

Appendix A

KINGSVILLE ONTARIO

LEGAL DESCRIPTION

LOT 19

CONCESSION 9

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE
CALGARY, ALBERTA
T2G 2S8



BUILDING NOTES

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-VERIFY ALL DIMENSIONS, DATUMS, LEVELS, AND OTHER INFORMATION PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR OMISSIONS TO THE DESIGNER IMMEDIATELY.

-ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

-UTILITIES SUBJECT TO CHANGE LOCATION
DEPENDING ON BUILDING SITE CONDITIONS.

-FINAL LOT GRADES MAY ALTER EXTERIOR APPEARANCE.

-ALL PLANS AND SITE PLANS ARE SUBJECT TO CHANGE DEPENDING ON ARCHITECTURAL CONTROL GUIDELINES AND BUILDER SPECIFICATIONS.

-REFER TO PERFORMANCE MODEL FOR ALL REQUIRED RSI VALUES.

-DO NOT USE FOIL BACKED INSULATION WITHOUT APPROVAL FROM THE AUTHORITY HAVING JURISDICTION.

- ALL STUCCO TO BE SMOOTH ACRYLIC STUCCO.

-FOOTINGS SHOWN ON DESIGN DRAWINGS ARE FOR REFERENCE ONLY. BUILDER TO VERIFY ALL FOOTING REQUIREMENTS WITH ENGINEERING AND LAYOUTS PRIOR TO CONSTRUCTION.

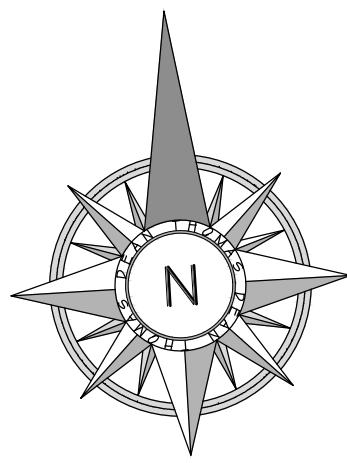
-4'-0" MIN FROST COVER REQUIRED AS PER
ABC. SUBJECT TO ACTUAL SITE PLAN
GRADES OR GRADE SLIP.

-BUILDER TO COORDINATE MECHANICAL DESIGN WITH ENGINEERING AND LAYOUTS AS REQUIRED TO AVOID CONFLICTS.

-ALL BEAMS, LINTELS, JOISTS, AND TRUSSES AS PER SUPPLIER'S LAYOUT PACKAGE.

DRAWING LIST

- A1.2 - SITE PLAN
- A1.3 - TREE PLAN
- A2.1 - ELEVATIONS
- A2.2 - ELEVATIONS
- A3.1 - FOUNDATION PLAN
- A3.3 - MAIN FLOOR PLAN
- A3.4 - UPPER FLOOR PLAN
- A3.5 - ROOF PLAN
- A4.1 - SECTIONS
- A4.2 - SECTIONS
- A5.1 - WINDOW & DOOR SCHEDULE



LOT 19
CONCESSION 9

POND
2.5 ACRES
(TOTAL)

POND
2.5 ACRES
(TOTAL)

SHADED AREA BUILT UP
APPROX. 2-3 FEET
APPROX. 7.35 ACRES

LIMIT BETWEEN LOTS 19 AND 20, CONCESSION 9

618.86
N03° 44' 40"E

IB(1744)
0.54' East

Part 2, Plan 12R-17688

DEANTHOMAS
DESIGN GROUP

403 | 719 | 6641

SUITE 11, 1111 3rd STREET SE
CALGARY, ALBERTA
T2G 2S8

PROJECT:

ISSUED FOR
REVIEW

CIVIC ADDRESS
KINGSVILLE, ONTARIO

LOT 19
CONCESSION 9

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REVISION SCHEDULE:

1. ISSUED FOR REVIEW 09/18/2020

DRAWN BY: RC

FLOOR AREAS:

MAIN FLOOR AREA (DEVELOPED)	2180 SQ.FT.
UPPER FLOOR AREA (DEVELOPED)	1176 SQ.FT.
TOTAL DEVELOPED FLOOR AREA ABOVE GRADE	3356 SQ.FT.
ATTACHED GARAGE AREA	4774 SQ.FT.

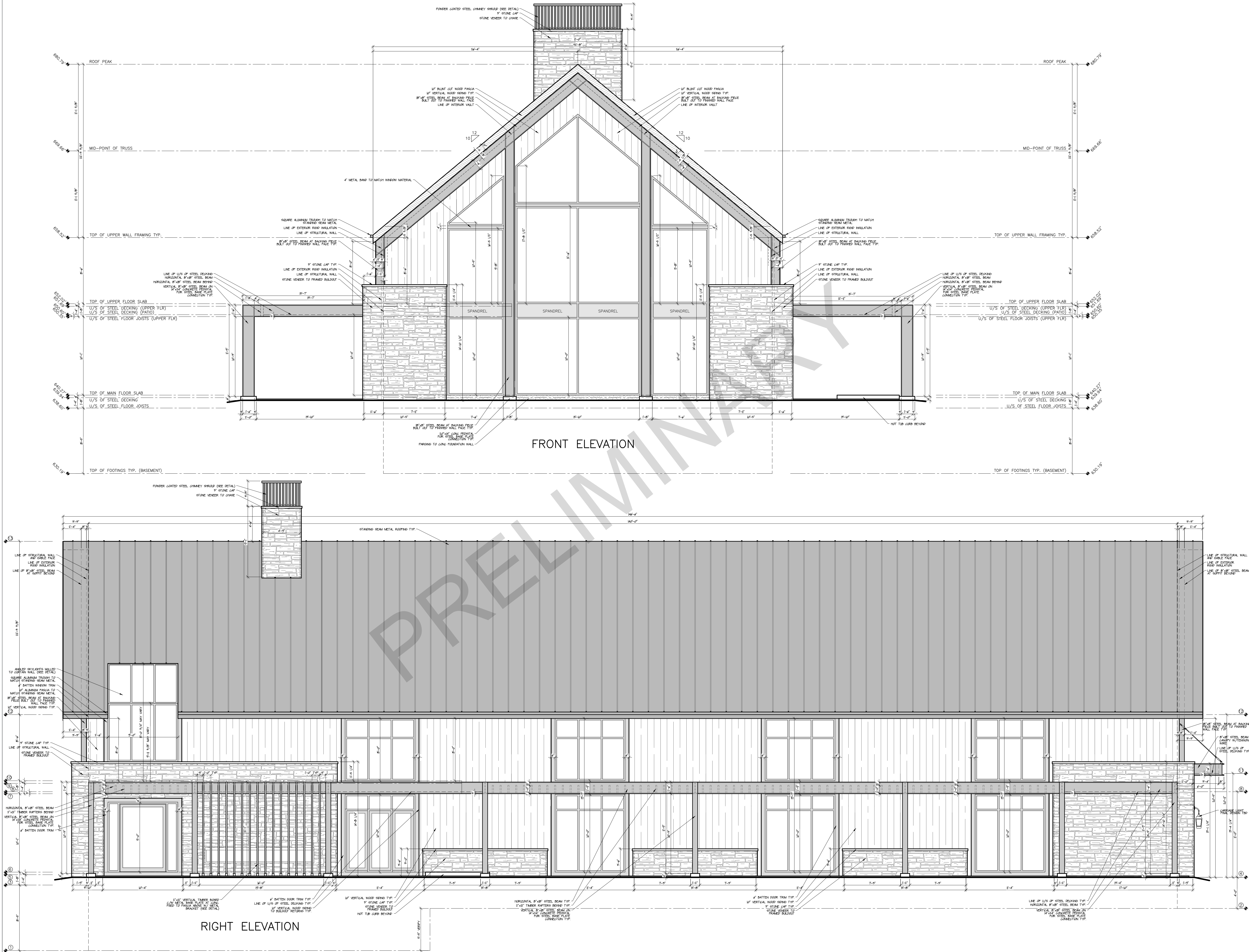
DRAWING TITLE:

SITE PLAN

SCALE: 1/32"=1'-0"
DATE: 09/18/2020

SHEET:

A1.1



PROJECT:
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KINGSVILLE ONTARIO

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1.	ISSUED FOR REVIEW	18/09/2020
2.	ISSUED FOR ENG REVIEW	27/11/2020

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ATTACHED GARAGE AREA	4774 SQ.FT.

DRAWING TITLE:

ELEVATIONS

SCALE: 3/16"=1'-0"
DATE: 27/11/2020

SHEET:

A2.1

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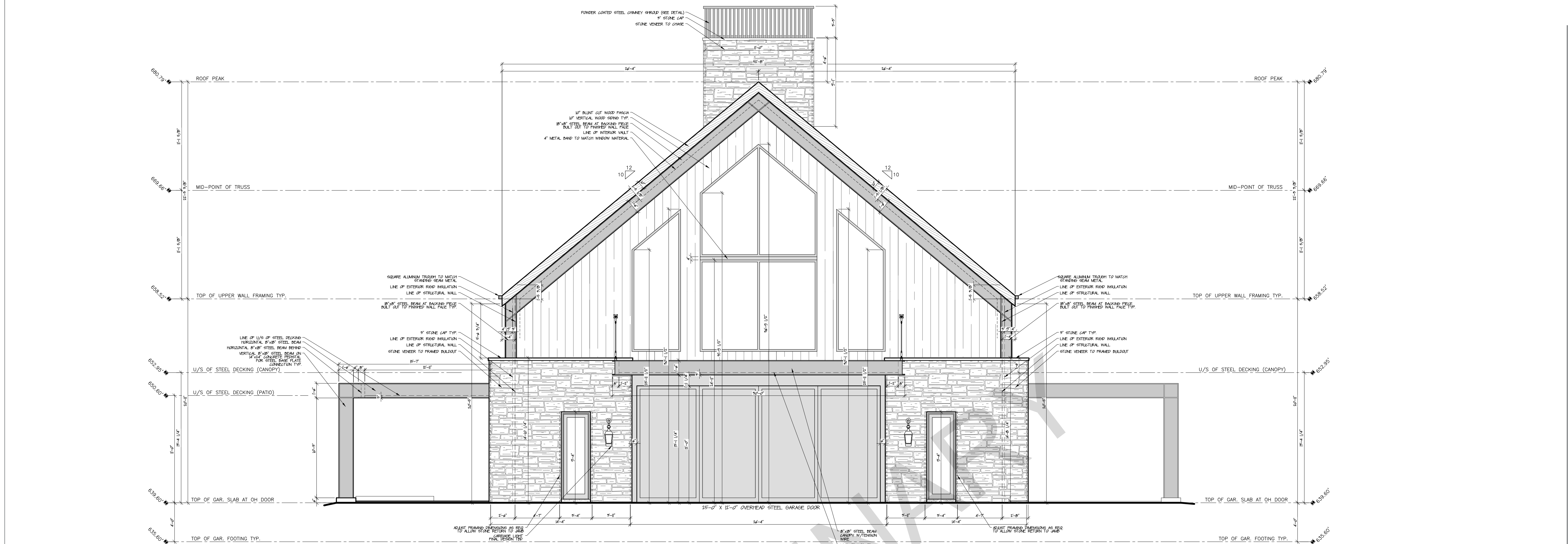
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ELEVATIONS

SCALE: 3/16"=1'-0"
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SHEET:

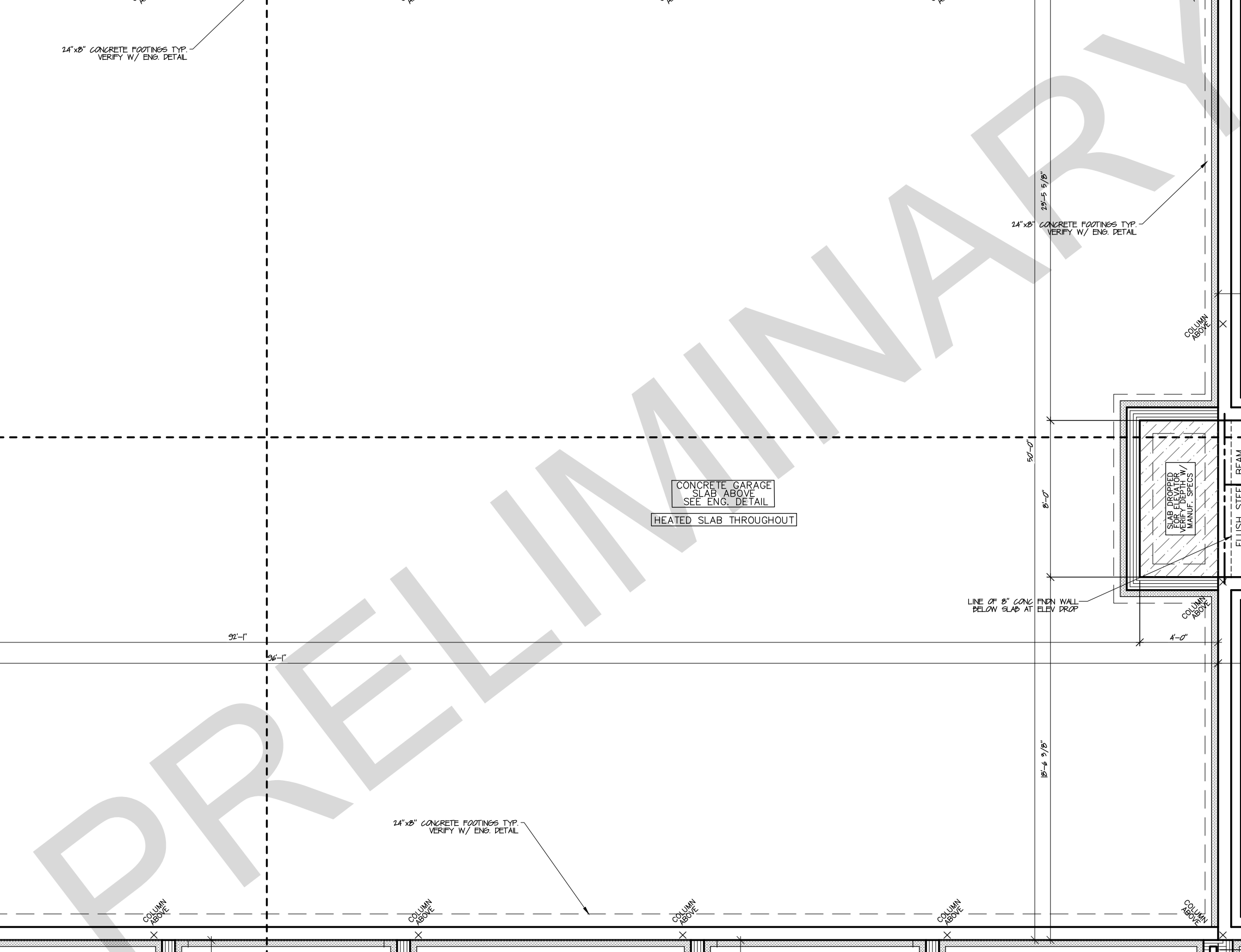
A2.2



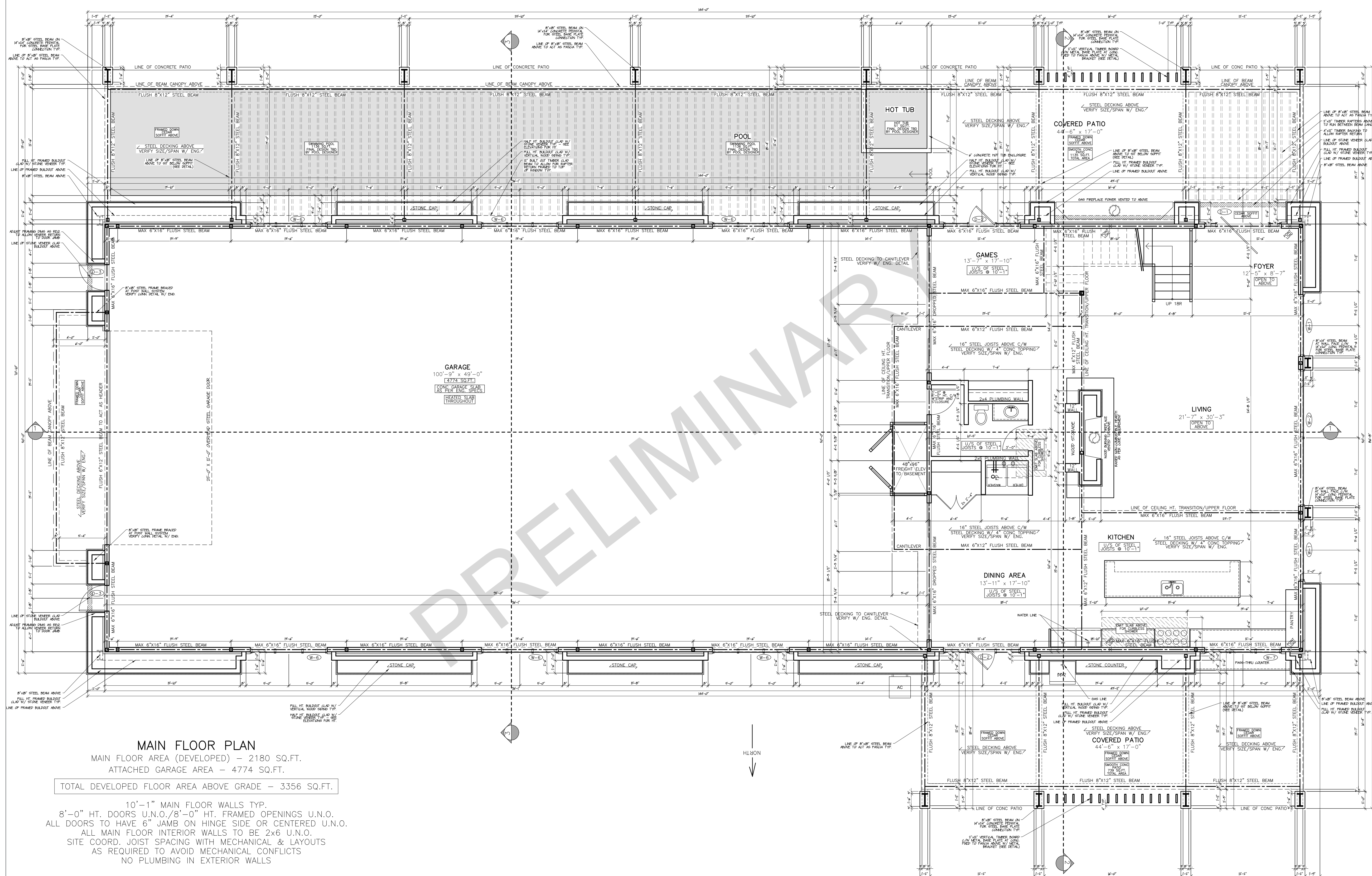
REAR ELEVATION



LEFT ELEVATION



A3.1



MAIN FLOOR PLAN

MAIN FLOOR AREA (DEVELOPED) – 2180 SQ.FT.
ATTACHED GARAGE AREA – 4774 SQ.FT.

TOTAL DEVELOPED FLOOR AREA ABOVE GRADE – 3356 SQ.FT.

10'-1" MAIN FLOOR WALLS TYP.
8'-0" HT. DOORS U.N.O./8'-0" HT. FRAMED OPENINGS U.N.O.
ALL DOORS TO HAVE 6" JAMB ON HINGE SIDE OR CENTERED U.N.O.
ALL MAIN FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.
SITE COORD. JOIST SPACING WITH MECHANICAL & LAYOUTS
AS REQUIRED TO AVOID MECHANICAL CONFLICTS
NO PLUMBING IN EXTERIOR WALLS

ALL STRUCTURAL EXTERIOR WALLS
TO BE 550S STEEL STUDS
ALL EXTERIOR NON STRUCTURAL BUILDOUTS
TO BE WOOD FRAMED
ALL INTERIOR NON STRUCTURAL PARTITIONS
TO BE WOOD FRAMED

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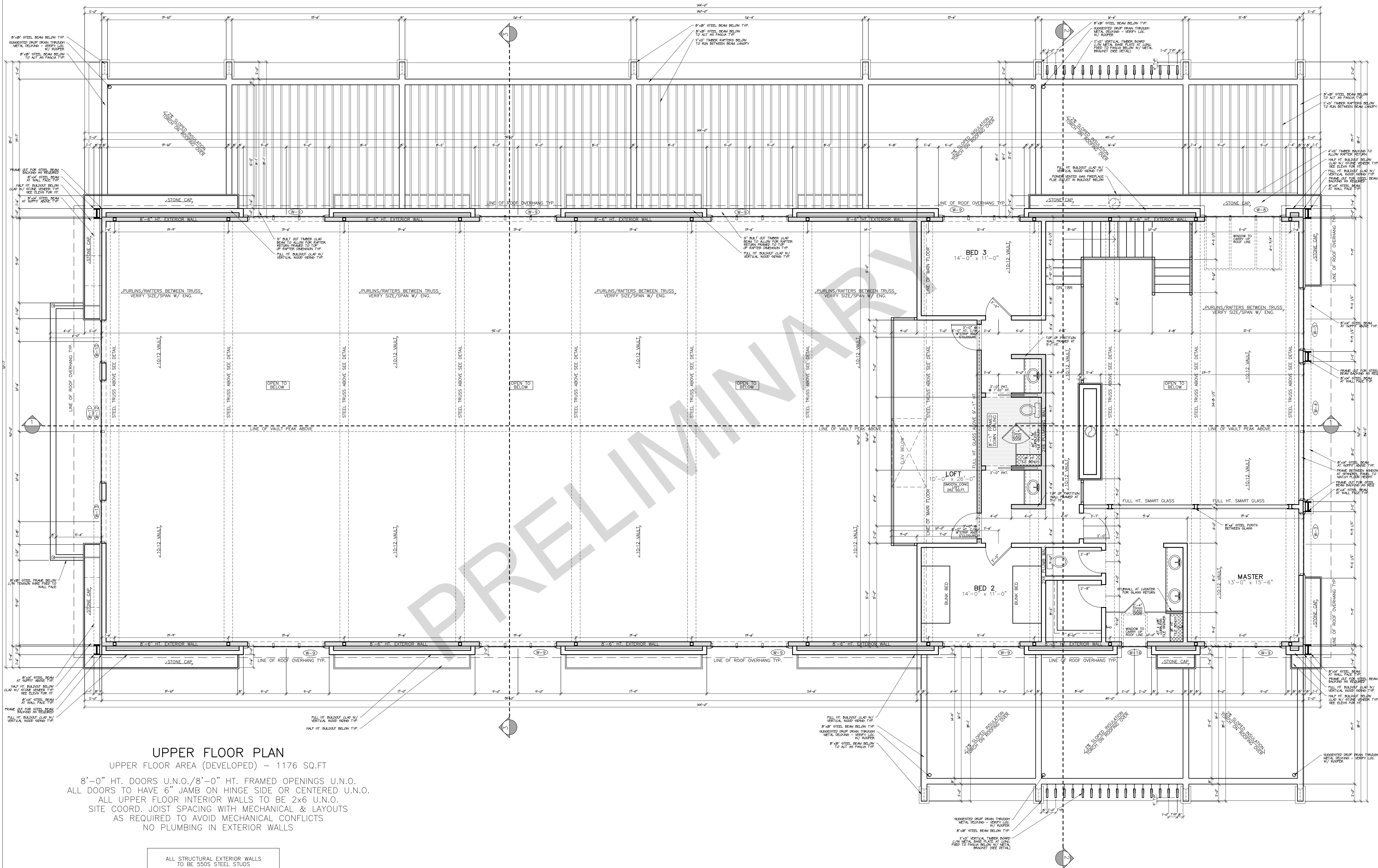
DRAWING TITLE:

MAIN FLOOR PLAN

SCALE: 3/16"=1'-0"
DATE: 27/11/2020

SHEET:

A3.3



UPPER FLOOR PLAN
UPPER FLOOR AREA (DEVELOPED) - 1176 SQ.FT

8'-0" HT. DOORS U.N.O./8'-0" HT. FRAMED OPENINGS U.N.O.
ALL DOORS TO HAVE 6" JAMB ON HINGE SIDE OR CENTERED U.N.O.
ALL UPPER FLOOR INTERIOR WALLS TO BE 2x6 U.N.O.
SITE COORD. JOIST SPACING WITH MECHANICAL & LAYOUTS
AS REQUIRED TO AVOID MECHANICAL CONFLICTS
NO PLUMBING IN EXTERIOR WALLS

- ALL STRUCTURAL EXTERIOR WALLS TO BE 550S STEEL STUDS
- ALL EXTERIOR NON STRUCTURAL BUILDOUTS TO BE WOOD FRAMED
- ALL INTERIOR NON STRUCTURAL PARTITIONS TO BE WOOD FRAMED

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FLOOR AREAS:

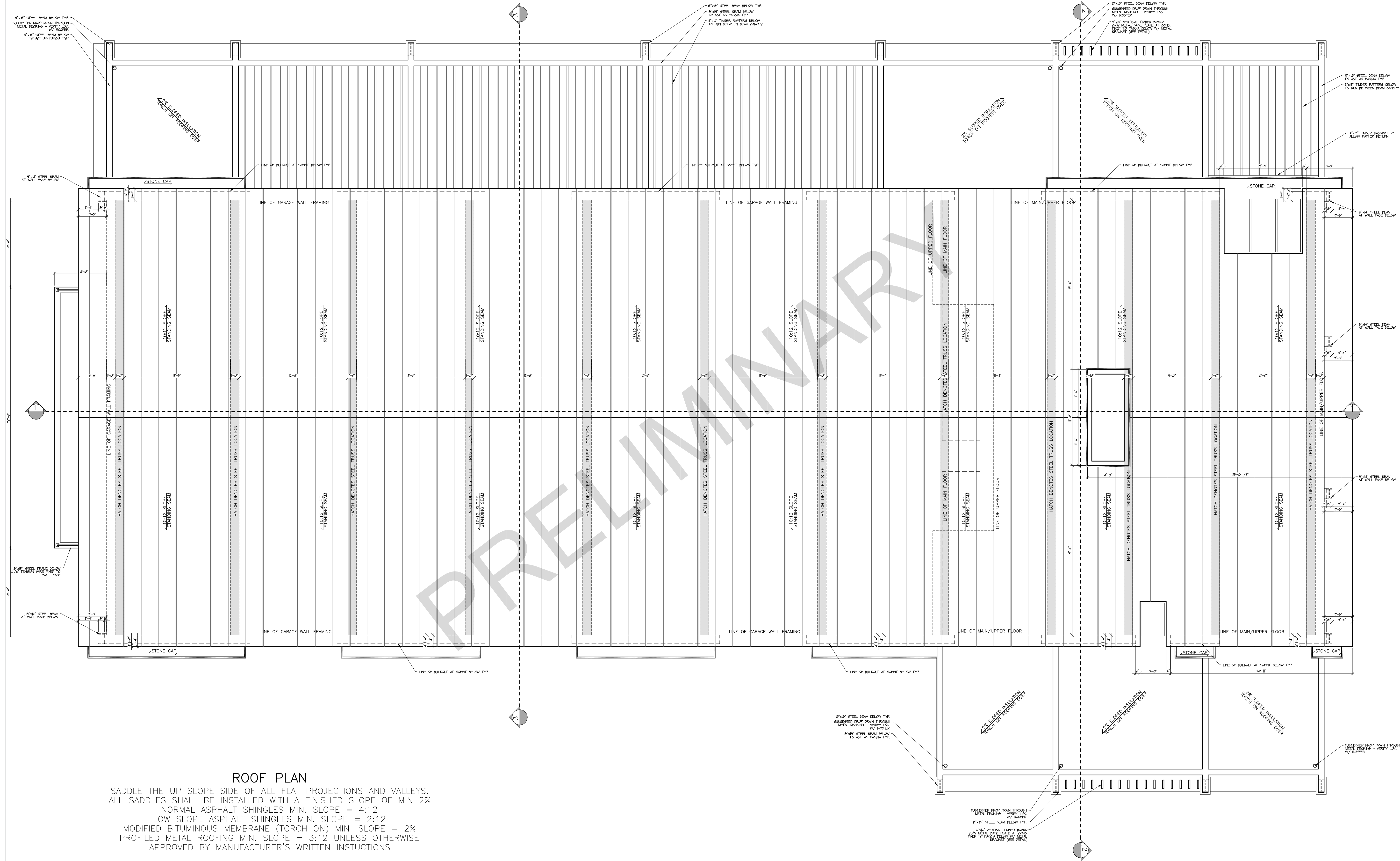
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DRAWING TITLE:
UPPER FLOOR PLAN

SCALE: 3/16"=1'-0"
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SHEET:

A3.4



ROOF PLAN

SADDLE THE UP SLOPE SIDE OF ALL FLAT PROJECTIONS AND VALLEYS.
ALL SADDLES SHALL BE INSTALLED WITH A FINISHED SLOPE OF MIN 2%
NORMAL ASPHALT SHINGLES MIN. SLOPE = 4:12
LOW SLOPE ASPHALT SHINGLES MIN. SLOPE = 2:12
MODIFIED BITUMINOUS MEMBRANE (TORCH ON) MIN. SLOPE = 2%
PROFILED METAL ROOFING MIN. SLOPE = 3:12 UNLESS OTHERWISE
APPROVED BY MANUFACTURER'S WRITTEN INSTRUCTIONS

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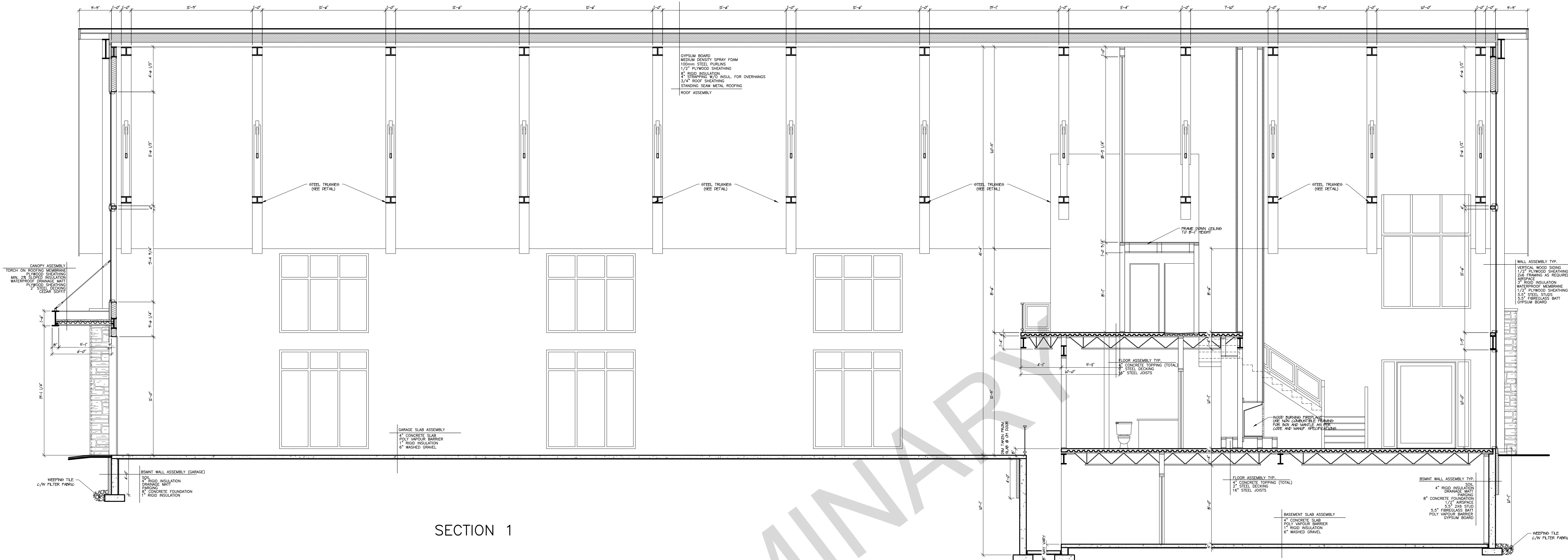
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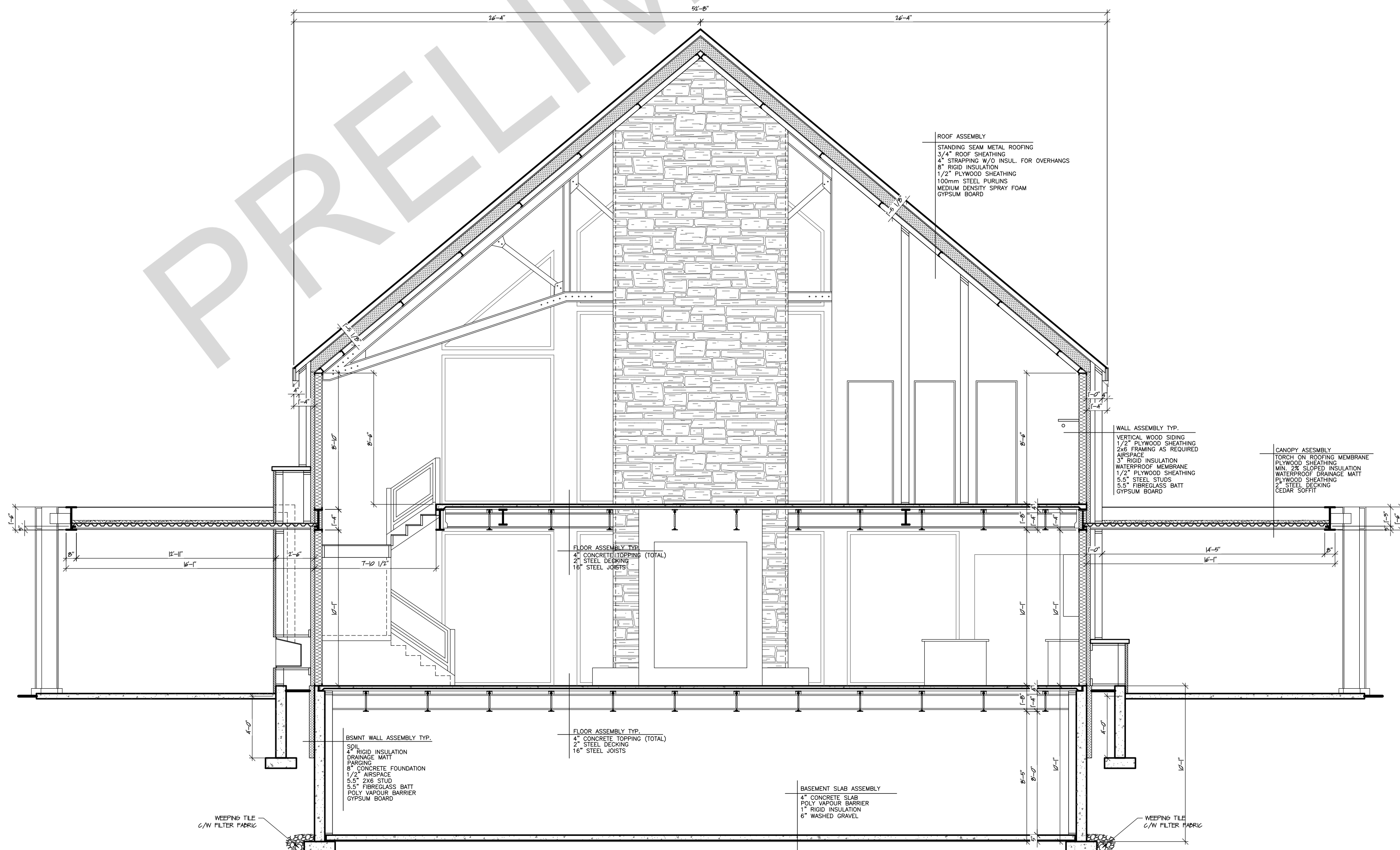
DRAWING TITLE:
ROOF PLAN

SCALE: 3/16"=1'-0"
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SHEET:



SECTION 1



SECTION 2

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SECTIONS

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A4.1

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SECTIONS

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SHEET:

A4.2

