE EMERGENCY OVERLAND SPILLWAY WITH 0.3m THICK RIPRAP

NOTE : PHOTOMETRIC PLAN TO BE DARK SKY COMPLIANT

SCALE: 1:1250

Date	Revision
SEP 29, 2020	SUBMISSION 1
MAY 17, 2021	REVISED AS PER TOWN COMMENTS DATED APRIL 23, 2021



NADIM MRAD, P.ENG

PROJECT TITLE
BULL MARKET FARMS INC

JOB NUMBER

19-082

SHEET NUMBER

01 OF 06

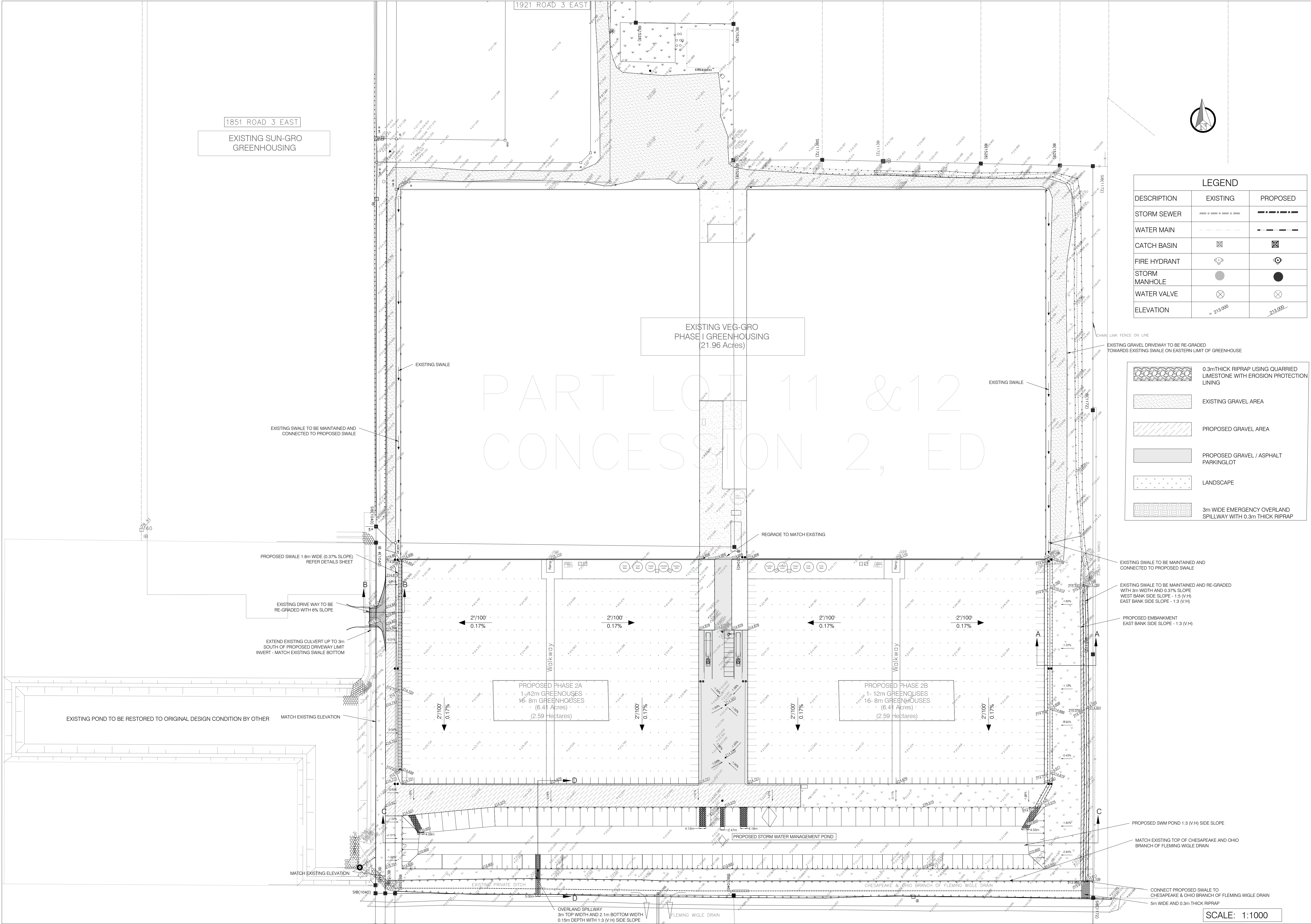
1921 ROAD 3 E, KINGSVILLE, ON

SITE PLAN

BAIRD | AE
architecture + engineering
1000 - 267 Pelissier Street
Windsor ON N9A 4K4
A DIVISION OF MATTHEW J. BAIRD CONSULTING SERVICES INC.

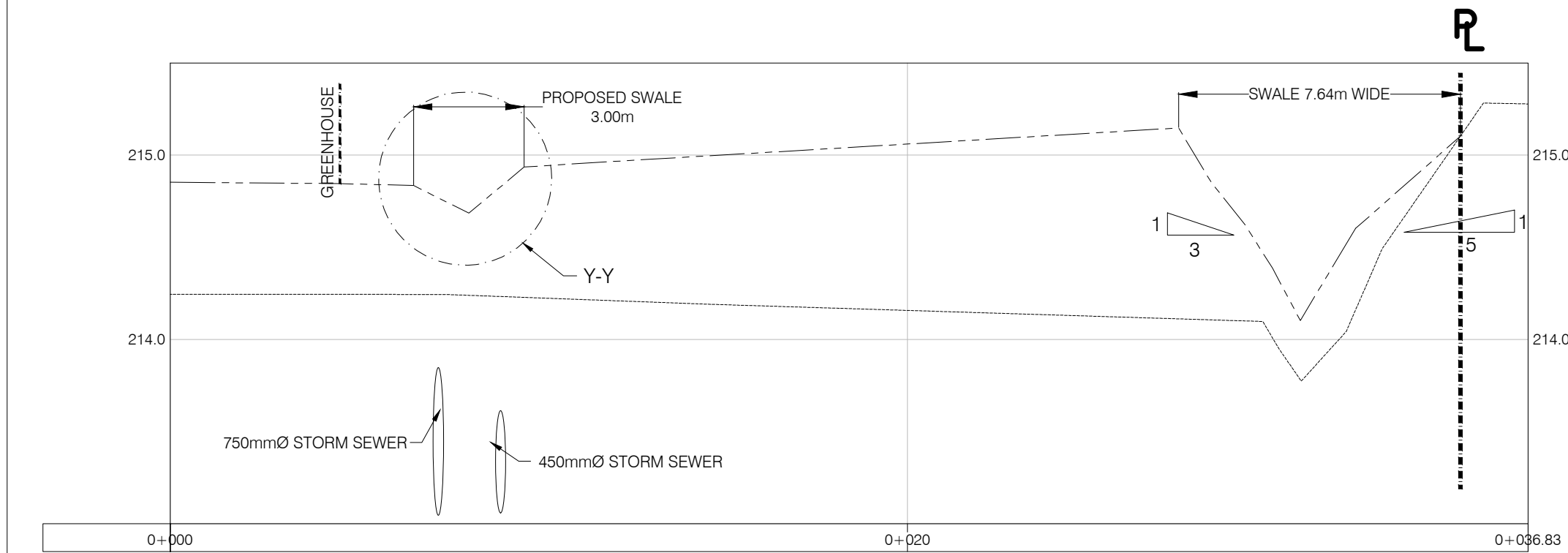
PARTNER / CONSULTANTS

102 - 27 Princess Street
Leamington ON N8H 2X8

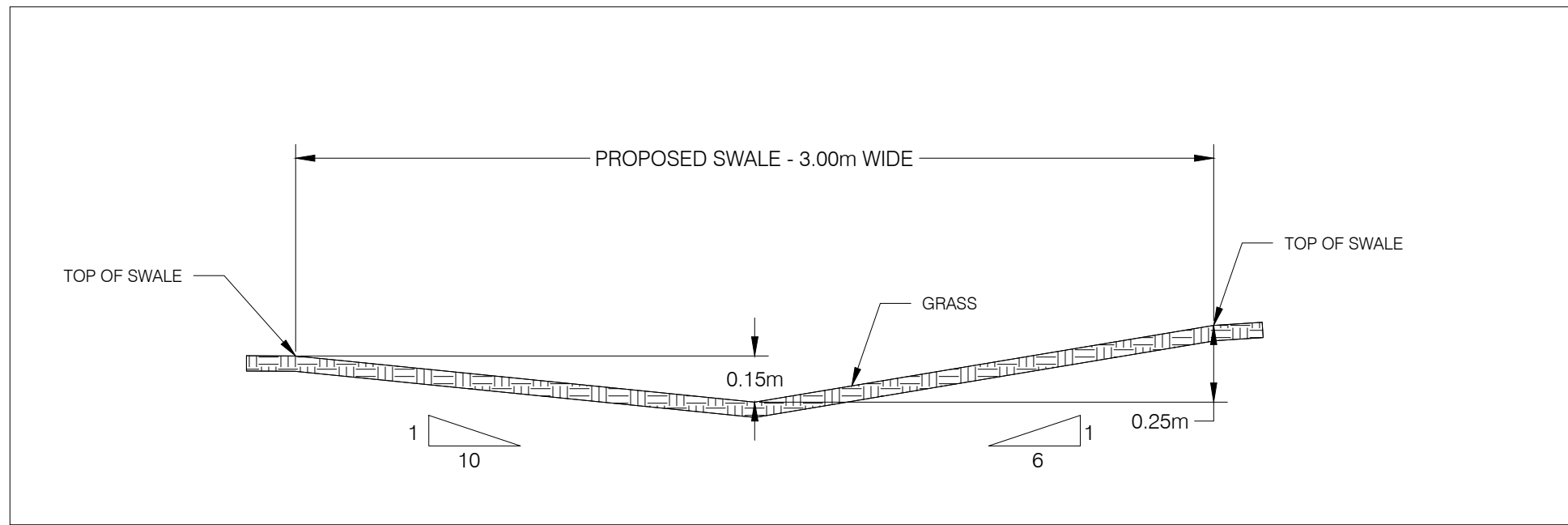


LEGEND		
DESCRIPTION	EXISTING	PROPOSED
STORM SEWER		
WATER MAIN		
CATCH BASIN		
FIRE HYDRANT		
STORM MANHOLE		
WATER VALVE		
ELEVATION		

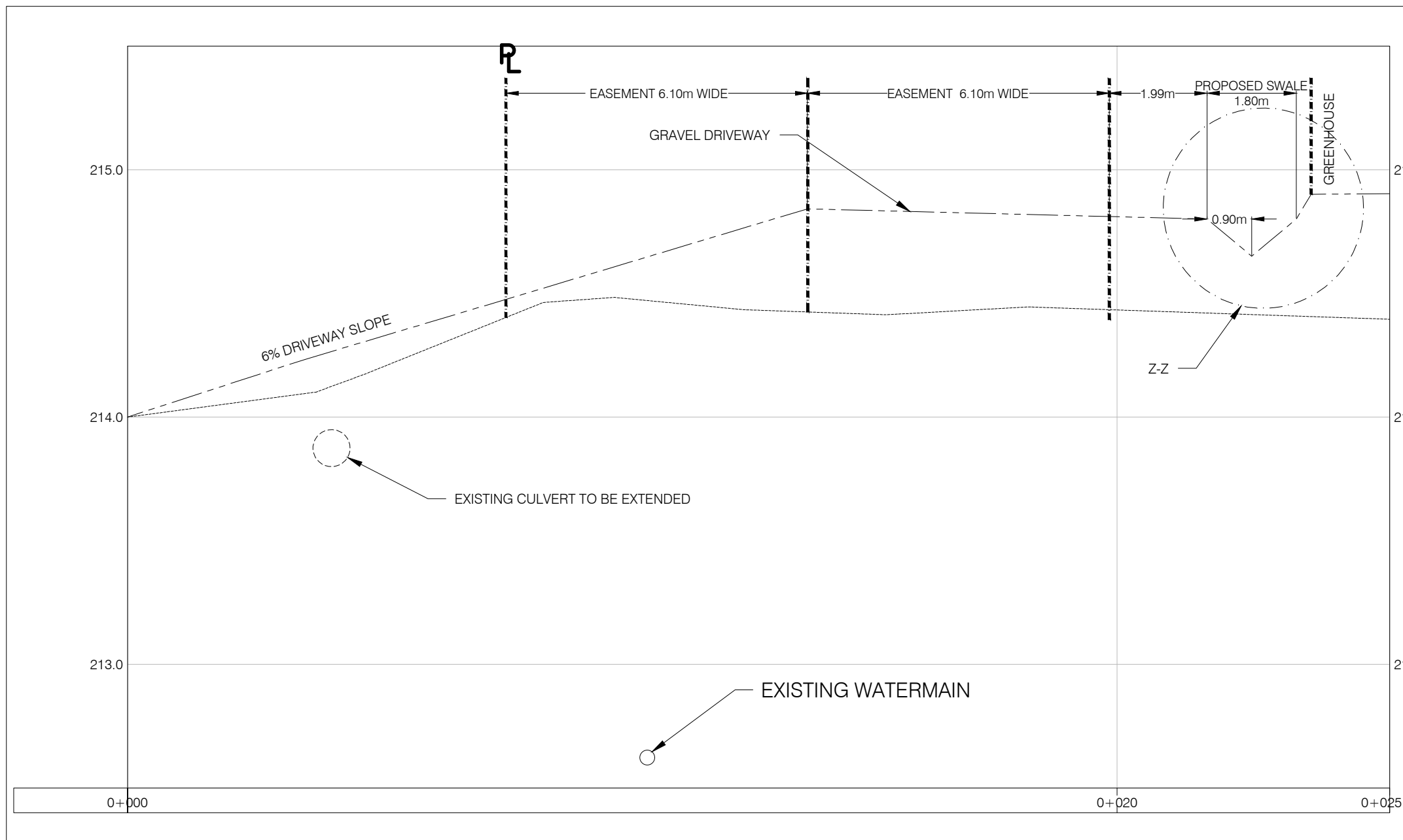
- 0.3m THICK RIPRAP USING QUARRIED LIMESTONE WITH EROSION PROTECTION LINING
- EXISTING GRAVEL AREA
- PROPOSED GRAVEL AREA
- PROPOSED GRAVEL / ASPHALT PARKING LOT
- LANDSCAPE
- 3m WIDE EMERGENCY OVERLAND SPILLWAY WITH 0.3m THICK RIPRAP



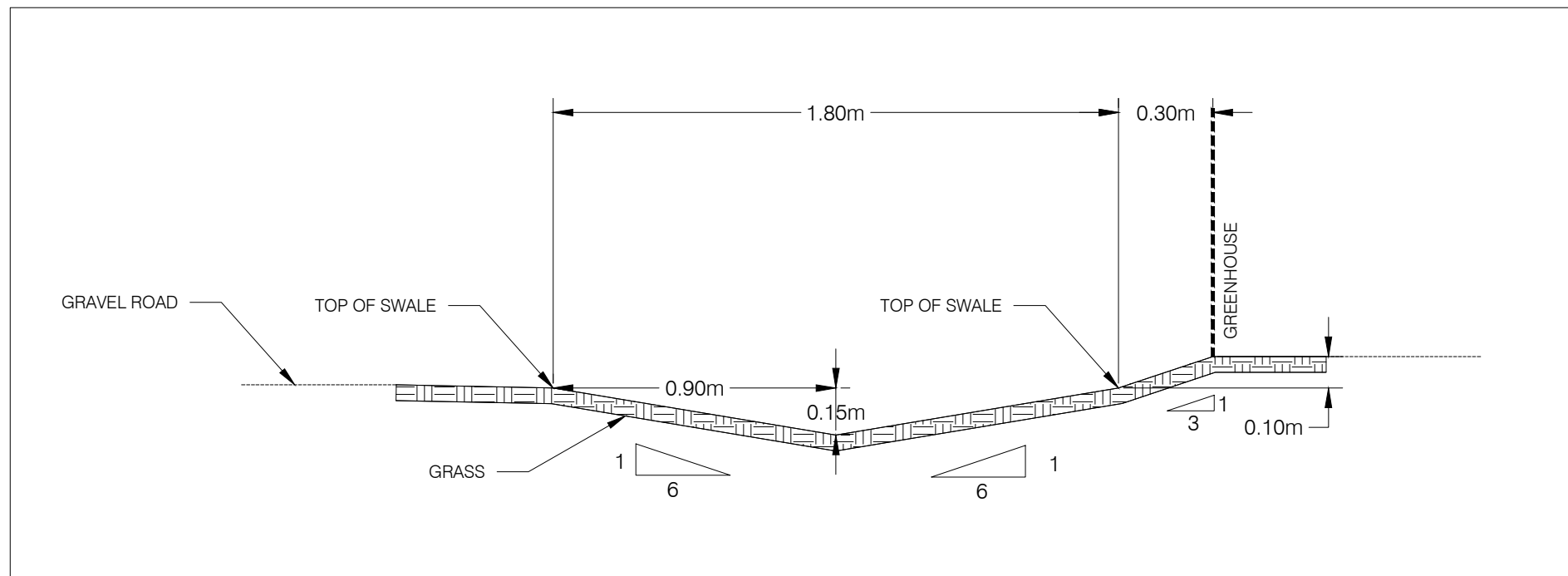
SECTION A-A
SCALE - NTS



SECTION Y-Y
SCALE - 1:20

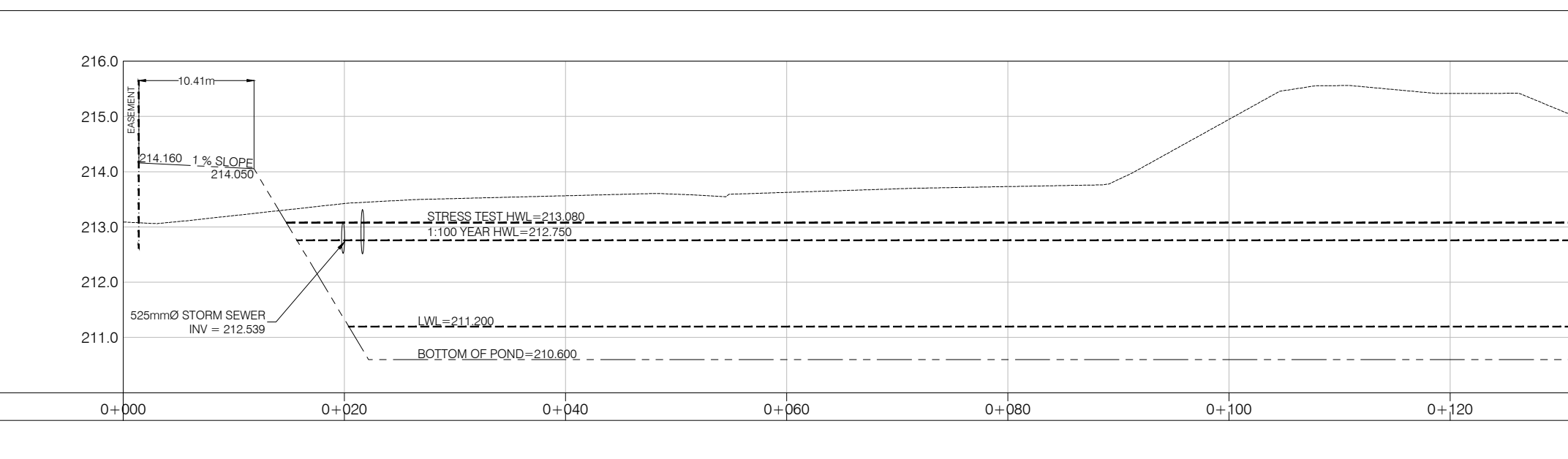


SECTION B-B
SCALE - NTS

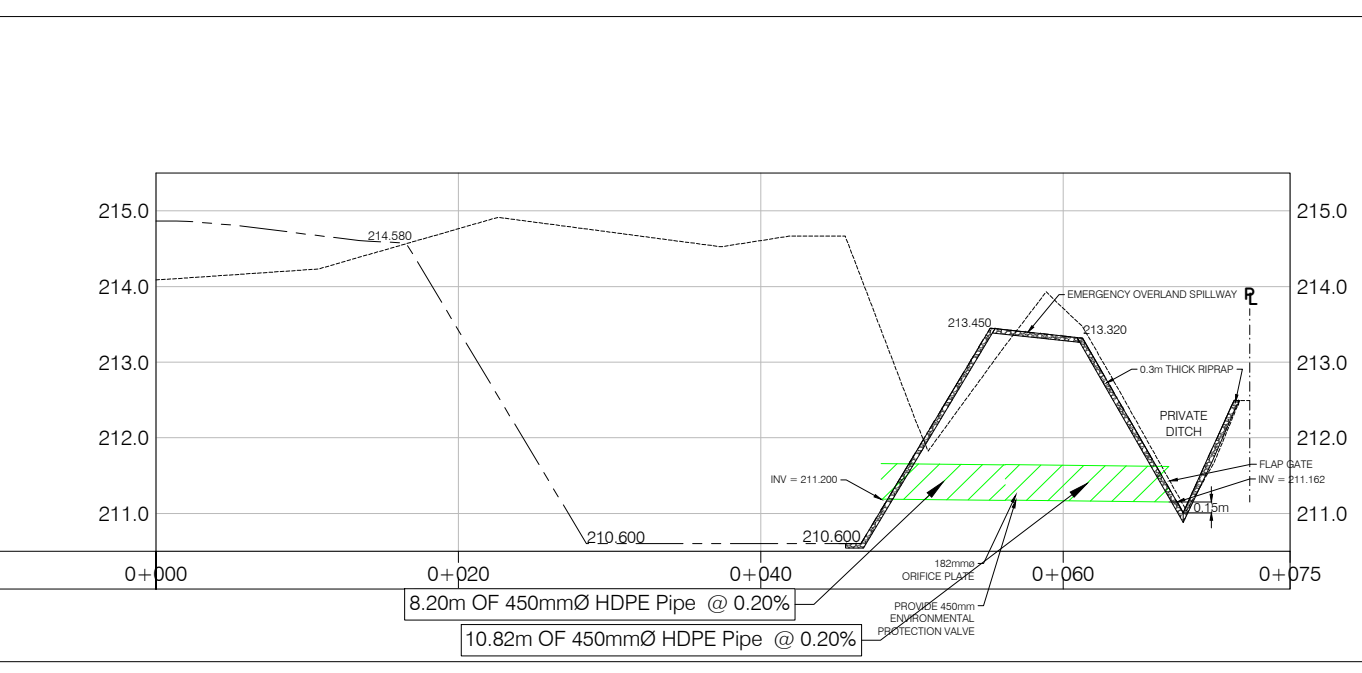


SECTION Z-Z
SCALE - 1:20

NOTE: EXISTING UTILITY LOCATIONS ARE APPROXIMATE
EXACT LOCATION OF UTILITIES TO BE DETERMINED BY
CONTRACTOR ON SITE



POND SECTION C-C
SCALE - NTS



POND SECTION D-D
SCALE - NTS

