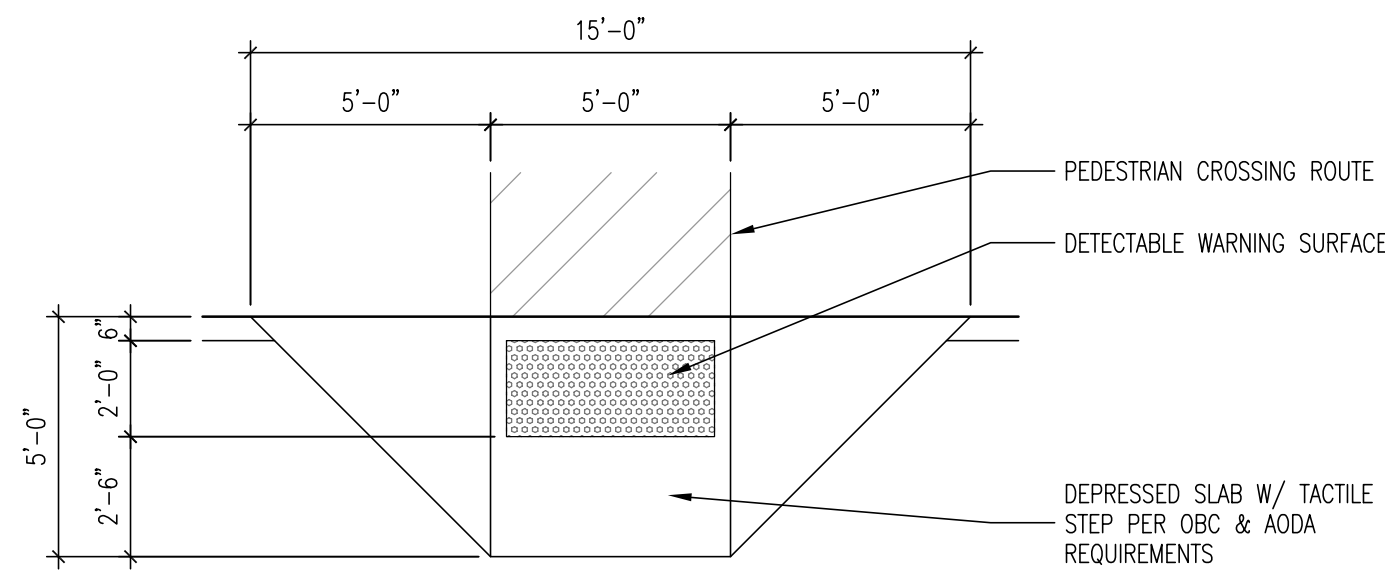
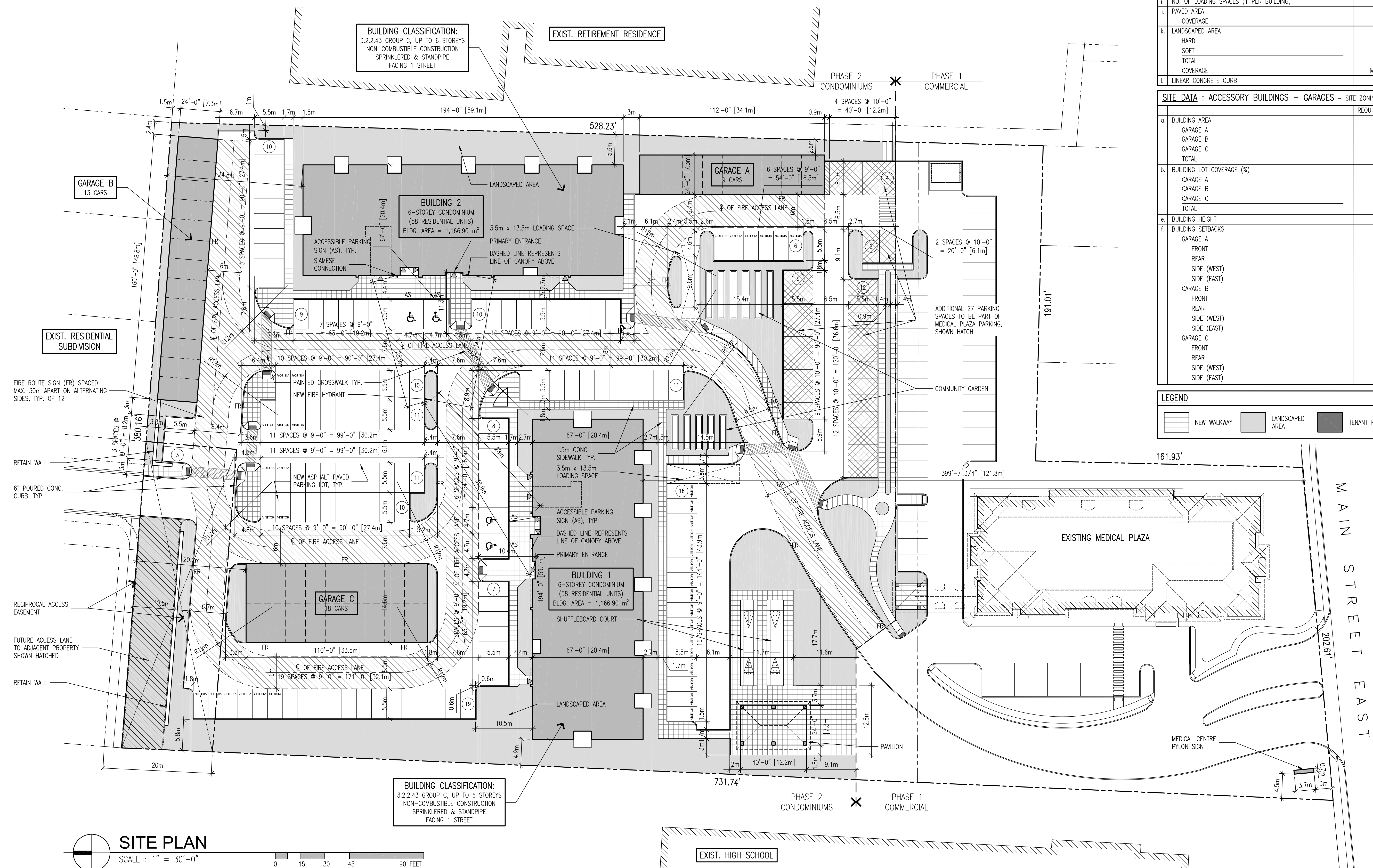


Appendix B



TYPICAL CURB RAMP PLAN
SCALE : 1/4" = 1'-0"



SITE PLAN
SCALE : 1" = 30'-0"
0 15 30 45 90 FEET

SITE DATA : TECUMSEH GATEWAY TOWER - SITE ZONING : R4.1

	REQUIRED	PROPOSED
a. LOT AREA - PHASE 2 ONLY		15,976.29 m ²
b. BUILDING AREA		
BUILDING 1		1,166.90 m ²
BUILDING 2		1,166.90 m ²
TOTAL		2,333.80 m ²
c. BUILDING LOT COVERAGE (%)	MAX. 45.0 %	14.61 %
d. BUILDING GROSS FLOOR AREA (G.F.A.)		14,002.80 m ²
e. BUILDING HEIGHT		18.8 m
f. BUILDING SETBACKS		
FRONT	MIN. 8.0 m	121.8 m
REAR	MIN. 10.0 m	24.8 m
SIDE (WEST)	MIN. 4.5 m	4.9 m
SIDE (EAST)	MIN. 4.5 m	5.6 m
g. NO. OF PARKING SPACES (INCLUDES HANDICAPPED SPACES)		
1.25 SPACES PER UNIT = 1.25 x 116 =	145 SPACES	141 SPACES
SURFACE COVERED		40 SPACES
TOTAL		181 SPACES
0.25 OF THE REQUIRED PARKING SPACES SHALL BE DEDICATE TO VISITOR PARKING	37 SPACES	37 SPACES
h. NO. OF HANDICAPPED PARKING SPACES (151+)	4 SPACES	4 SPACES
i. NO. OF LOADING SPACES (1 PER BUILDING)	2 SPACES	2 SPACES
j. PAVED AREA		7,188.06 m ²
COVERAGE		44.99 %
k. LANDSCAPED AREA		
HARD		1,394.45 m ²
SOFT		3,421.60 m ²
TOTAL		4,816.05 m ²
COVERAGE	MIN. 30.0 %	30.14 %
l. LINEAR CONCRETE CURB		1,012.51 m

SITE DATA : ACCESSORY BUILDINGS - GARAGES - SITE ZONING : R4.1

	REQUIRED	PROPOSED
a. BUILDING AREA		
GARAGE A		249.72 m ²
GARAGE B		356.75 m ²
GARAGE C		490.53 m ²
TOTAL		1,097.00 m ²
b. BUILDING LOT COVERAGE (%)		
GARAGE A		1.56 %
GARAGE B		2.23 %
GARAGE C		3.07 %
TOTAL		6.86 %
c. BUILDING HEIGHT		5.64 m
d. BUILDING SETBACKS		
GARAGE A		
FRONT		40.3 m
REAR		86.7 m
SIDE (WEST)		106.2 m
SIDE (EAST)		2.8 m
GARAGE B		
FRONT		152.3 m
REAR		1.5 m
SIDE (WEST)		64.3 m
SIDE (EAST)		2.4 m
GARAGE C		
FRONT		162.5 m
REAR		20.2 m
SIDE (WEST)		20.0 m
SIDE (EAST)		80.1 m

LEGEND

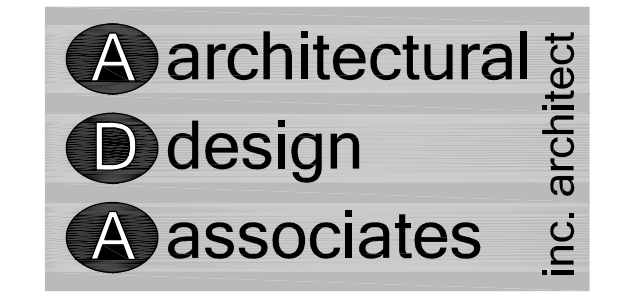
NEW WALKWAY	LANDSCAPED AREA	TENANT PATIO	PAINTED ASPHALT

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email - info@ada-architect.ca www.ada-architect.ca

project:
**PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGVILLE, ONTARIO**

client:
VALENTE DEVELOPMENT

title:
SITE PLAN

scale:
AS SHOWN

drawn by:
SJP

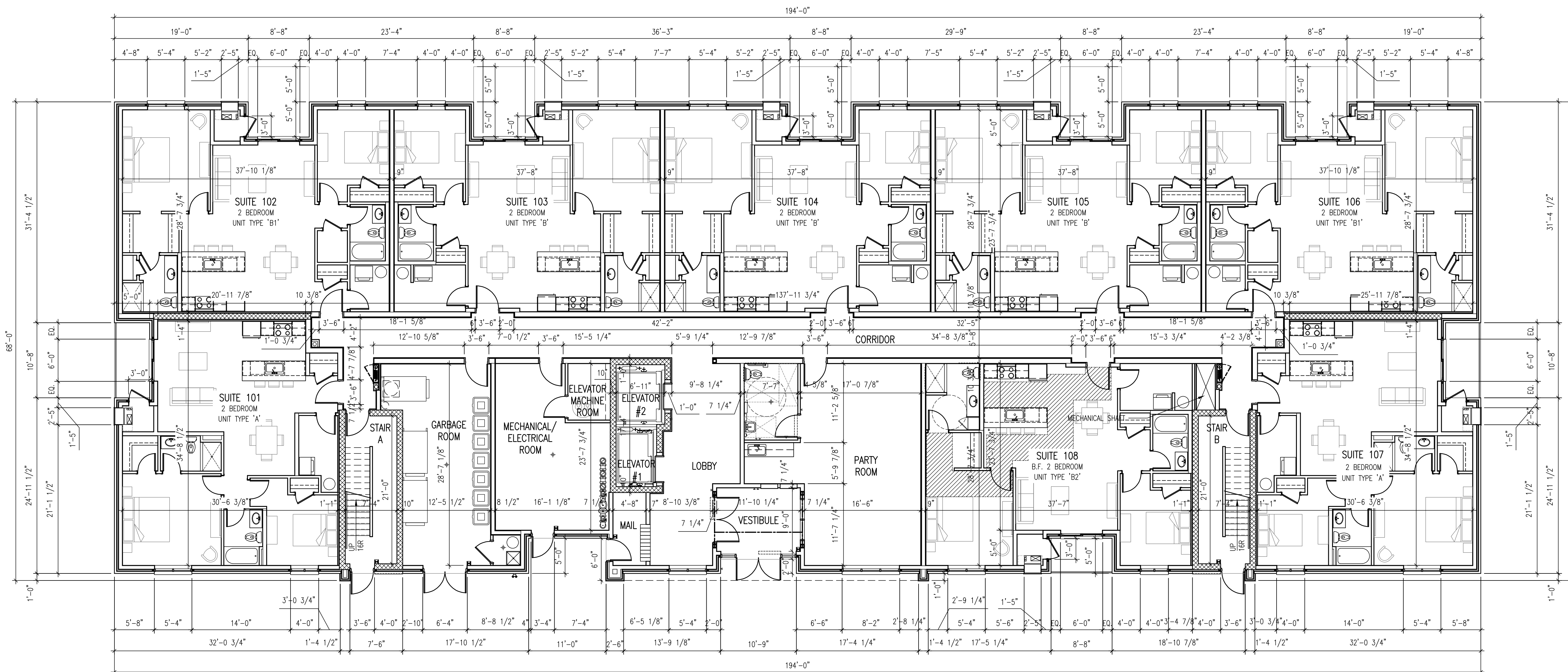
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2021-048

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SPC-1



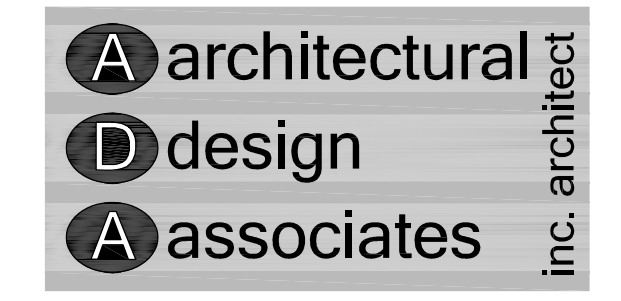
FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 2 4 8 12 24 FEET

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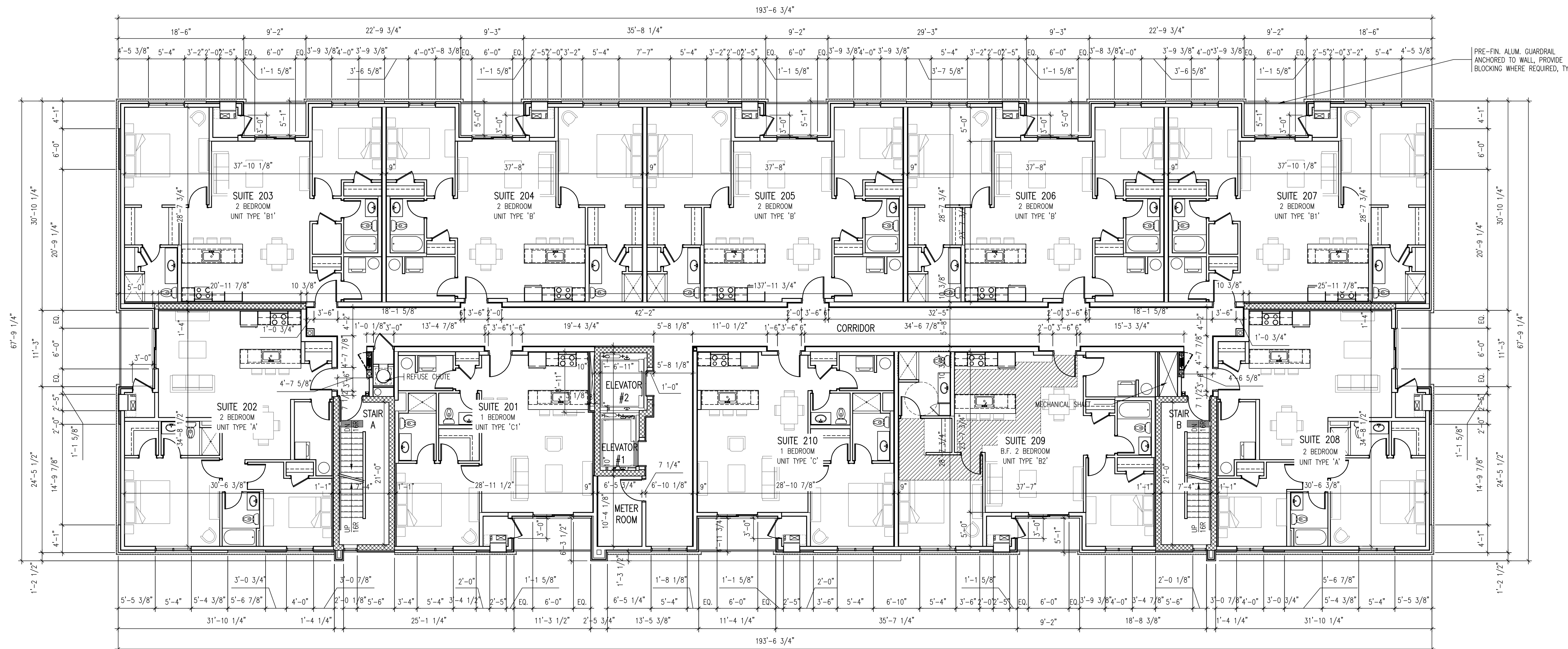
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PRE-FIN. ALUM. GUARDRAIL ANCHORED TO WALL, PROVIDE BLOCKING WHERE REQUIRED, TYP.

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A architectural
D design
A associates inc. architect

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title:
 TYPICAL FLOOR PLAN

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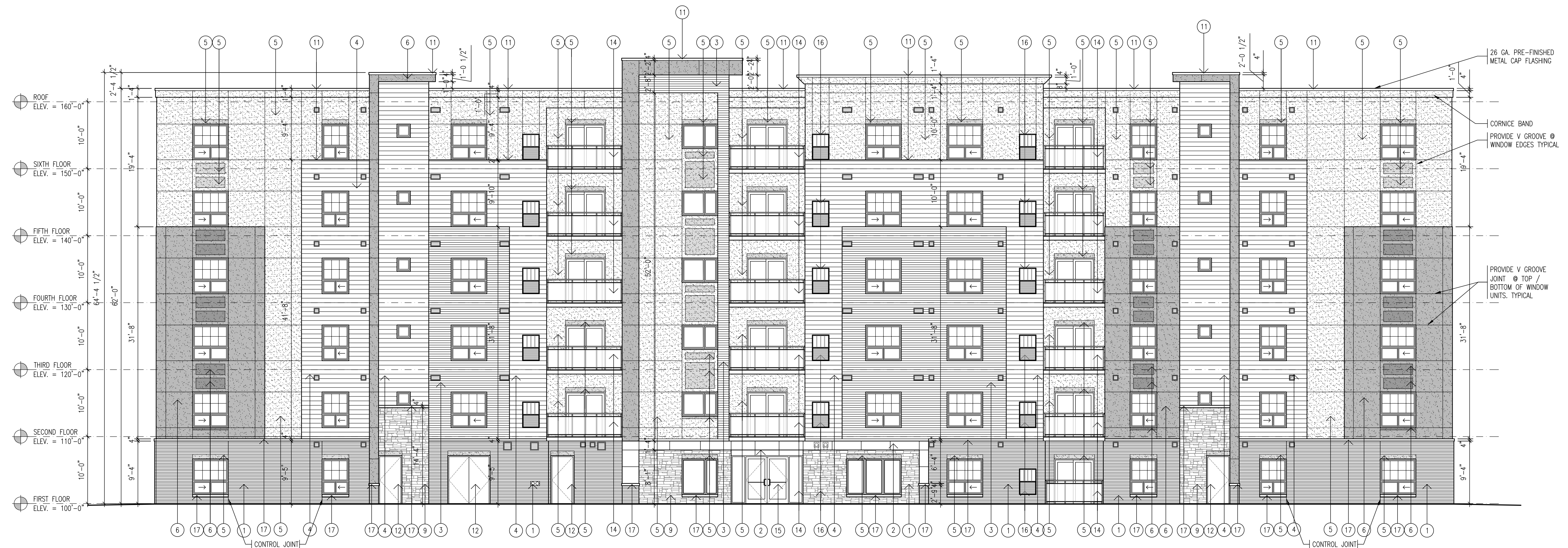
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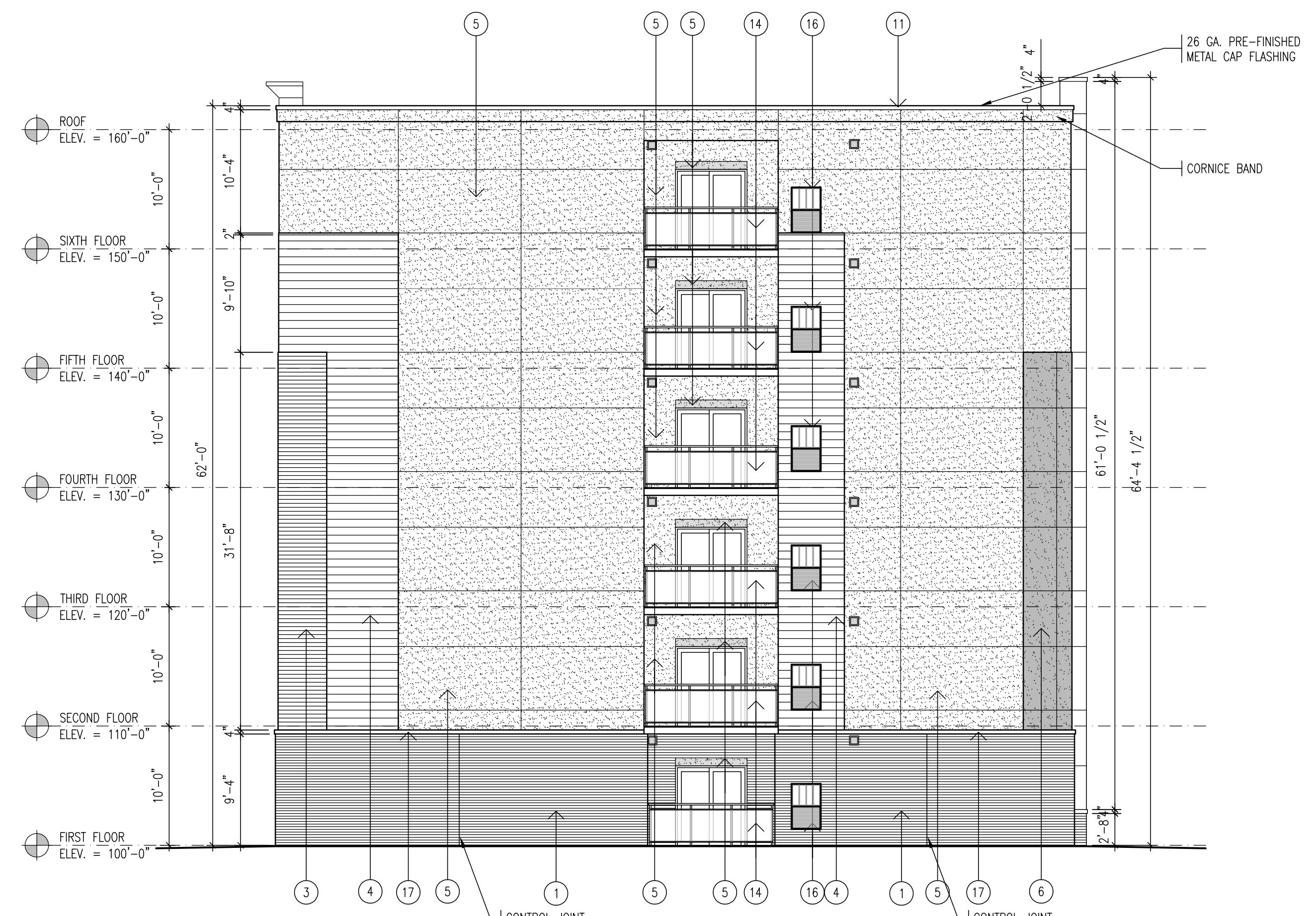
sheet no.:

SPC-2b

TYPICAL FLOOR PLAN
 SCALE : 1/8" = 1'-0"
 0 2 4 8 12 24 FEET



NORTH ELEVATION - BUILDING 1
 SCALE : 1/8" = 1'-0"
 0 2 4 8 12 24 FEET



EAST ELEVATION - BUILDING 1
 SCALE : 1/8" = 1'-0"
 0 2 4 8 12 24 FEET

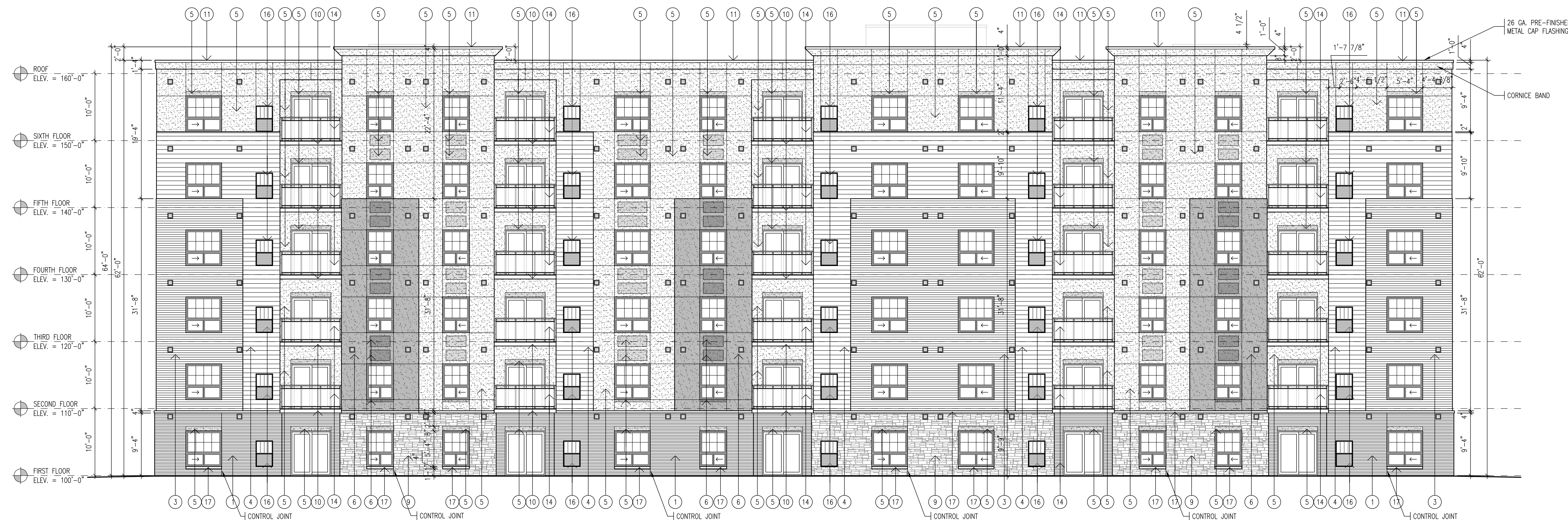
EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
1	BRICK	BRICK VENEER	X	X	--
2	ALUMINUM COMPOSITE PANEL	X	X	X	--
3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST ADSOOR METAL SIDING	VICWEST	X	X	--
5	E.I.F.S. 01	DRYWIT OR EQUAL	X	X	--
6	E.I.F.S. 02	DRYWIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYWIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYWIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

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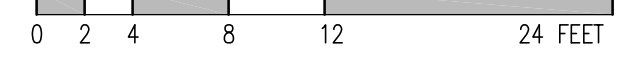
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project:
**PROPOSED PHASE 2
 RESIDENTIAL DEVELOPMENT
 190-224 MAIN STREET EAST,
 KINGVILLE, ONTARIO**
 client:
VALENTE DEVELOPMENT
 title:
**CONDO ELEVATIONS
 BUILDING 1**
 scale:
 AS SHOWN
 drawn by:
 SJP
 checked by:
 SMB
 date:
 MAY, 2021
 comm. no.:
 2021-048
 sheet no.:



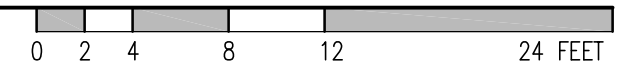
SOUTH ELEVATION - BUILDING 1

SCALE : 1/8" = 1'-0"



WEST ELEVATION - BUILDING 1

SCALE : 1/8" = 1'-0"



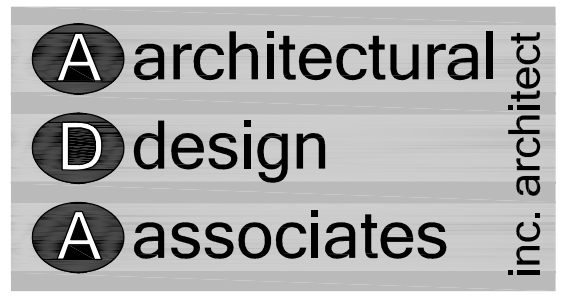
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3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST ADSIOR METAL SIDING	VICWEST	X	X	--
5	E.I.F.S. 01	DRYVIT OR EQUAL	X	X	--
6	E.I.F.S. 02	DRYVIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYVIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYVIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

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project:
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RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGVILLE, ONTARIO**

client:
VALENTE DEVELOPMENT

title:
**CONDO ELEVATIONS
BUILDING 1**

scale:
AS SHOWN

drawn by:
SJP

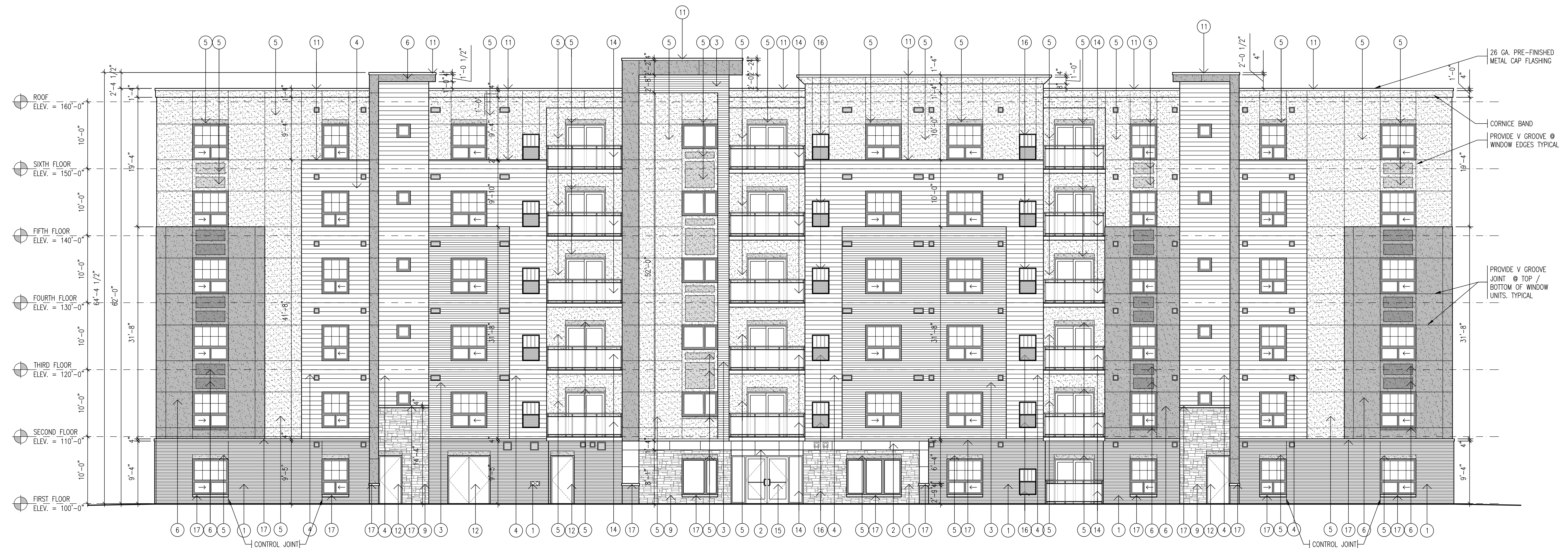
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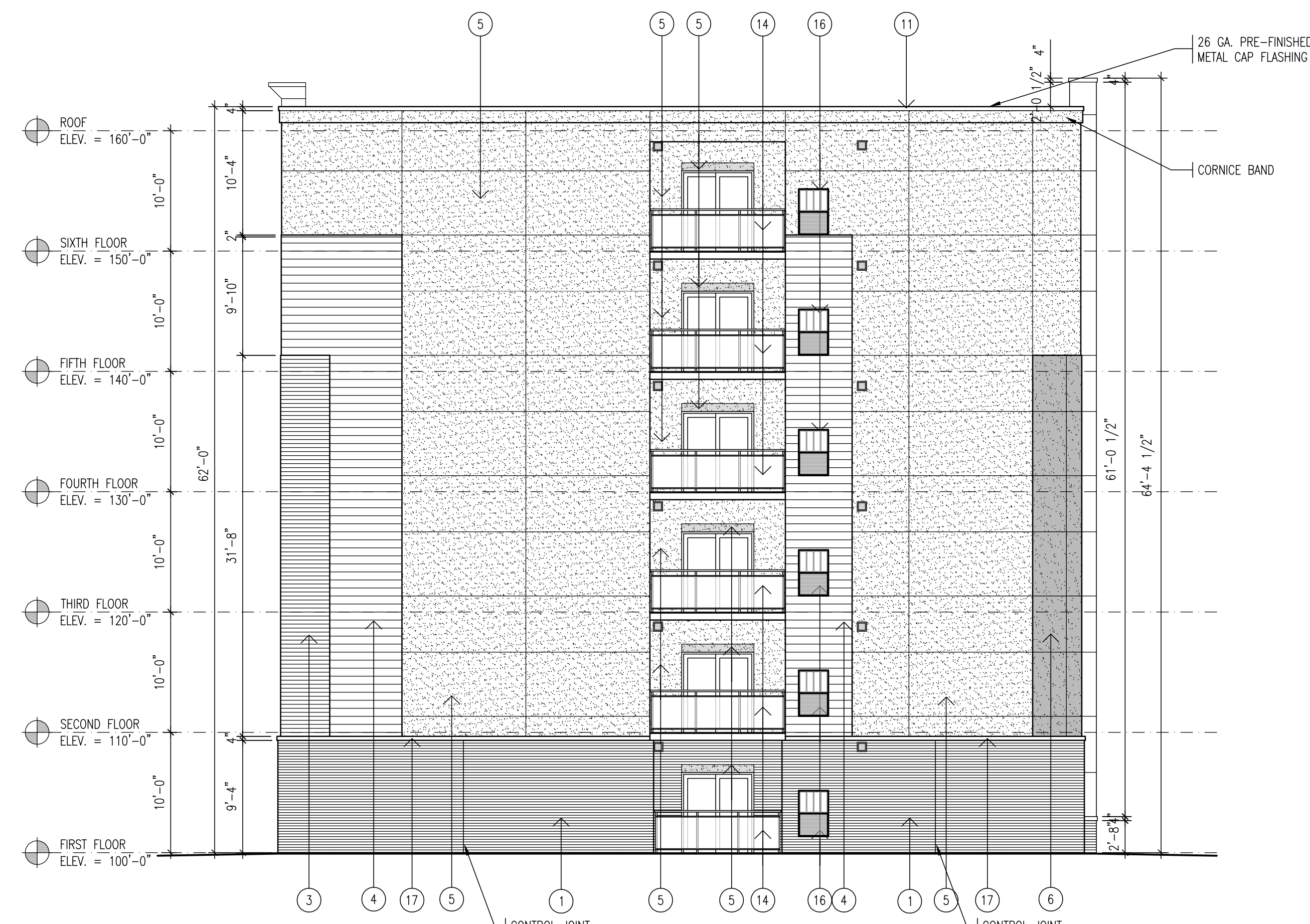
sheet no.:

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WEST ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"
 0 2 4 8 12 24 FEET



NORTH ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"
 0 2 4 8 12 24 FEET

EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
1	BRICK	BRICK VENEER	X	X	--
2	ALUMINUM COMPOSITE PANEL	X	X	X	--
3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST ADSOOR METAL SIDING	VICWEST	X	X	--
5	E.I.F.S. 01	DRYWIT OR EQUAL	X	X	--
6	E.I.F.S. 02	DRYWIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYWIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYWIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

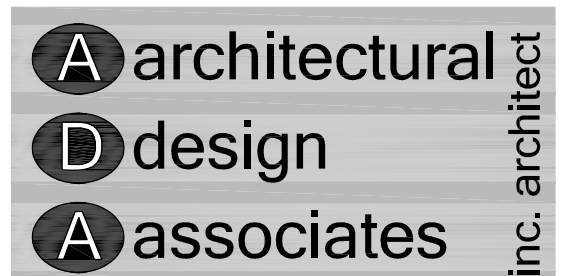
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project:
**PROPOSED PHASE 2
 RESIDENTIAL DEVELOPMENT
 190-224 MAIN STREET EAST,
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client:
VALENTE DEVELOPMENT

title:
**CONDO ELEVATIONS
 BUILDING 2**

scale:
AS SHOWN

drawn by:
SJP

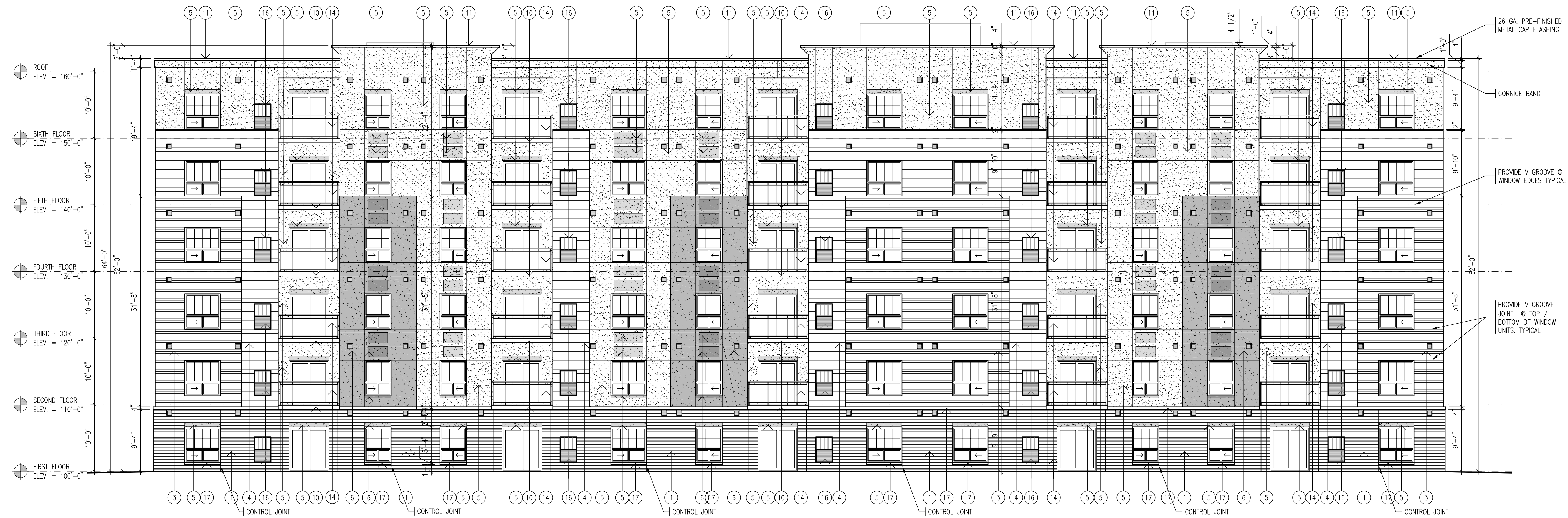
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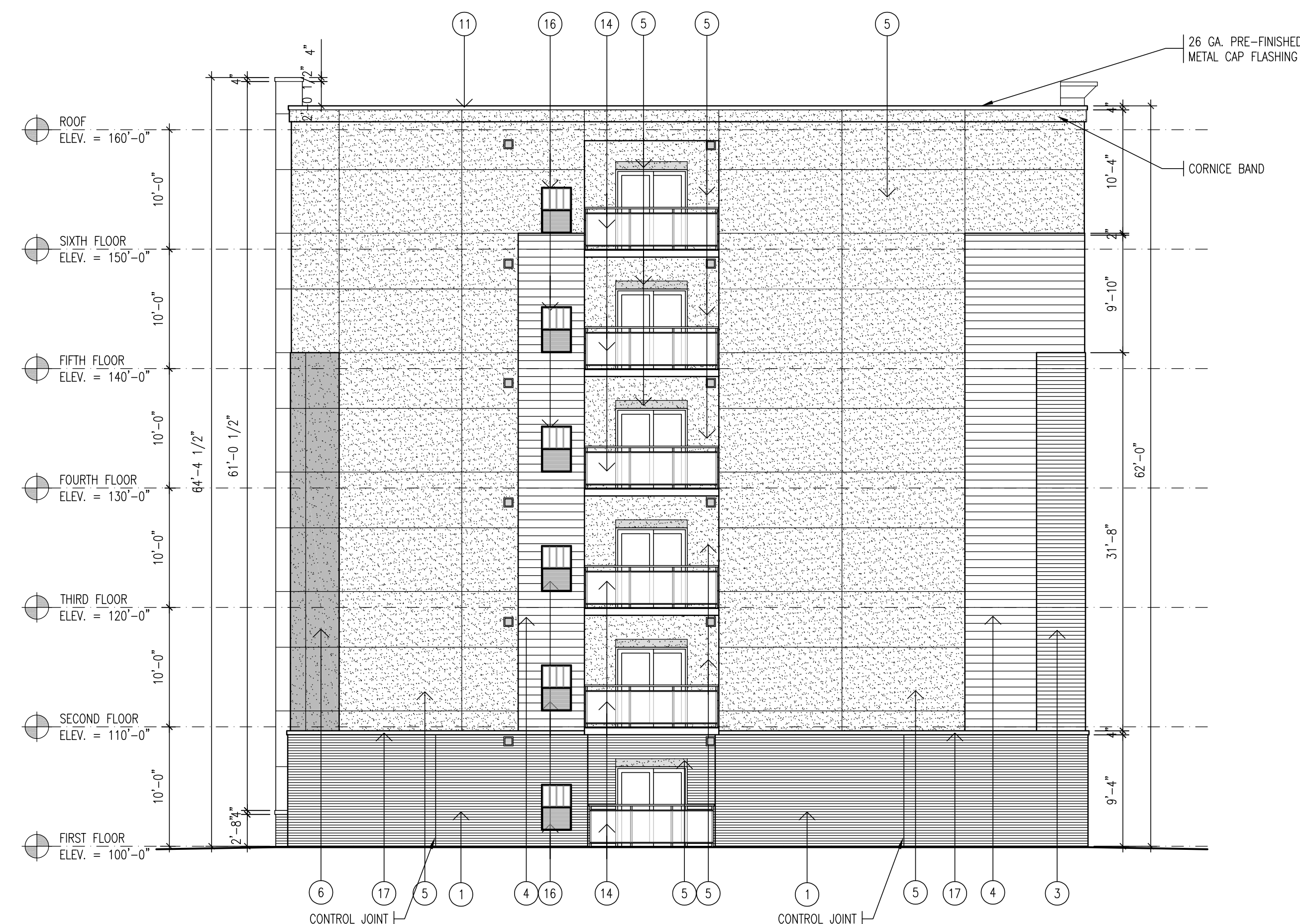
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EAST ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"
0 2 4 8 12 24 FEET



SOUTH ELEVATION - BUILDING 2

SCALE : 1/8" = 1'-0"
0 2 4 8 12 24 FEET

EXTERIOR FINISH SCHEDULE					
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	SIZE	COLOUR	NOTE
1	BRICK	BRICK VENEER	X	X	--
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3	VICWEST DIAMOND RIB METAL SIDING	VICWEST	X	X	--
4	VICWEST ADSOOR METAL SIDING	VICWEST	X	X	--
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6	E.I.F.S. 02	DRYVIT OR EQUAL	X	X	--
7	E.I.F.S. 03	DRYVIT OR EQUAL	X	X	--
8	E.I.F.S. 04	DRYVIT OR EQUAL	X	X	--
9	STONE VENEER	X	X	X	--
10	CONCRETE BALCONY	PRECAST SUPPLIER	X	X	--
11	METAL FLASHING	VICWEST	X	X	--
12	H.M. DOORS & FRAMES		X	X	--
13	BALCONY SLIDING DOOR GLAZING SYSTEM		X	X	--
14	ALUMINUM/GLASS BALCONY SYSTEM	X	X	X	--
15	DOOR & WINDOW GLAZING SYSTEM	X	X	X	--
16	MECHANICAL LOUVRES	X	X	X	--
17	PRECAST SILL	X	X	X	--

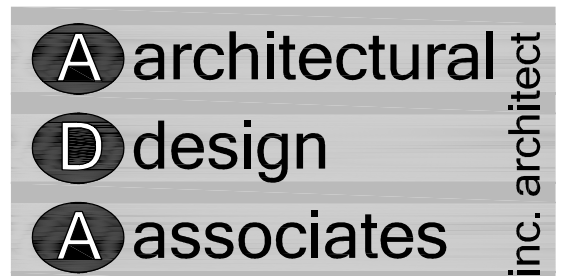
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1670 mercer street
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ph 519.254.3430 fax 519.254.3642
email - info@ada-architect.ca www.ada-architect.ca

project:
**PROPOSED PHASE 2
RESIDENTIAL DEVELOPMENT
190-224 MAIN STREET EAST,
KINGVILLE, ONTARIO**

client:
VALENTE DEVELOPMENT

title:
**CONDO ELEVATIONS
BUILDING 2**

scale:
AS SHOWN

drawn by:
SJP

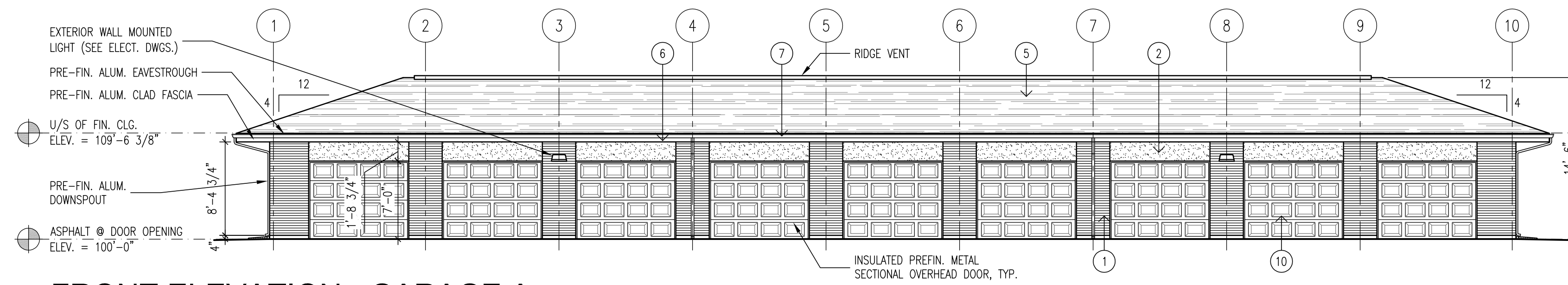
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date:
MAY, 2021

comm. no.:
2021-048

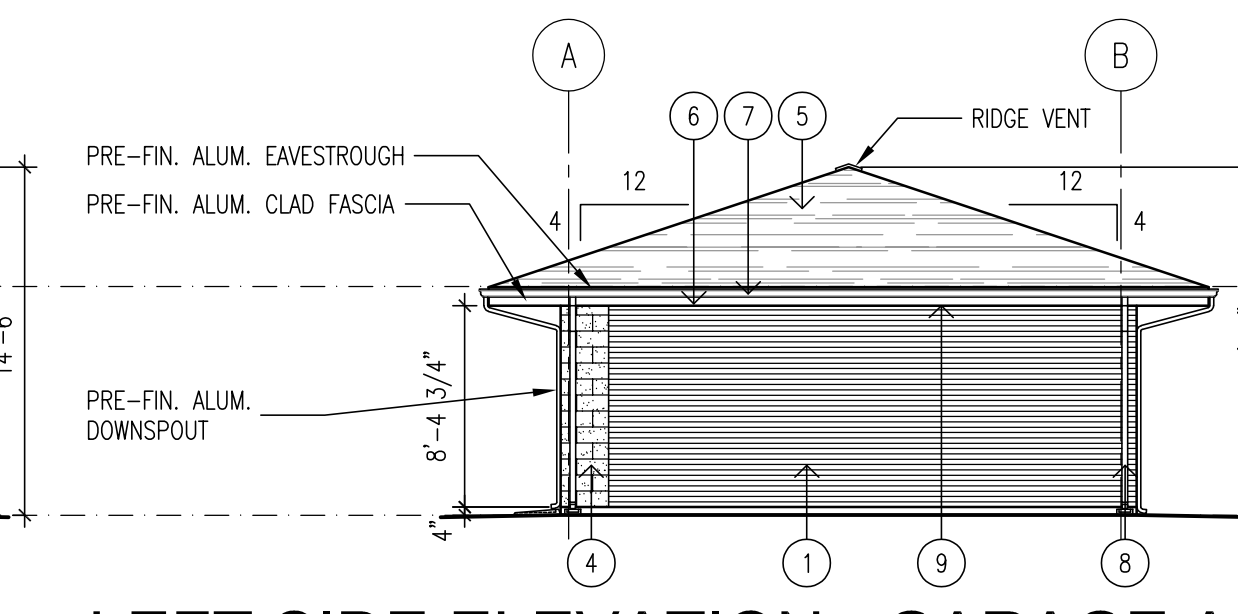
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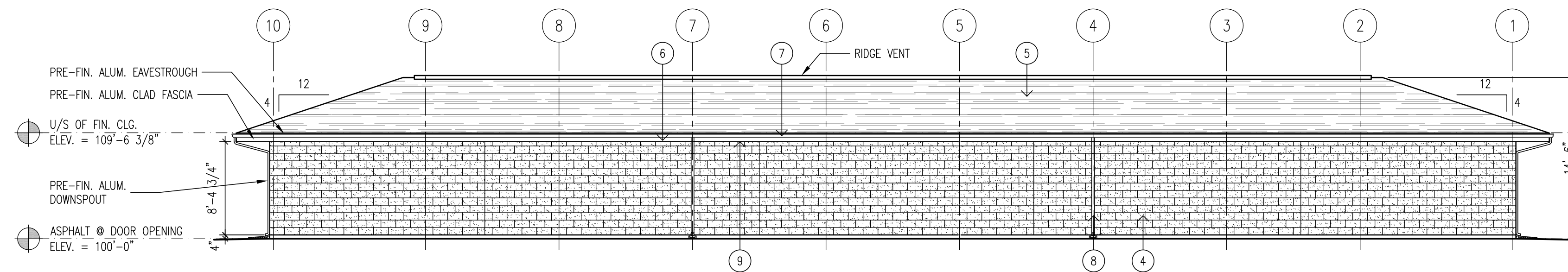
FRONT ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



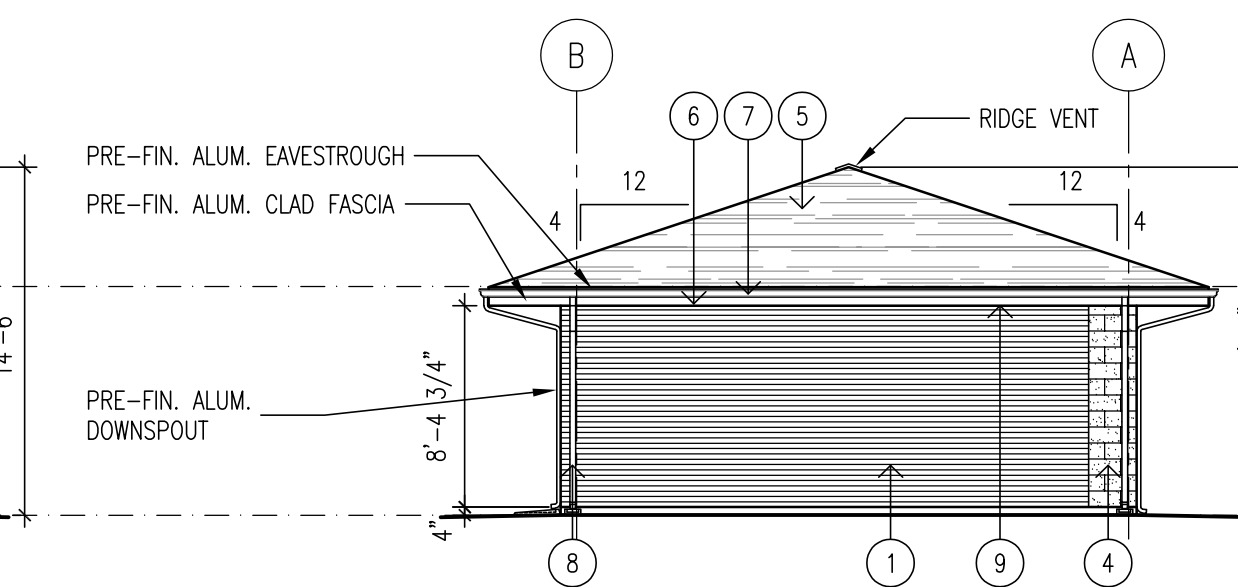
LEFT SIDE ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



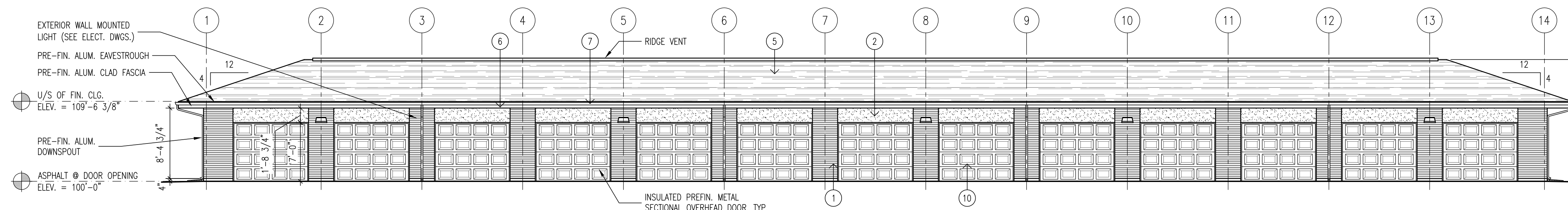
REAR ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



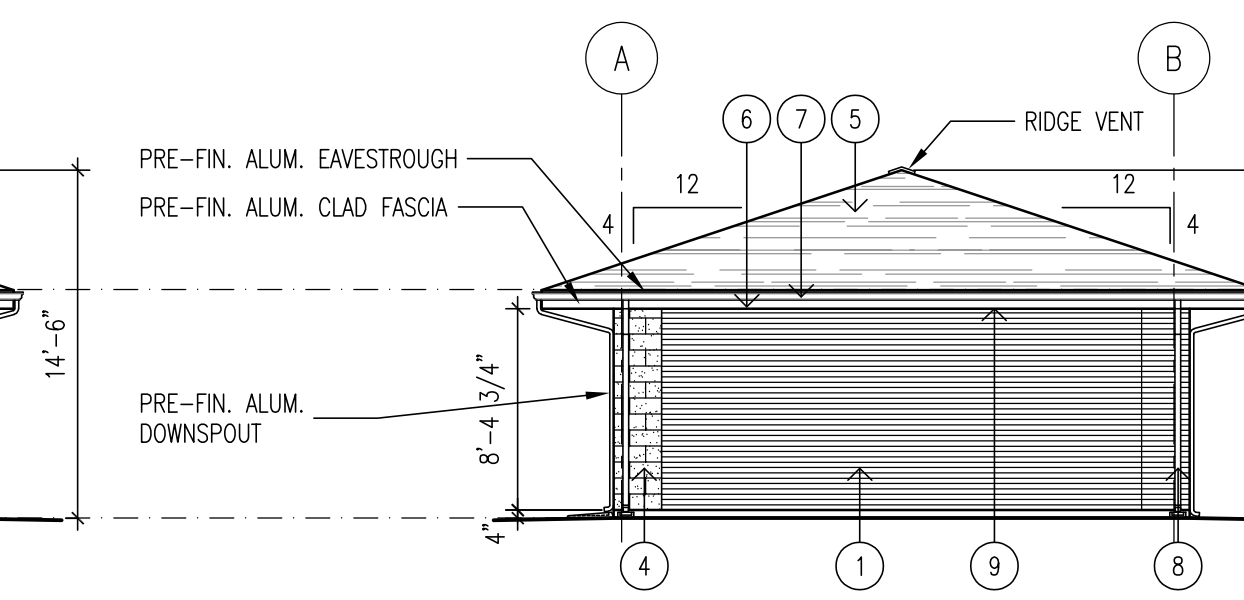
RIGHT SIDE ELEVATION - GARAGE A

SCALE : 1/8" = 1'-0"



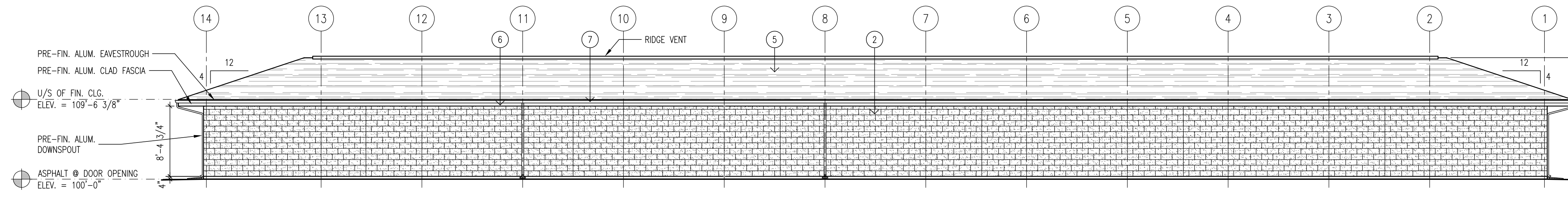
FRONT ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



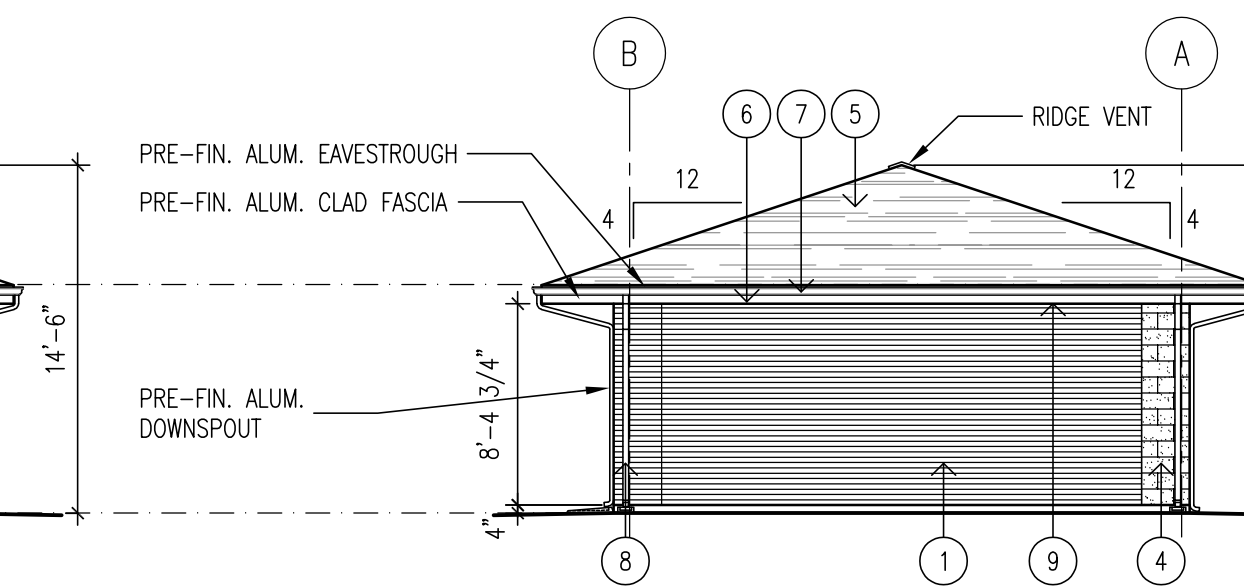
LEFT SIDE ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



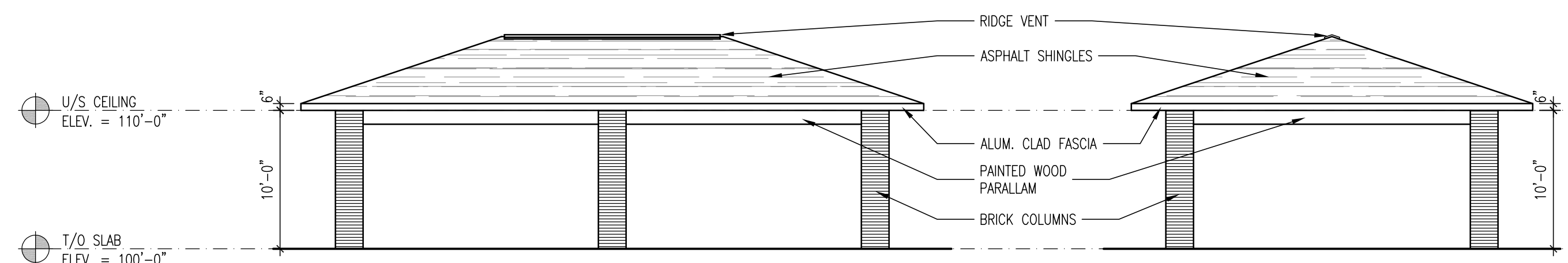
REAR ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



RIGHT SIDE ELEVATION - GARAGE B

SCALE : 1/8" = 1'-0"



PAVILION ELEVATIONS

SCALE : 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE						
IDEN. NO.	FINISH DESCRIPTION	PRODUCT	DISTRIBUTOR	SIZE	COLOUR	NOTE
1	BRICK VENEER					
2	E.I.F.S.					
3						
4	SPLIT FACE ARCHITECTURAL BLOCK					
5	ASPHALT SHINGLES					
6	PREFIN. ALUMINUM FASCIA	VICWEST				
7	PREFIN. ALUMINUM EAVESTROUGH	VICWEST				
8	PREFIN. ALUMINUM DOWNSPOUT	VICWEST				
9	PREFIN. ALUMINUM SOFFIT	VICWEST				
10	INSULATED PREFIN. METAL SECTIONAL OVERHEAD DOOR					

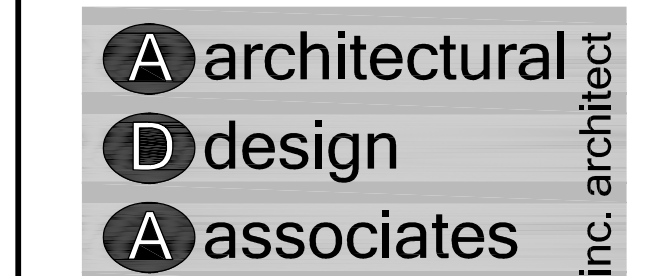
2021/06/02 SITE PLAN CONTROL

date (yyyy/mm/dd); issued for:

general notes:

- THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT.
- DRAWINGS SHALL NOT BE SCALED.
- CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.
- ATTENTION IS DIRECTED TO PROVISIONS IN THE GENERAL CONDITIONS REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARD TO SUBMISSION OF SHOP DRAWINGS.
- IN THE EVENT THE ARCHITECT IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK FOR CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS.
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title:

GARAGE A & B ELEVATIONS
& PAVILION ELEVATIONS

scale: AS SHOWN

drawn by: SJP

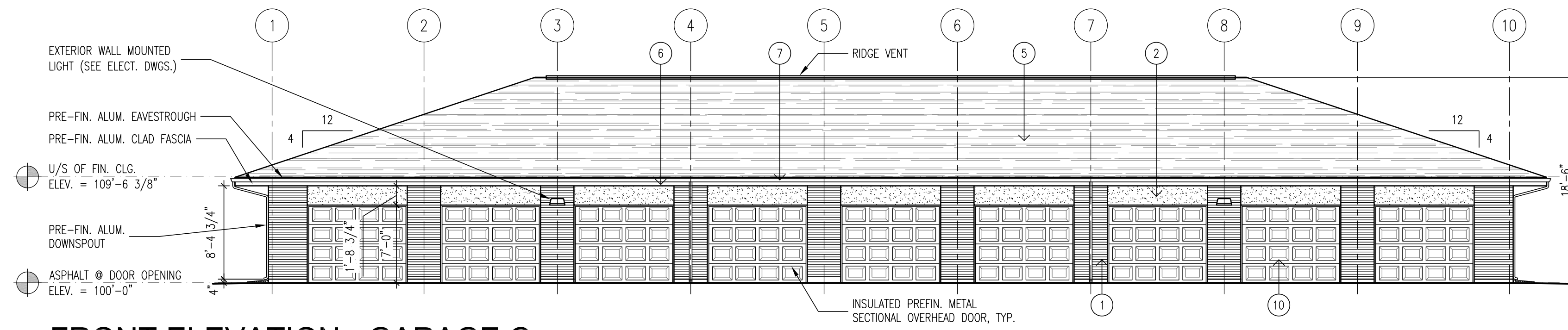
checked by: SMB

date: MAY, 2021

comm. no.: 2021-048

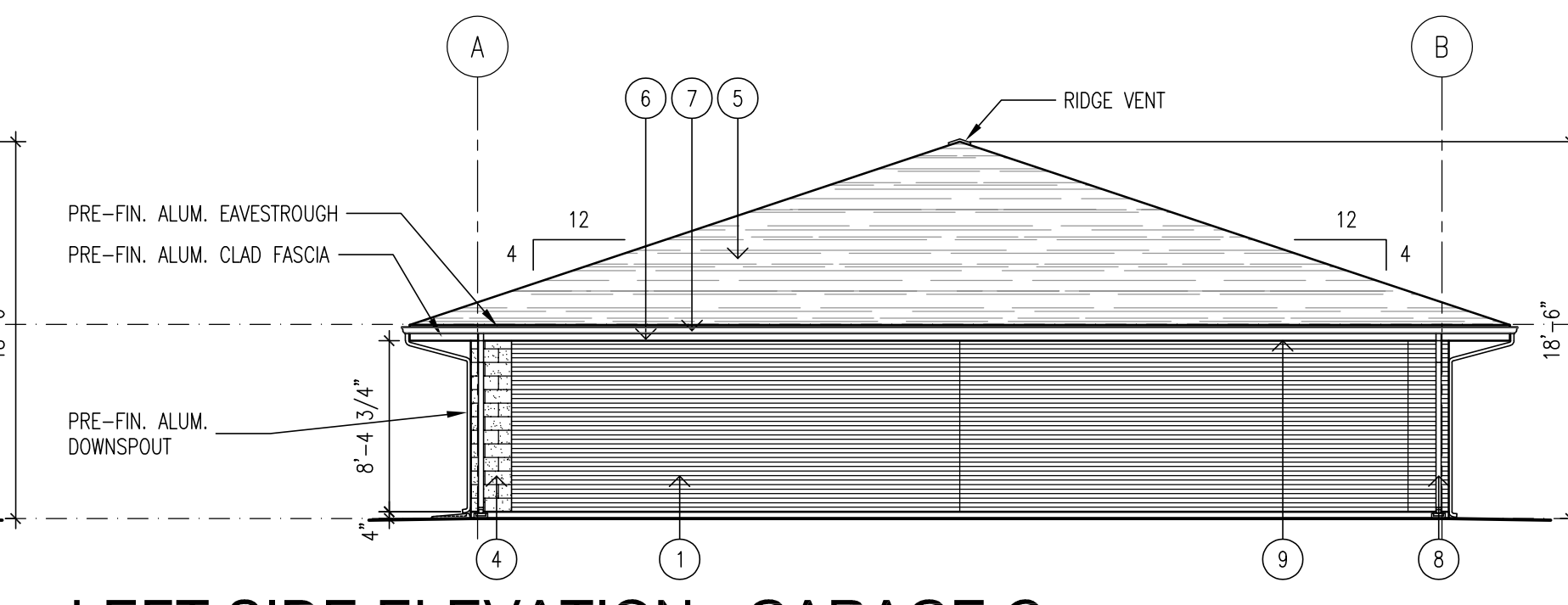
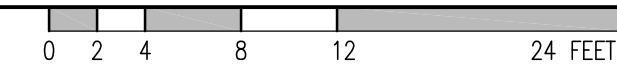
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SPC-3e



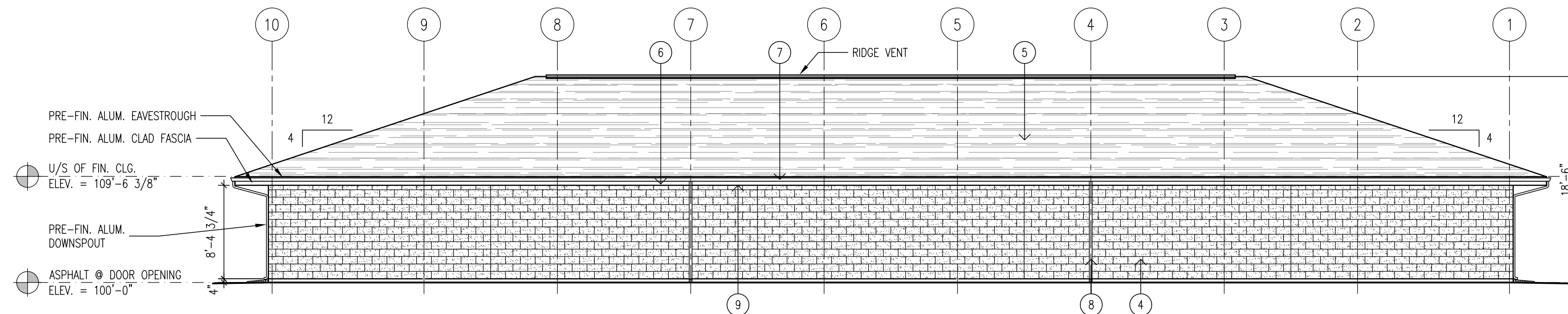
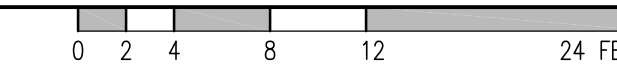
FRONT ELEVATION - GARAGE C

SCALE : 1/8" = 1'-0"



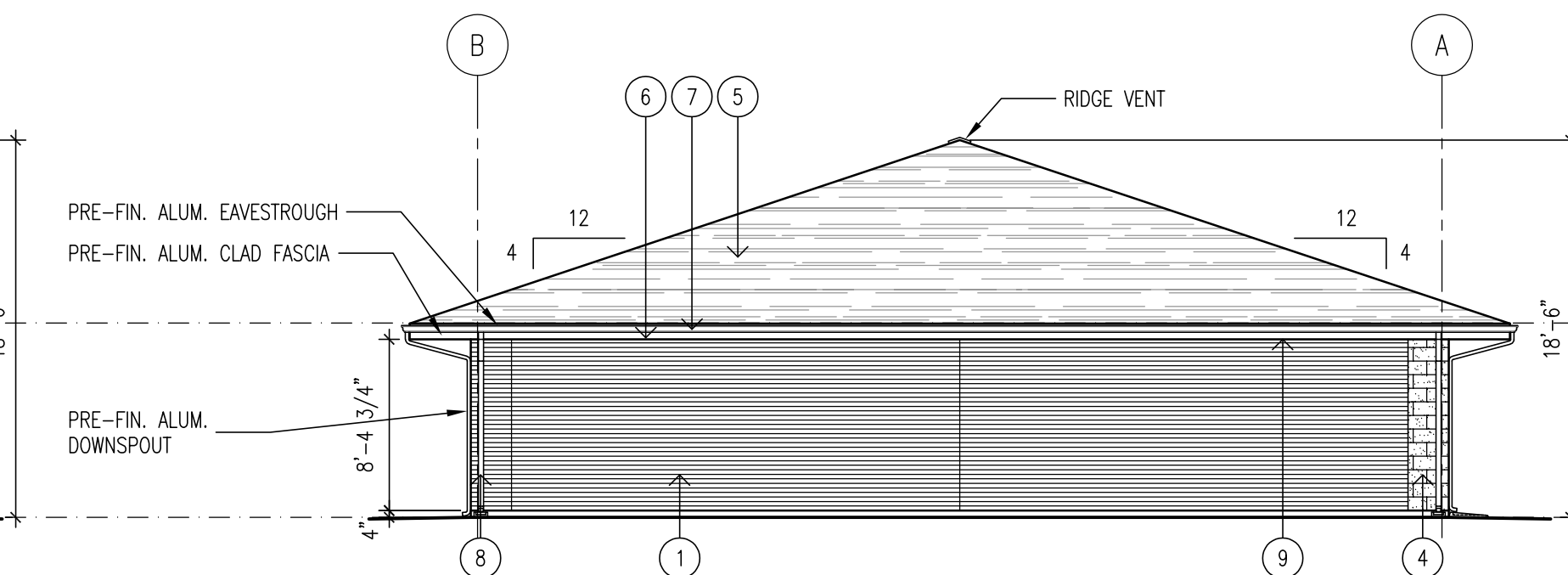
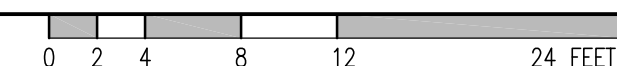
LEFT SIDE ELEVATION - GARAGE C

SCALE : 1/8" = 1'-0"



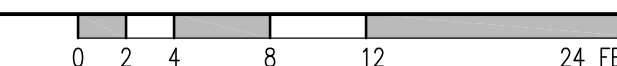
REAR ELEVATION - GARAGE C

SCALE : 1/8" = 1'-0"



RIGHT SIDE ELEVATION - GARAGE C

SCALE : 1/8" = 1'-0"



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⑦	PREFIN. ALUMINUM EAVESTROUGH		VICWEST			
⑧	PREFIN. ALUMINUM DOWNSPOUT		VICWEST			
⑨	PREFIN. ALUMINUM SOFFIT		VICWEST			
⑩	INSULATED PREFIN. METAL SECTIONAL OVERHEAD DOOR					

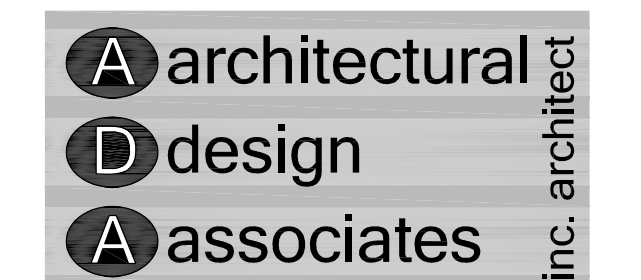
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MAY, 2021

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2021-048

sheet no.:

SPC-3f