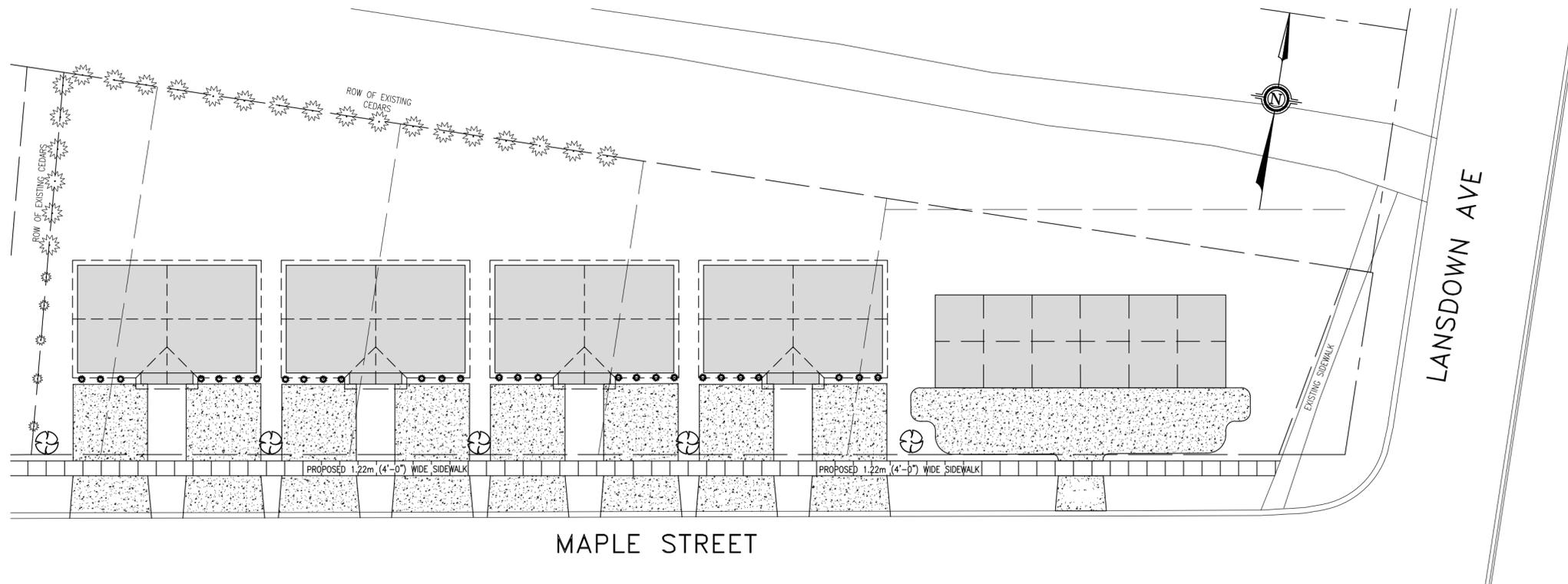


MAPLE STREET SEMI-DETACHED HOUSING TOWN OF KINGSVILLE

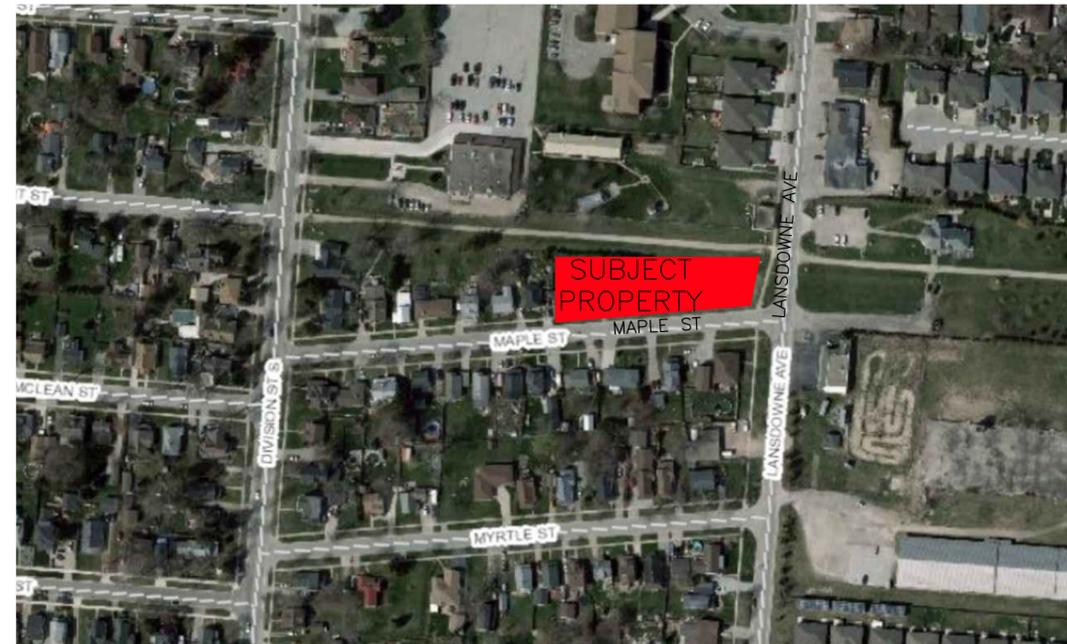


MAPLE STREET

SITE PLAN
SCALE 1:300

Drawing Index

SHEET No.	DRAWINGS
0	COVER SHEET
1	TOPO SURVEY - EXISTING SITE
2	PROPOSED SITE PLAN - BUILDING ENVELOPES & SETBACKS
3	OVERALL LOT GRADING
4	EXISTING SITE SERVICES
5	REMOVAL SITE SERVICES
6	PROPOSED SITE SERVICES
7	LANDSCAPING, SIDEWALK AND DRIVEWAY PLAN
8	LOT DETAILS
9	DETAILS & NOTES



KEY PLAN

Town of Kingsville, County of Essex
N.T.S.

DRAFT

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DATE	JUNE 2016		
SCALE	1:200		
No.	DATE	BY	ISSUED FOR
2.	??	H.T.	DRAFT FOR REVIEW
1.	??	H.T.	CLIENT REVIEW

PROJECT: 4-2 UNITS RAISED-RANCH DWELLING UNIT
& 6 UNIT STORAGE GARAGE

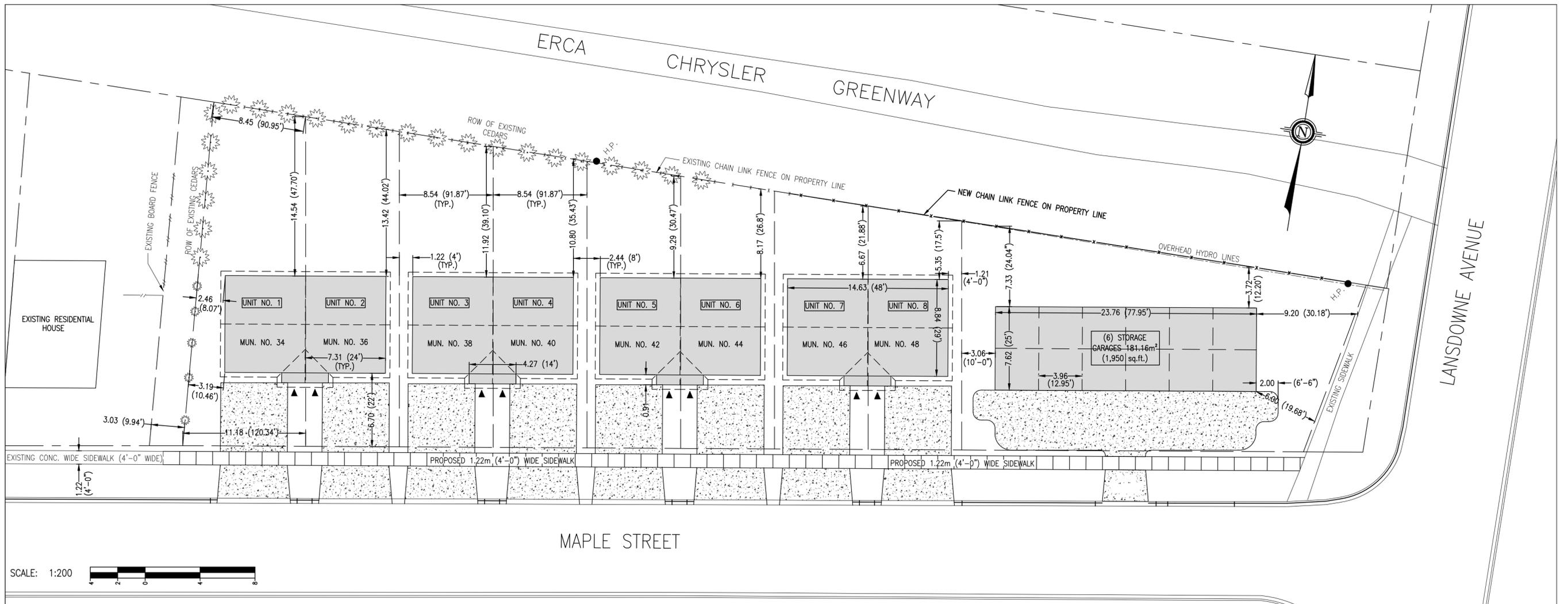
CLIENT: LIOVAS HOMES

SHEET: COVER SHEET

Project No.:
1610

SHEET No.:

0



NOTES:

SIDEWALKS:

- SIDEWALKS SHALL HAVE A BRUSHED FINISH COMPLETE WITH TOOLED EDGES AND JOINTS, DUMMY JOINTS AT A MAXIMUM OF 1.8m AND A FULL EXPANSION JOINTS AT A MAXIMUM OF 18m OR 10 SECTIONS OF SIDEWALK.

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ZONING:	REQUIRED:	ZONING REQUIREMENTS:							
		UNIT NO. 1	UNIT NO. 2	UNIT NO. 3	UNIT NO. 4	UNIT NO. 5	UNIT NO. 6	UNIT NO. 7	UNIT NO. 8
PROPOSED: Semi-Detached Dwelling Unit									
ZONING: R2.1 - Residential Zone 2 Urban - Semi-Detached Dwelling Unit									
LOT AREA:	182m ² (1,959 ft ²)	300.83m ² (3,238.1ft ²)	251.15m ² (2,703ft ²)	239.96m ² (2,582.9ft ²)	228.16m ² (2,582.9ft ²)	217.56m ² (2,341.79ft ²)	206.37m ² (2,221.34ft ²)	195.18m ² (2,100.9ft ²)	183.98m ² (1,980.34ft ²)
LOT FRONTAGE:	7.5 (24.5 ft.) Interior Lot	11.18m (36.67ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)
OPEN SPACE:	30%	77.88%	73.5%	72.26%	70.83%	69.44%	67.75%	65.9%	63.82%
LOT COVERAGE:	50%	22.12% + 8.8% = 30.9%	26.5% + 10.6% = 37.1%	27.74% + 11.1% = 38.8%	29.17% + 11.6 = 40.77%	30.56% + 12.2% = 42.76%	32.25% + 12.9% = 45.15%	34.10% + 13.6% = 47.7%	36.18% + 14.5% = 50.68%
FRONT YARD DEPTH:	5.5m (18')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')
REAR YARD DEPTH:	5.5m (18')	14.54m (47.70')	13.42m (44.02')	11.92m (39.10')	10.80m (35.43')	9.29m (30.47')	8.17m (26.80')	6.67m (21.88')	5.54m (18.17')
INTERIOR SIDE YARD WIDTH:	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')
EXTERIOR SIDE YARD WIDTH:	4.0m (13')	-	-	-	-	-	-	-	-
BUILDING HEIGHT:	11.0m (36')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')

ZONING:	ZONING: M1 - Light Industrial - Self-Storage Garage
LOT AREA:	1,300m ² (14,000 ft ²)
LOT FRONTAGE:	24m (80'-0")
OPEN SPACE:	15% Minimum
LOT COVERAGE:	29.15% + 18.19% = 47.34%
FRONT YARD DEPTH:	7.5m (25'-0")
REAR YARD DEPTH:	7.5m (25'-0")
INTERIOR SIDE YARD WIDTH:	10.5m (34'-6")
EXTERIOR SIDE YARD WIDTH:	6m (20'-0")
BUILDING HEIGHT:	N/A

- SEMI-DETACHED DWELLING UNITS = (4) 2 UNIT RAISED RANCH DWELLING UNIT 129.32m² (1,392 sq.ft.)
- (6) SELF-STORAGE GARAGE = 181.16m² (1,950 sq.ft.)

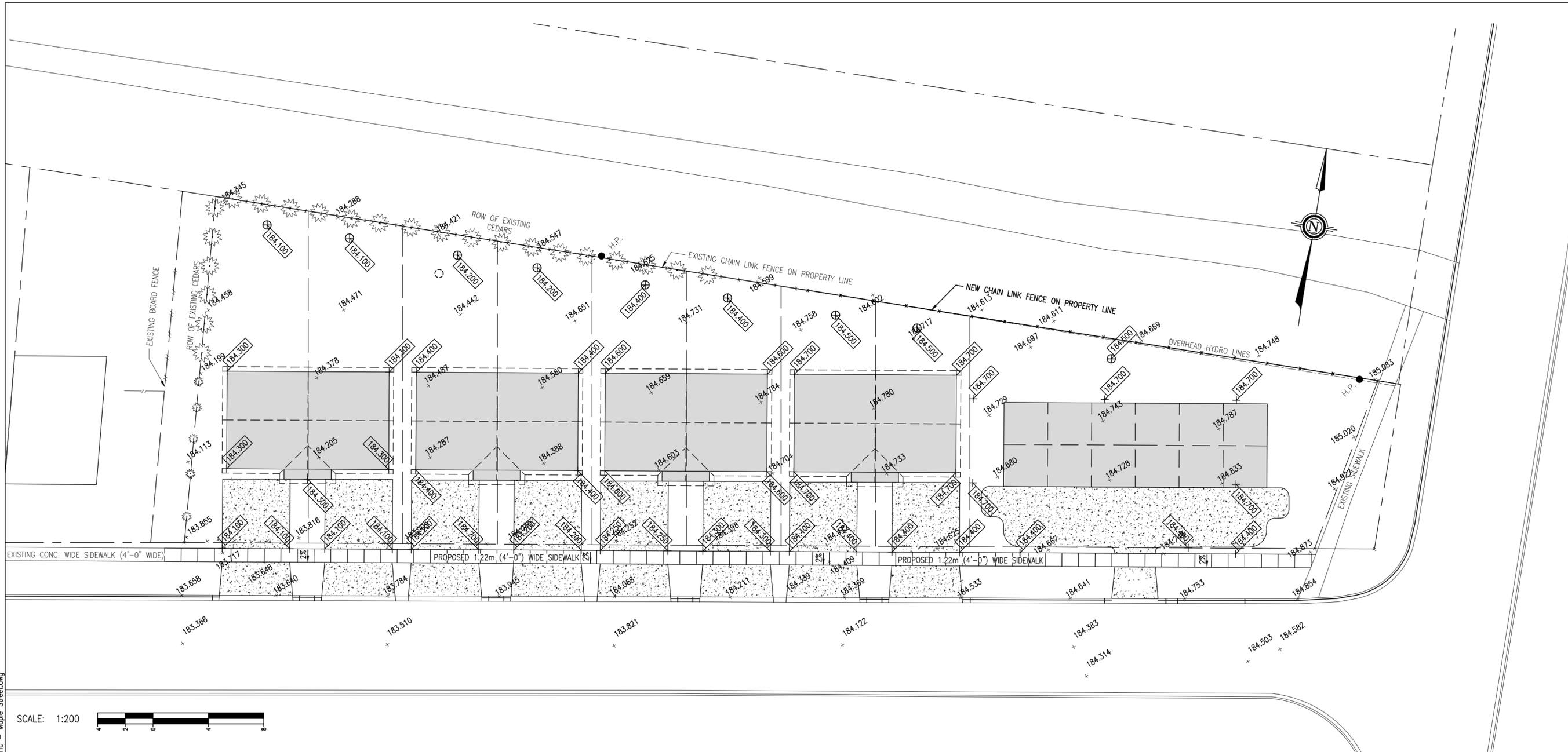
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REVIEWED	W.E.
CHECKED	W.E.
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No.	DATE
BY	ISSUED FOR

PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE	Project No.: 1610
CLIENT:	LIOVAS HOMES	SHEET No.:
SHEET:	PROPOSED SITE PLAN	2

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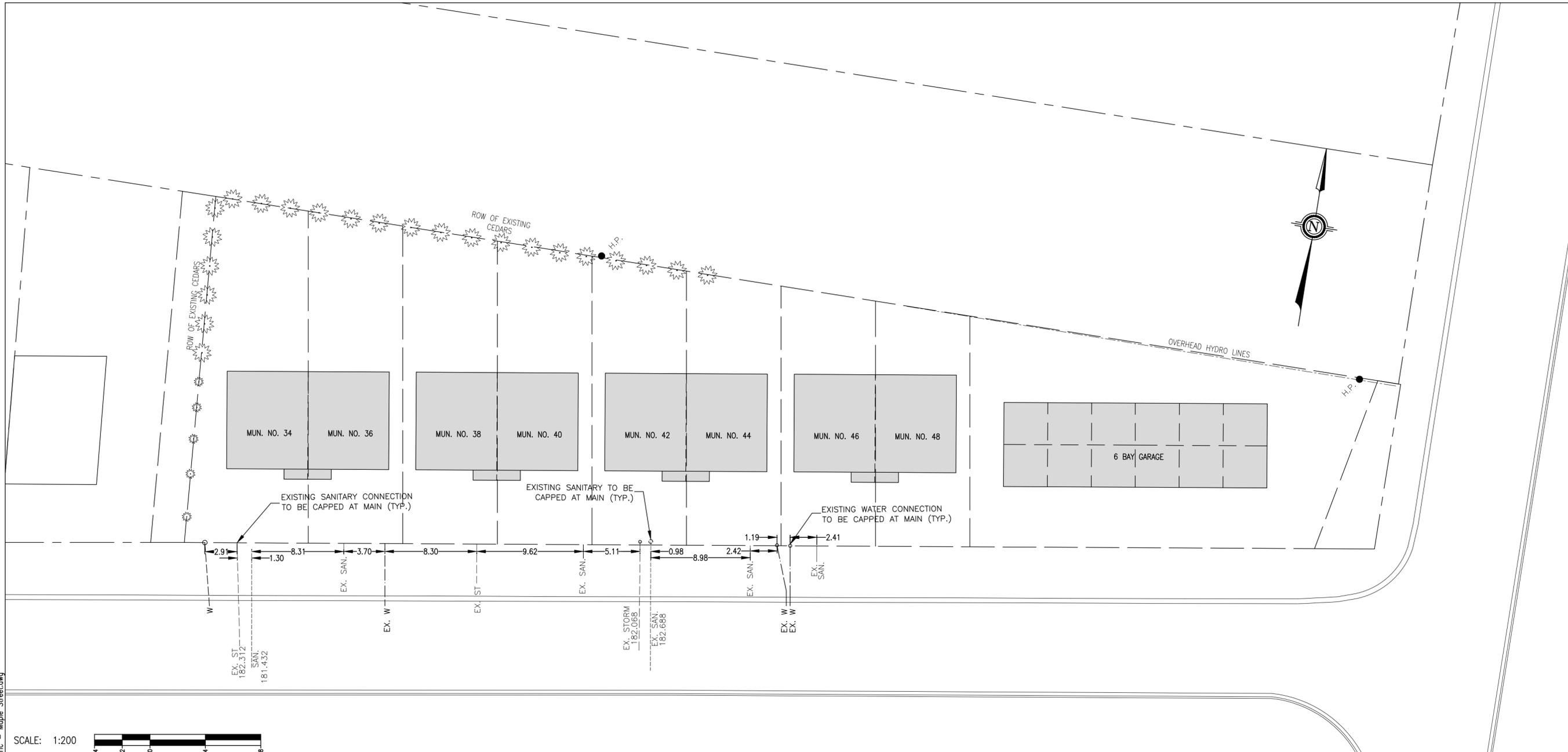
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PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE
CLIENT:	LIOVAS HOMES
SHEET:	LOT GRADING

Project No.:
1610

SHEET No.:
3



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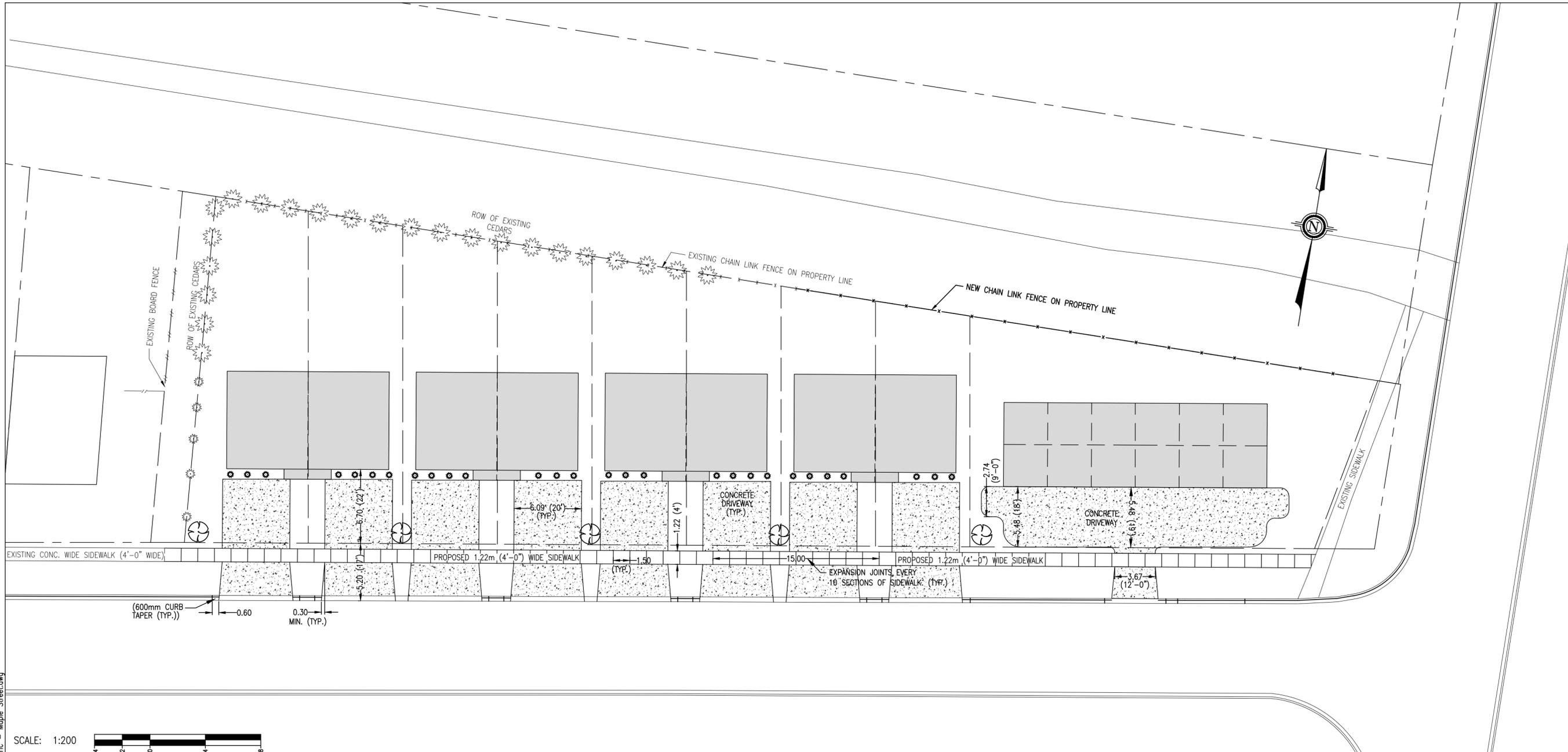


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		-	-	DRAWN	H.T.		
-	-	-	-	REVIEWED	W.E.	SHEET: REMOVAL SITE SERVICING	SHEET No.: 5
-	-	-	-	CHECKED	W.E.		
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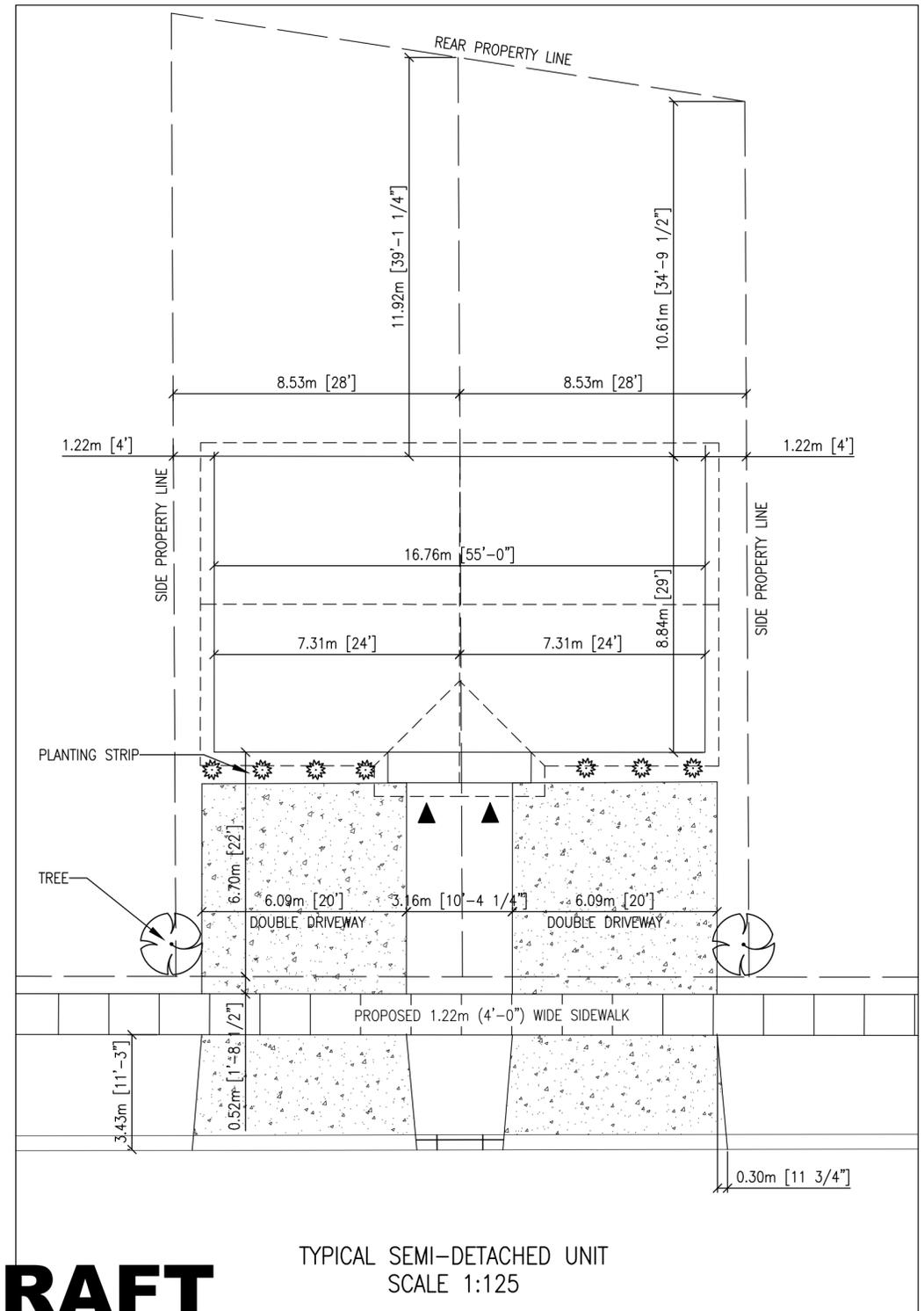
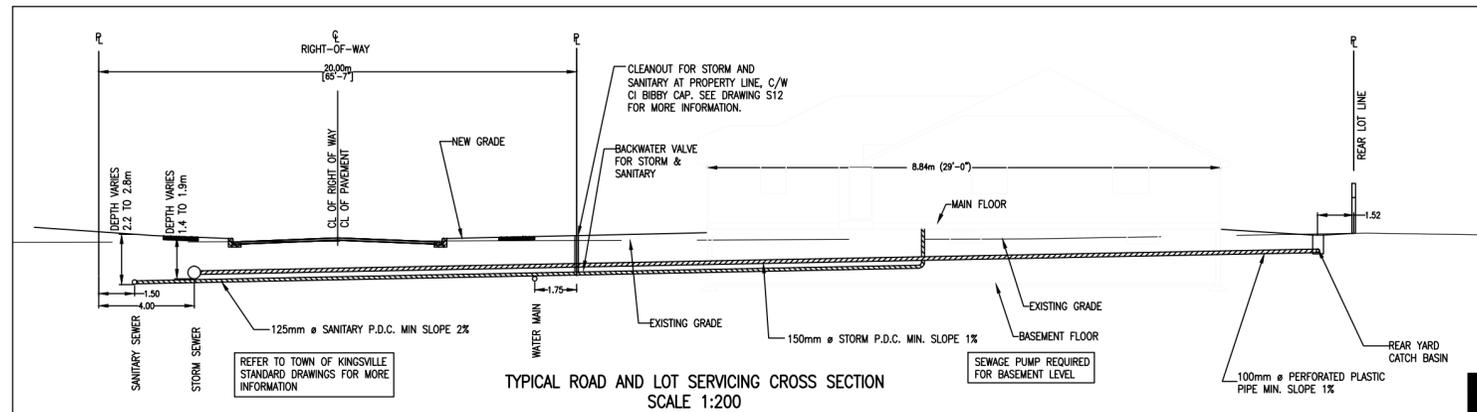
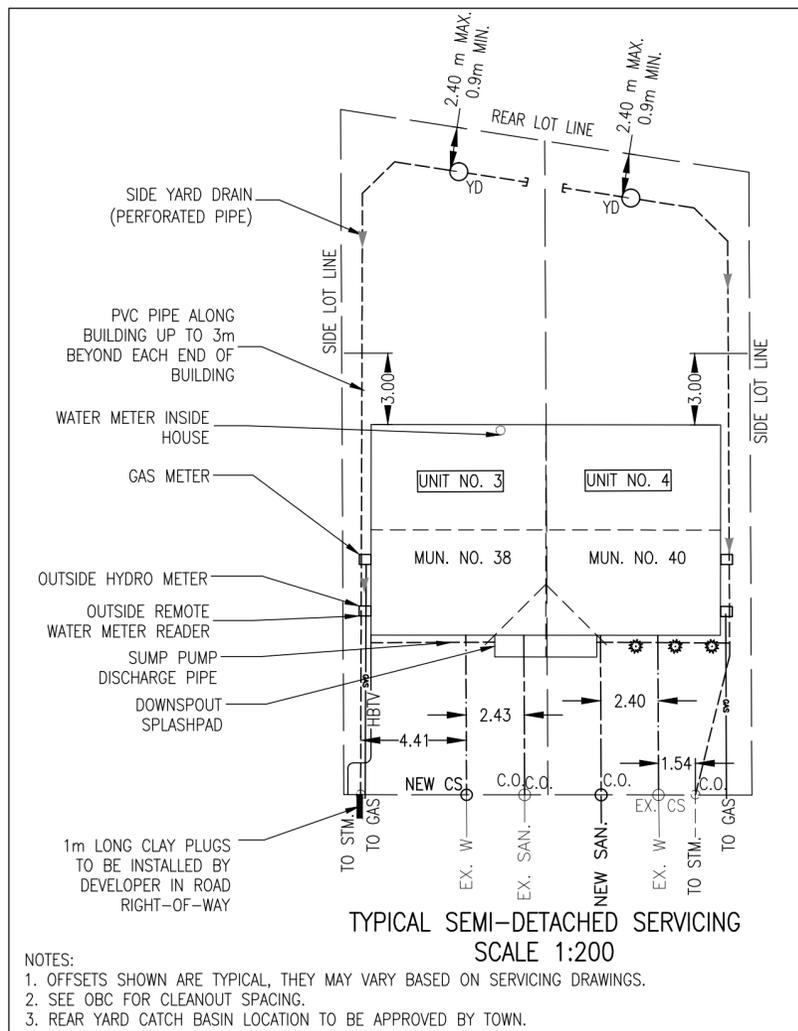
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PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE
CLIENT:	LIOVAS HOMES
SHEET:	DRIVEWAY, SIDEWALK AND LANDSCAPE PLAN

Project No.: 1610
 SHEET No.: 7

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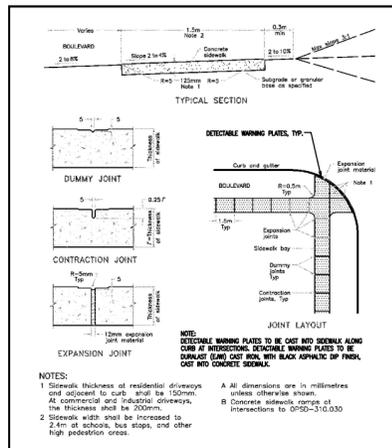


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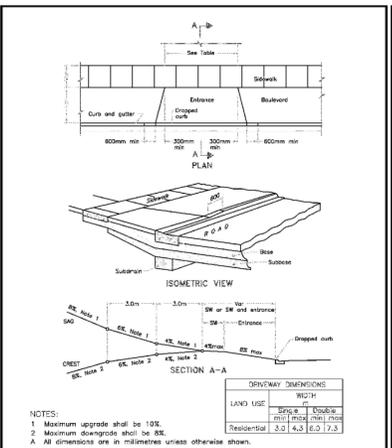
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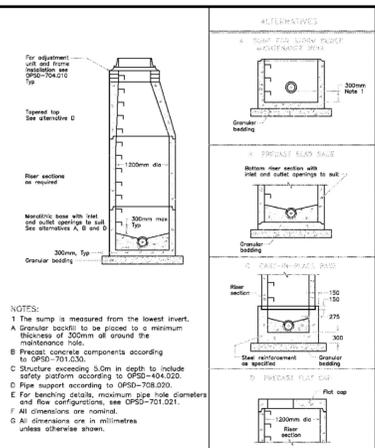
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CLIENT:	LIOVAS HOMES	SHEET No.:	
SHEET:	LOT DETAILS		



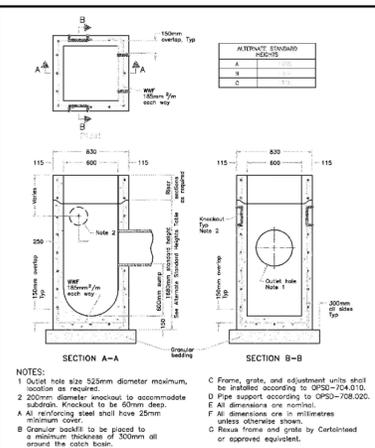
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	CONCRETE SIDEWALK	Last Revision: Drawing No. S1



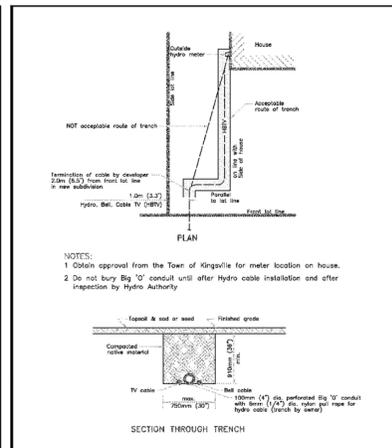
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	URBAN RESIDENTIAL ENTRANCE (Modified for Semi-Detached Dwelling)	Last Revision: Drawing No. S4



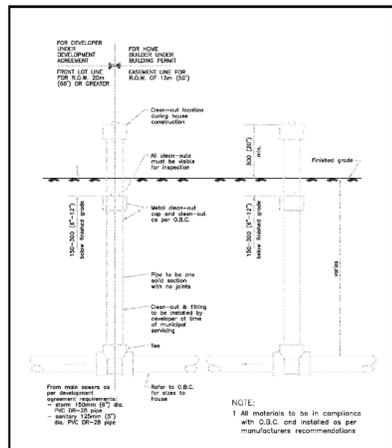
	TOWN OF KINGSVILLE	Date: April 1, 2011
	MAINTENANCE HOLE 1200mm DIAMETER	Last Revision: Drawing No. S7



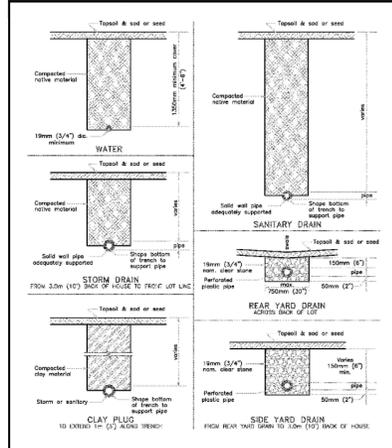
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	PRECAST CONCRETE CATCH BASIN 600mm x 600mm	Last Revision: Drawing No. S8



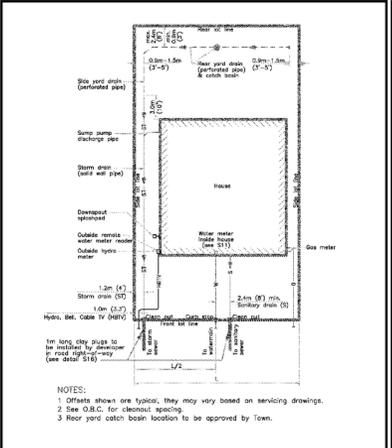
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	TRENCH FOR HYDRO, BELL AND CABLE TV SERVICES	Last Revision: Drawing No. S10



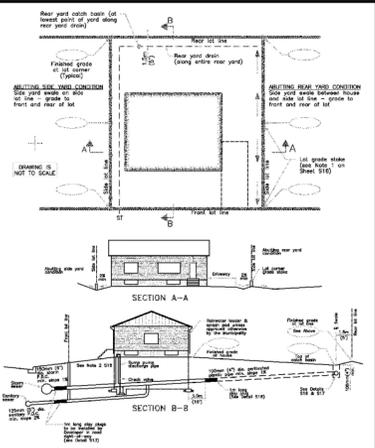
	TOWN OF KINGSVILLE	Date: April 1, 2011
	SANITARY AND STORM SEWER CLEANOUT	Last Revision: Drawing No. S12



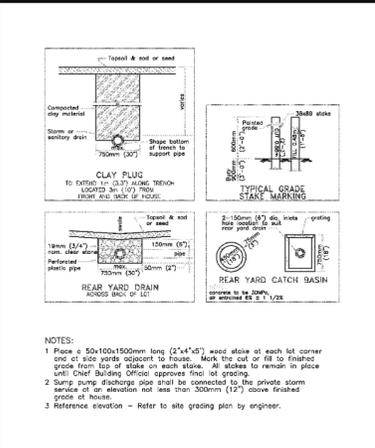
	TOWN OF KINGSVILLE	Date: April 1, 2011
	PRIVATE SERVICE CONNECTIONS BEDDING AND BACKFILL	Last Revision: Drawing No. S13



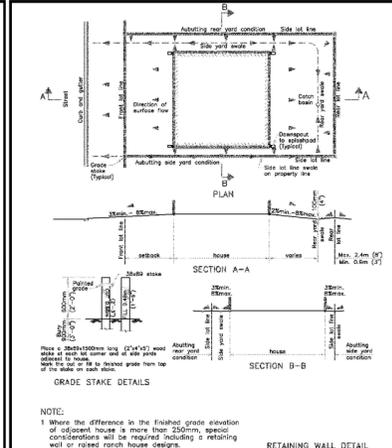
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	LOT SERVICE LOCATIONS	Last Revision: Drawing No. S14



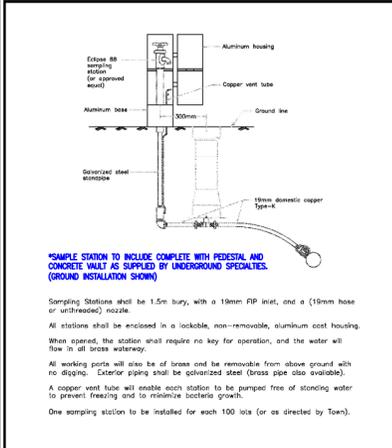
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	SWALE GRADING AND LOT SERVICE LOCATIONS	Last Revision: Drawing No. S15



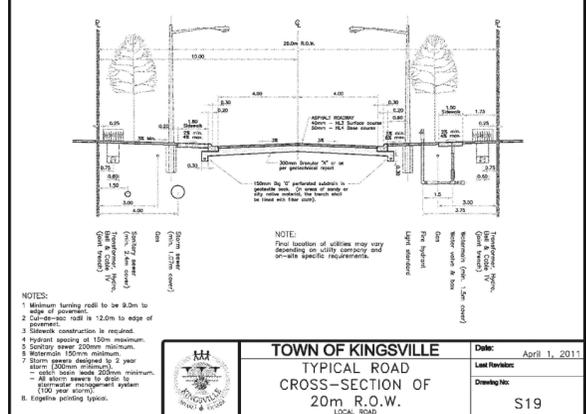
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	REAR YARD DRAINAGE	Last Revision: Drawing No. S16



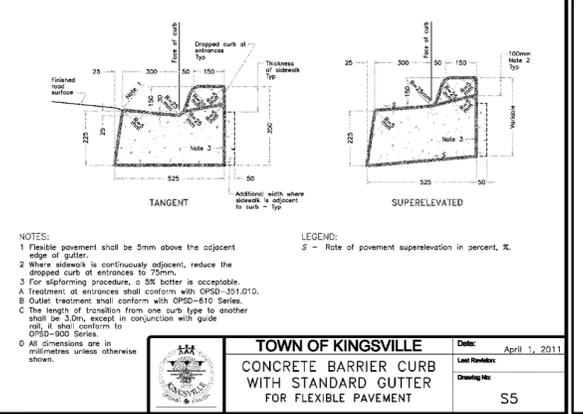
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	LOT GRADING AND DRAINAGE	Last Revision: Drawing No. S17



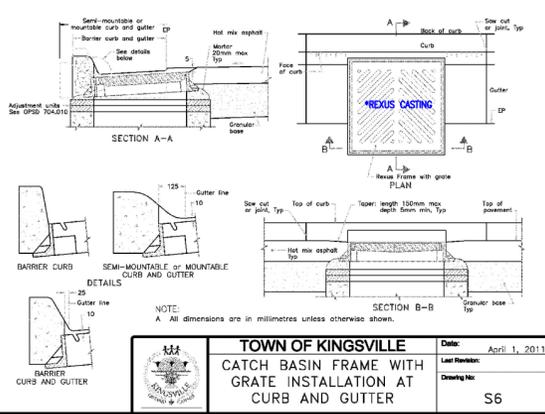
	TOWN OF KINGSVILLE	Date: April 1, 2011
	WATER SAMPLING STATION	Last Revision: Drawing No. S24



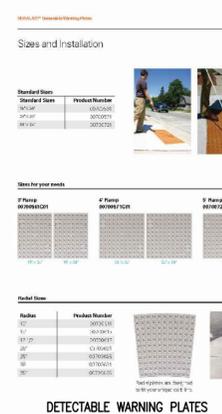
	TOWN OF KINGSVILLE	Date: April 1, 2011
	TYPICAL ROAD CROSS-SECTION OF 20m R.O.W. LOCAL ROAD	Last Revision: Drawing No. S19



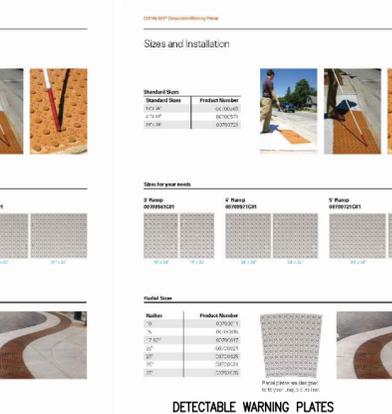
	TOWN OF KINGSVILLE	Date: April 1, 2011
	CONCRETE BARRIER CURB WITH STANDARD GUTTER FOR FLEXIBLE PAVEMENT	Last Revision: Drawing No. S5



	TOWN OF KINGSVILLE	Date: April 1, 2011
	CATCH BASIN FRAME WITH GRATE INSTALLATION AT CURB AND GUTTER	Last Revision: Drawing No. S6



	TOWN OF KINGSVILLE	Date: April 1, 2011
	DETECTABLE WARNING PLATES	Last Revision: Drawing No. S1



	TOWN OF KINGSVILLE	Date: April 1, 2011
	DETECTABLE WARNING PLATES	Last Revision: Drawing No. S1

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PROJECT: **4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE**

CLIENT: **LIOVAS HOMES**

SHEET: **DETAILS AND NOTES**

Project No.: 1610

SHEET No.: