

TOPOGRAPHIC SURVEY
OF
PART OF LOT 1
CONCESSION 1 EASTERN DIVISION
GEOGRAPHIC TOWNSHIP OF GOSFIELD SOUTH
NOW IN THE
TOWN OF KINGSVILLE
COUNTY OF ESSEX, ONTARIO

© VERHAEGEN LAND SURVEYORS

SCALE : 1"=20'



"IMPERIAL" DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE
IN FEET AND CAN BE CONVERTED TO METRES BY
MULTIPLYING BY 0.3048

ELEVATIONS

ELEVATIONS SHOWN ON THIS PLAN ARE IN FEET TO CANADIAN GEODETIC DATUM

BENCH MARK

BENCH MARK 71U102, ELEVATION 625.43'
DEEP BENCH MARK IN MANHOLE IN GROUNDS OF KINGSVILLE DISTRICT HIGH SCHOOL,
IN FRONT LAWN, OPPOSITE THE ONLY CONCRETE LAMP STANDARD, 93.8' SOUTHEAST
OF SOUTHEAST CORNER OF WALL WITH MOSAIC, 88.9' EAST OF WEST LAWNWAY TO
MAIN ENTRANCE, 69.9' NORTH OF CENTRE LINE OF HIGHWAY 18, 62.0' SOUTHWEST
OF FLAG POLE, 21.0' SOUTHWEST OF "KINGSVILLE DISTRICT HIGH SCHOOL" SIGN.

SITE BENCH MARK

AS SHOWN ON FACE OF PLAN

AREA

3.603 acres

CAUTION

UNDERGROUND UTILITIES AND SERVICES SHOWN ON THIS PLAN ARE
APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION

INTEGRATION DATA

COORDINATES ARE DERIVED FROM GRID OBSERVATIONS USING THE CAN-NET
NETWORK SERVICE AND ARE REFERRED TO UTM ZONE 17 (81° WEST LONGITUDE)
NAD83 (CSRS) (2010.0)
COORDINATE VALUES ARE TO AN URBAN ACCURACY IN ACCORDANCE WITH
SECTION 14(2) OREG 216/10

POINT ID	NORTHING	EASTING
ORP-A	N15274649.635	E1169840.052
ORP-B	N15273929.445	E1169823.100

COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS
OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND AND NOTES

BEARINGS ARE UTM GRID DERIVED FROM OBSERVED REFERENCE POINTS "A" AND "B" BY
REAL TIME NETWORK OBSERVATIONS.

DISTANCES ON THIS PLAN ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING
BY THE COMBINED SCALE FACTOR OF 0.99982867

LEGEND

○ MHH	DENOTES HYDRO MANHOLE	◆ FH	DENOTES FIRE HYDRANT
○ MHS	DENOTES SEWER MANHOLE	◆ WM	DENOTES WATER METER
○ MHT	DENOTES TELEPHONE MANHOLE	◆ WVS	DENOTES WATER VALVE (Service)
○ MHTR	DENOTES TRAFFIC MANHOLE	◆ WWM	DENOTES WATER VALVE (Main)
○ MHW	DENOTES WATER MANHOLE	◆ GVM	DENOTES GAS METER
○ CB	DENOTES CATCH BASIN	◆ GV	DENOTES GAS VALVE
○ DDB	DENOTES DOUBLE CATCH BASIN	◆ HM	DENOTES HYDRO METER
● LSW	DENOTES LIGHT STANDARD CONCRETE	◆ PedT	DENOTES TELEPHONE PEDESTAL
● LSL	DENOTES LIGHT STANDARD STEEL	◆ PedCTV	DENOTES CABLE TV PEDESTAL
● LSW	DENOTES LIGHT STANDARD WOOD	◆ TRS	DENOTES TRAFFIC SIGN
● UPR	DENOTES UTILITY POLE CONCRETE	◆ TRsg	DENOTES TRAFFIC SIGNAL
● UPS	DENOTES UTILITY POLE STEEL	◆ TRsb	DENOTES TRAFFIC SIGNAL BOX
● UPRW	DENOTES UTILITY POLE WOOD	◆ TH	DENOTES TESTHOLE
● GP	DENOTES GUY POLE	◆ BM	DENOTES BENCH MARK
● GW	DENOTES GUY WIRE	△ HCP	DENOTES HORIZONTAL CONTROL POINT
● Bsl	DENOTES BOLLARD	○ VCP	DENOTES VERTICAL CONTROL POINT
● PM	DENOTES PARKING METER	◆ SC	DENOTES SEWER CLEANOUT
70C	DENOTES TOP OF CURB	○ INV	DENOTES INVERT
80C	DENOTES BOTTOM OF CURB		

DECIDUOUS AND CONIFEROUS TREES ARE DENOTED DT AND CT RESPECTIVELY.
A PREFIX TO THE DESCRIPTION DESIGNATES THE NUMBER OF TREE TRUNKS WHEN
TREES ARE CLUMPED TOGETHER AND A SUFFIX DENOTES THE TREE DIAMETER OR
(NTS) NOT TO SCALE.

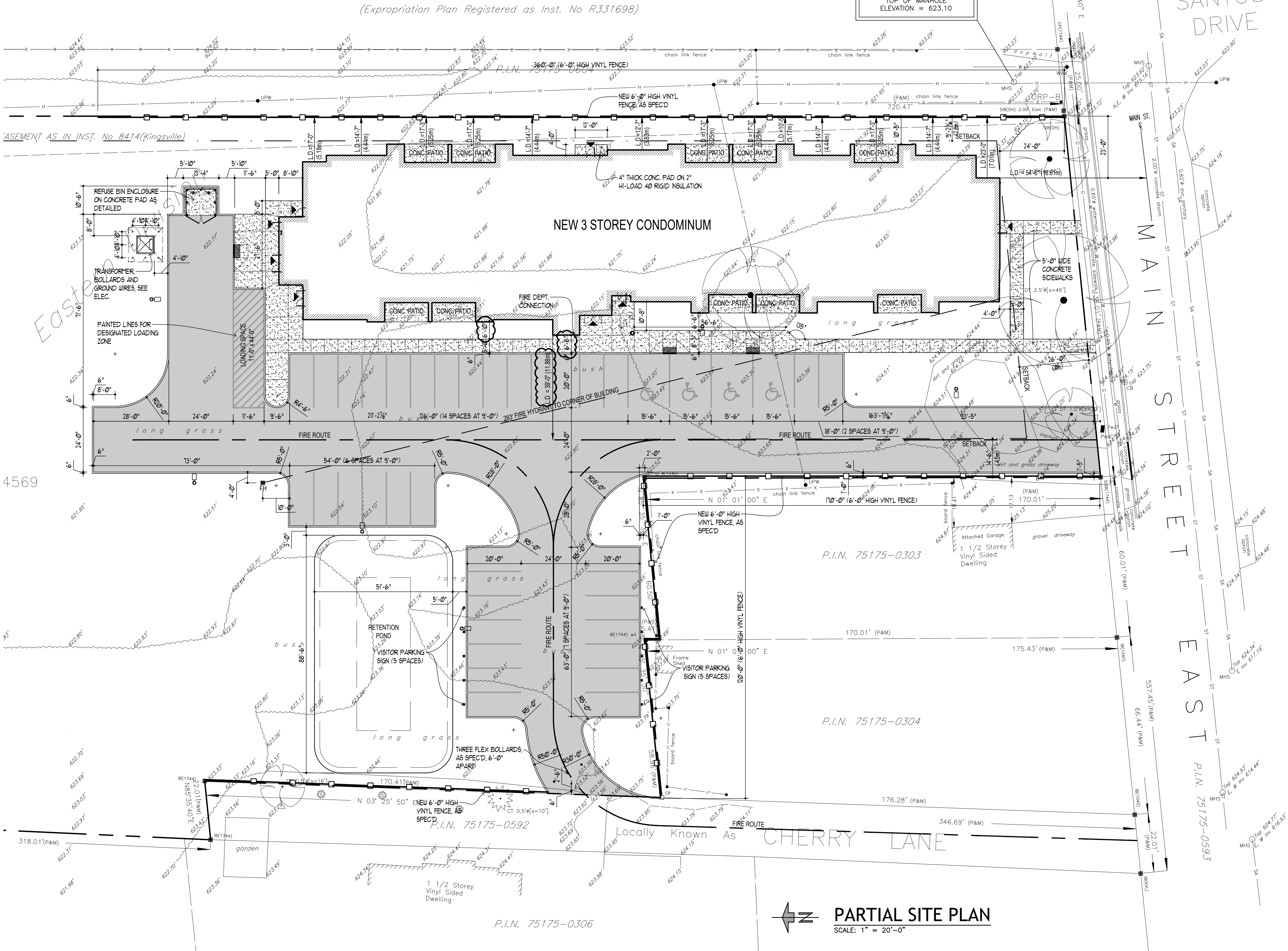
C	(pipe size)	C	DENOTES OVERHEAD CABLE TV LINE
G	(pipe size)	G	DENOTES GAS LINE
H	(pipe size)	H	DENOTES OVERHEAD HYDRO LINE
CS	(pipe size)	CS	DENOTES COMBINED SEWER
SA	(pipe size)	SA	DENOTES SANITARY SEWER
ST	(pipe size)	ST	DENOTES STORM SEWER
T	(pipe size)	T	DENOTES OVERHEAD TELEPHONE LINE
W	(pipe size)	W	DENOTES WATER LINE

UNDERGROUND CABLE, HYDRO OR TELEPHONE LINES ARE PREFIXED WITH THE LETTER "u"
(CABLE = uC HYDRO = uH TELEPHONE = uT)

LEGEND AND NOTES

ALL MONUMENTS SHOWN THUSLY □ ARE IRON BARS (IB) UNLESS OTHERWISE NOTED.
SIB DENOTES 1" X 1" X 4"-0" STANDARD IRON BAR
SIB DENOTES 1" X 1" X 2"-0" SHORT STANDARD IRON BAR
IB 3/8" DENOTES 3/8" X 5/8" X 2"-0" IRON BAR
IB 1/2" DENOTES 1/2" diameter X 2"-0" ROUND IRON BAR
CP DENOTES CUT-CROSS
DENOTES 50mm X 50mm STEEL PIN
DENOTES SURVEY MONUMENT FOUND
DENOTES SURVEY MONUMENT SET AND MARKED 1744
DENOTES WITNESS DENOTES PERPENDICULAR
(S) DENOTES SET (M) DENOTES MEASURED
ORP DENOTES OBSERVED REFERENCE POINT
SIB'S SHOWN ON THIS PLAN HAVE BEEN SET IN LIEU OF SIB'S WHERE THE
POSSIBILITY THAT UNDERGROUND UTILITIES EXIST.
(S/P) DENOTES SET PROPORTIONALLY (OU) DENOTES ORIGIN UNKNOWN
(P) DENOTES PLAN 12R-14569
(1744) DENOTES VERHAEGEN STUBBERFIELD HARTLEY BREWER BEZAIRE INC., O.L.S.
(1040) DENOTES WILLIAM J. SETTERINGTON, O.L.S.
(OH) DENOTES ONTARIO HYDRO
(WGL) DENOTES VERHAEGEN AND BEZAIRE LIMITED, O.L.S.

DESIGN DATA TABLE			BUILDING CLASSIFICATION - O.B.C. 3.2.2.43 GROUP C, UP TO 6 STOREYS, SPRINKLERED, NON-COMBUST. ZONING - RESIDENTIAL ZONE 4 URBAN EXCEPTION 5 (R4.1-5)		
DESCRIPTION/REGULATION	REQUIRED		PROPOSED		
INTENDED USE	MIXED USE COMMERCIAL/RESIDENTIAL		CONDOMINIUM		
LOT AREA	MINIMUM	10,225 s.f. (950.00 s.m.)	LOT AREA	133,424.28 s.f. (12,395.52 s.m.)	3.063 acres (1,239ha)
LOT FRONTAGE	MINIMUM	80'-0" (25.00 m)	MAIN ST.	135'-1" (41.2 m)	
BUILDING AREA			CONDOMINIUM	14,772.50 s.f. (1,372.36 s.m.)	
LOT COVERAGE	45 % (MAXIMUM)		TOTAL BUILDING/MAIN LOT	11.07 %	
PAVED AREA			NEW PARKING LINES	22,707.75 s.f. (2,109.55 s.m.)	
TOTAL CURBING			NEW CONCRETE WALKS	5,803 s.f. (427.62 s.m.)	
			TOTAL	27,510.75 s.f. (2,537.17 s.m.)	
			1,309'-8" Lf.	(399.19 Lm.)	
LANDSCAPED AREA			LOT AREA	133,424.28 s.f. (12,395.52 s.m.)	
OPEN SPACE	30 % (MINIMUM)		TOTAL AREA OF BUILDINGS	14,772.50 s.f. (1,372.36 s.m.)	
			TOTAL PAVED AREA	27,510.75 s.f. (2,537.17 s.m.)	
			TOTAL LANDSCAPED AREA	91,343.03 s.f. (8,485.99 s.m.)	
			% OF SITE AREA LANDSCAPED	68.46%	
NUMBER OF FLOORS			3 FLOORS		
MAIN BUILDING HEIGHT			CONDOMINIUM HEIGHT	33'-6" (10.21 m)	
SETBACKS	MIN. FRONT YARD	36'-0" (11.0 m)	SEE DRAWING		
	MIN. REAR YARD	26'-0" (8.0 m)	SEE DRAWING		
	MIN. SIDE YARD	33'-6" (10.21 m)	SEE DRAWING		
	a) EAST	9'-2" (2.8 m)			
	b) WEST	14'-6" (4.5 m)			
PARKING SPACES	REQUIRED		PROVIDED PARKING		
	CONDOMINIUM DWELLING UNITS = 30		REGULAR PARKING SPACES		
	1.25 SPACES REQUIRED PER UNIT		(9'-0" x 20'-0")	=	36
	SPACES REQUIRED (9'X18' MIN.)		ACCESSIBLE PARKING	=	4
	(15'-6" x 20'-0")		TOTAL SPACES PROVIDED	=	40
	SPACES DEDICATED AS VISITOR				
	SPACES REQUIRED X 0.25				
	38 X 0.25 = 10				
	BARRIER-FREE SPACES (8-50 SPACES)				
	SPACES REQUIRED (15'-4"X18' MIN.)				
	= 1				
	TOTAL SPACES REQUIRED		= 39		
BICYCLE PARKING	NOT REQUIRED				
LOADING AREA			1 SPACE PROVIDED		
FIRE ACCESS ROUTE	REQUIRED SIZE 11'-6" (3.5m) X 44'-0" (13.5m)				
	REQUIRED FOR APARTMENT BLDG (5.16.d) = 1				
	MIN. TURNING RADIUS	39'-4" (12m)	PROVIDED TURNING RADIUS	40'-0" (12.19m)	
	MIN. WIDTH	19'-8" (6m)	PROVIDED WIDTH	24'-0" (7.3m)	



WINDSOR
ONTARIO

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A	B
A. DETAIL NO.	B. DETAILED ON

ISSUE DATE	ISSUED FOR
DEC. 03, 2019	OWNER REVIEW
MAR. 06, 2020	SITE PLAN AMENDMENT
MAY 01, 2020	ACOUSTIC REVIEW
MAY 15, 2020	PERMITS AND TENDER

PROJECT

140 MAIN STREET

KINGVILLE, ONTARIO

DRAWING TITLE

SITE PLAN

DRAWING DATE: DEC. 1, 2019

DRAWN BY:

CHECKED BY:

SCALE: AS SHOWN

JOB FILE NO.:

20101

DRAWING NO.:

A-100