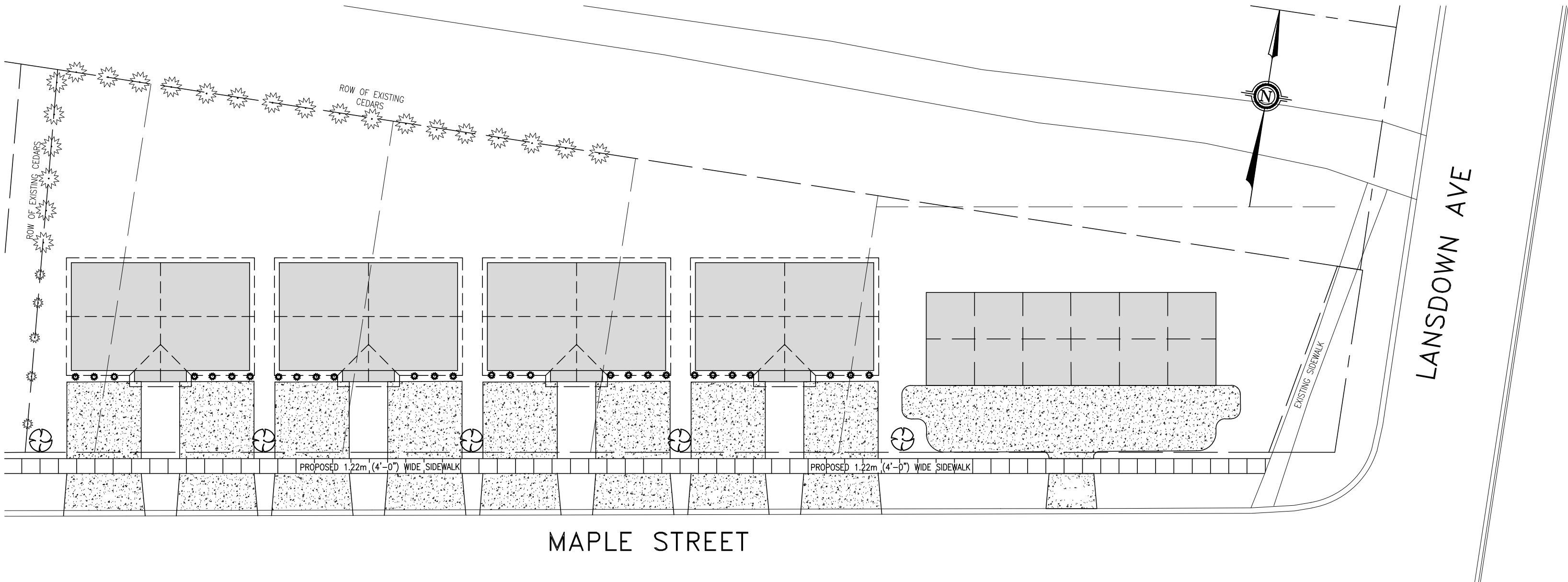


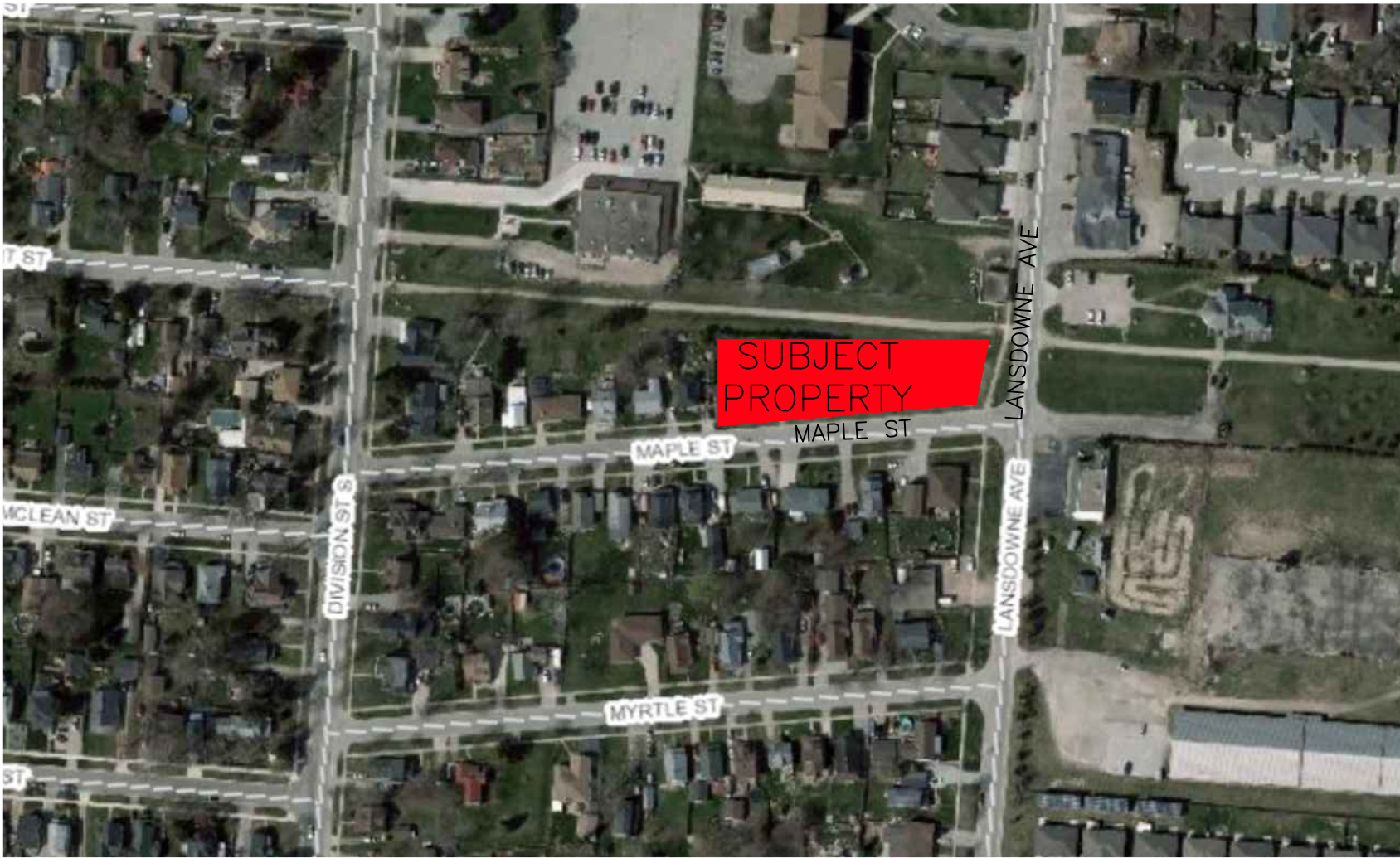
MAPLE STREET SEMI-DETACHED HOUSING  
TOWN OF KINGSVILLE



SITE PLAN  
SCALE 1:300

Drawing Index

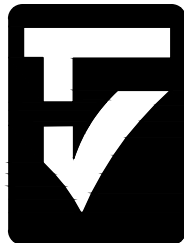
SHEET No.	DRAWINGS
0	COVER SHEET
1	TOPO SURVEY – EXISTING SITE
2	PROPOSED SITE PLAN – BUILDING ENVELOPES & SETBACKS
3	OVERALL LOT GRADING
4	EXISTING SITE SERVICES
5	REMOVAL SITE SERVICES
6	PROPOSED SITE SERVICES
7	LANDSCAPING, SIDEWALK AND DRIVEWAY PLAN
8	LOT DETAILS
9	DETAILS & NOTES



KEY PLAN  
Town of Kingsville, County of Essex  
N.T.S.

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			—	—	—	—	DRAWN	H.T.		
ORIGINAL SCALE: 18"x24"			—	—	—	—	REVIEWED	W.E.	CLIENT: LIOVAS HOMES	SHEET No.:  COVER SHEET  0
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CONDITIONS OF USE

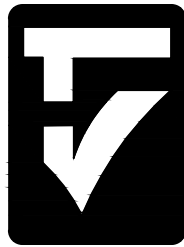
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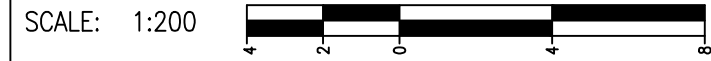
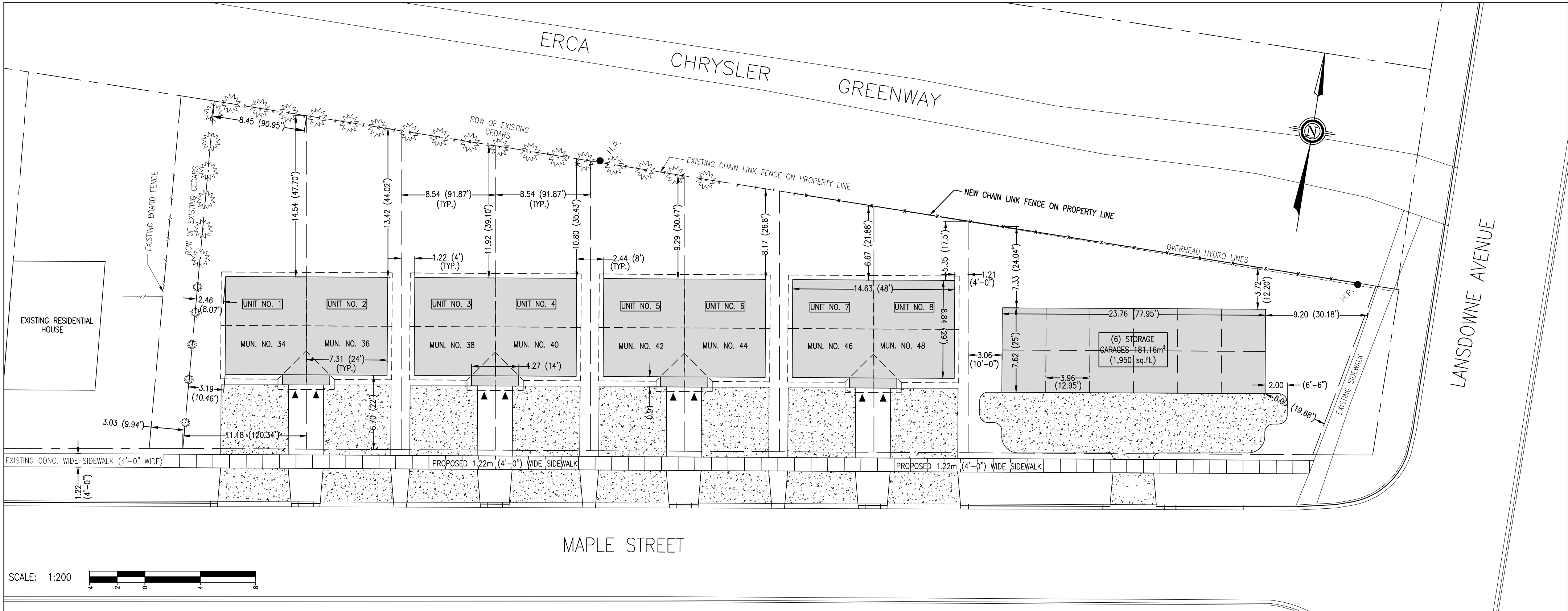
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PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE	Project No.: 1610
CLIENT:	LIOVAS HOMES	SHEET No.:
SHEET:	EXISTING SITE PLAN	1





NOTES:

SIDEWALKS:

- SIDEWALKS SHALL HAVE A BRUSHED FINISH COMPLETE WITH TOOLED EDGES AND JOINTS, DUMMY JOINTS AT A MAXIMUM OF 1.8m AND A FULL EXPANSION JOINTS AT A MAXIMUM OF 18m OR 10 SECTIONS OF SIDEWALK.

ZONING REQUIREMENTS:

PROPOSED: Semi-Detached Dwelling Unit

	REQUIRED:	UNIT NO. 1	UNIT NO. 2	UNIT NO. 3	UNIT NO. 4	UNIT NO. 5	UNIT NO. 6	UNIT NO. 7	UNIT NO. 8
ZONING:				ZONING: R2.1 - Residential Zone 2	Urban - Semi-Detached Dwelling Unit				
LOT AREA:	182m <sup>2</sup> (1,959 ft <sup>2</sup> )	300.83m <sup>2</sup> (3,238.1ft <sup>2</sup> )	251.15m <sup>2</sup> (2,703ft <sup>2</sup> )	239.96m <sup>2</sup> (2,582.9ft <sup>2</sup> )	228.16m <sup>2</sup> (2,482.9ft <sup>2</sup> )	217.56m <sup>2</sup> (2,341.79ft <sup>2</sup> )	206.37m <sup>2</sup> (2,221.34ft <sup>2</sup> )	195.18m <sup>2</sup> (2,100.9ft <sup>2</sup> )	183.98m <sup>2</sup> (1,980.34ft <sup>2</sup> )
LOT FRONTAGE:	7.5 (24.5 ft.) Interior Lot	11.18m (36.67ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)	8.54m (28ft.)
OPEN SPACE:	30%	77.88%	73.5%	72.26%	70.83%	69.44%	67.75%	65.9%	63.82%
LOT COVERAGE:	50%	22.12% + 8.8% = 30.9%	26.5% + 10.6% = 37.1%	27.74% + 11.1% = 38.8%	29.17% + 11.6 = 40.77%	30.56% + 12.2% = 42.76%	32.25% + 12.9% = 45.15%	34.10% + 13.6% = 47.7%	36.18% + 14.5% = 50.68%
FRONT YARD DEPTH:	5.5m (18')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')	6.7m (22')
REAR YARD DEPTH:	5.5m (18')	14.54m (47.70')	13.42m (44.02')	11.92m (39.10')	10.80m (35.43')	9.29m (30.47')	8.17m (26.80')	6.67m (21.88')	5.54m (18.17')
INTERIOR SIDE YARD WIDTH:	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')	1.22m (4')
EXTERIOR SIDE YARD WIDTH:	4.0m (13')	-	-	-	-	-	-	-	-
BUILDING HEIGHT:	11.0m (36')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')	3.96m (13')

ZONING:	ZONING: M1 - Light Industrial - Self-Storage Garage
LOT AREA:	1,300m <sup>2</sup> (14,000 ft <sup>2</sup> )
LOT FRONTAGE:	24m (80'-0")
OPEN SPACE:	15% Minimum
LOT COVERAGE:	50%
FRONT YARD DEPTH:	7.5m (25'-0")
REAR YARD DEPTH:	7.5m (25'-0")
INTERIOR SIDE YARD WIDTH:	10.5m (34'-6")
EXTERIOR SIDE YARD WIDTH:	6m (20'-0")
BUILDING HEIGHT:	N/A

- SEMI-DETACHED DWELLING UNITS = (4) 2 UNIT RAISED RANCH DWELLING UNIT 129.32m<sup>2</sup> (1,392 sq.ft.)

- (6) SELF-STORAGE GARAGE = 181.16m<sup>2</sup> (1,950 sq.ft.)

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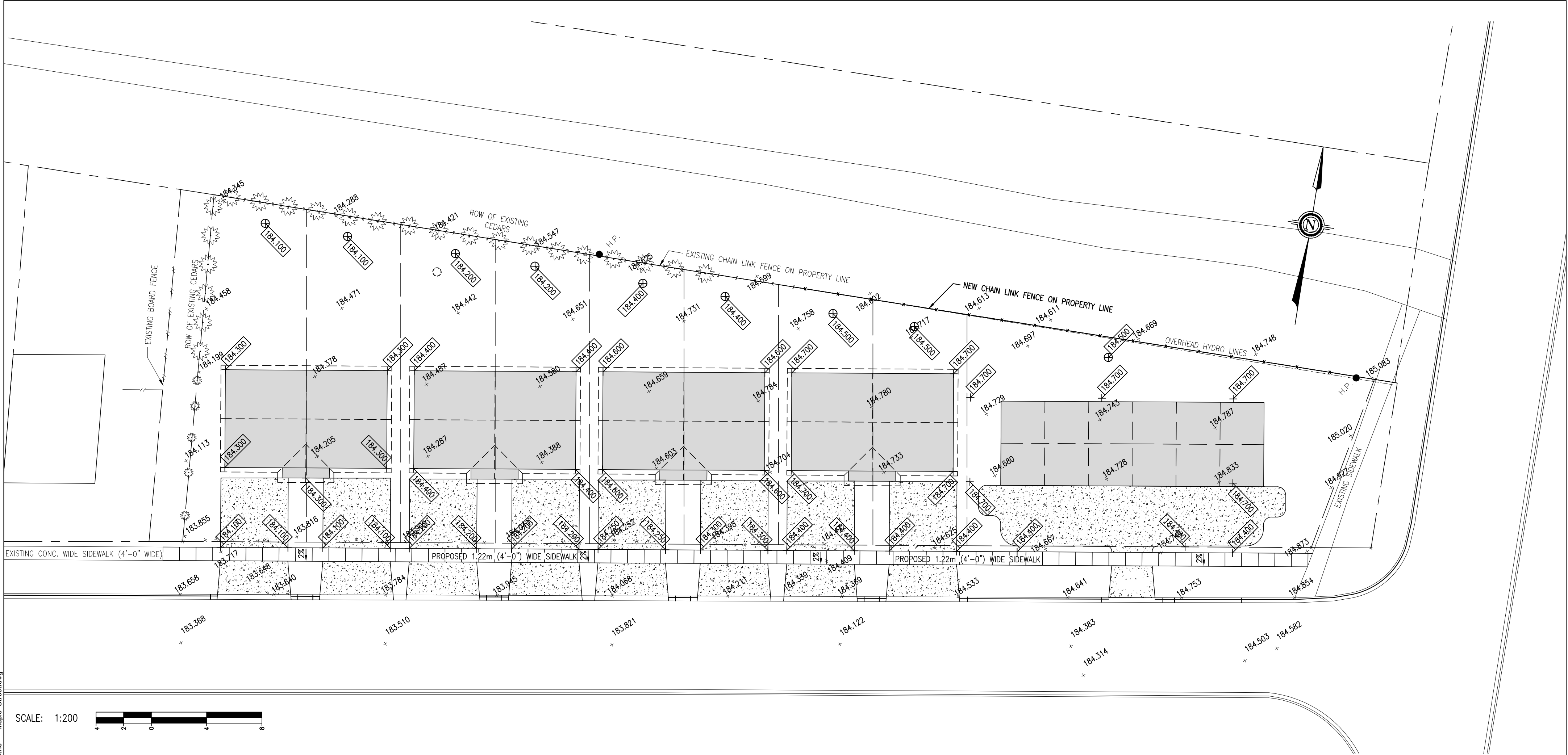
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REVIEWED	W.E.
CHECKED	W.E.
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PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE	Project No.: 1610
CLIENT:	LIOVAS HOMES	SHEET No.:
SHEET:	PROPOSED SITE PLAN	2



CONDITIONS OF USE

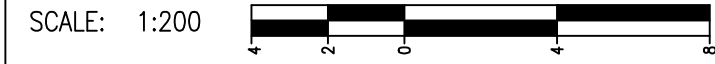
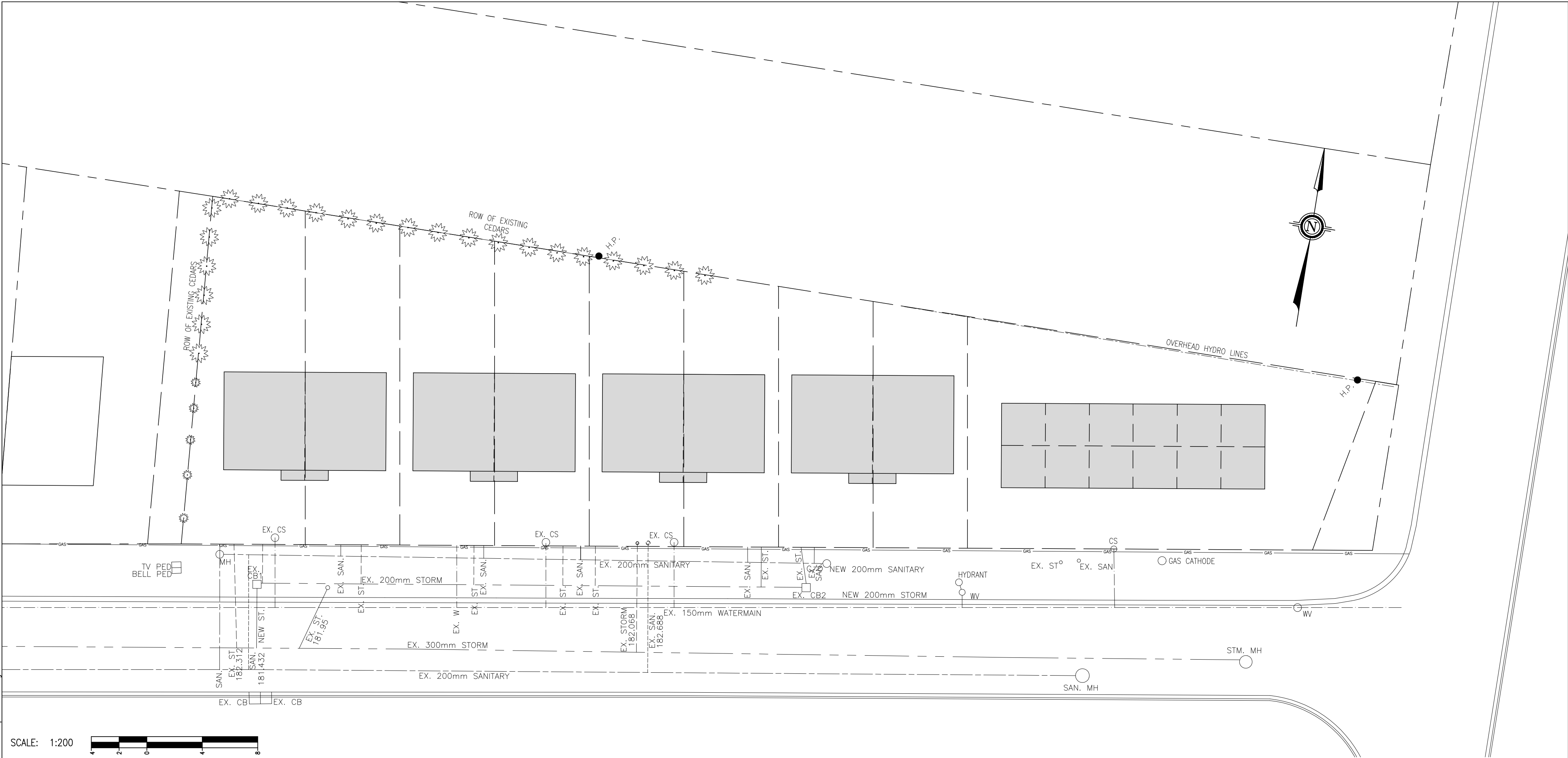
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							JUNE 2016		
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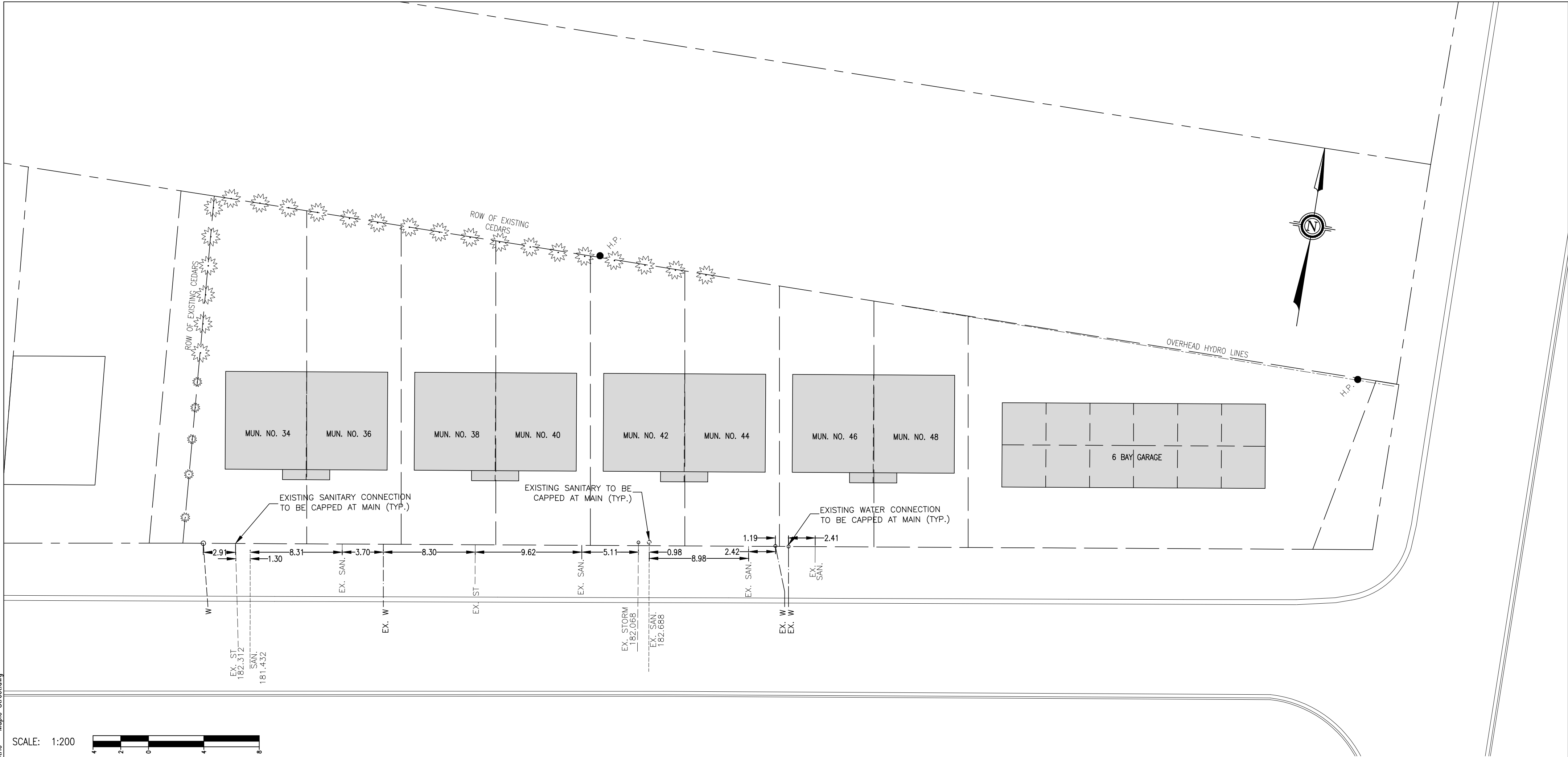
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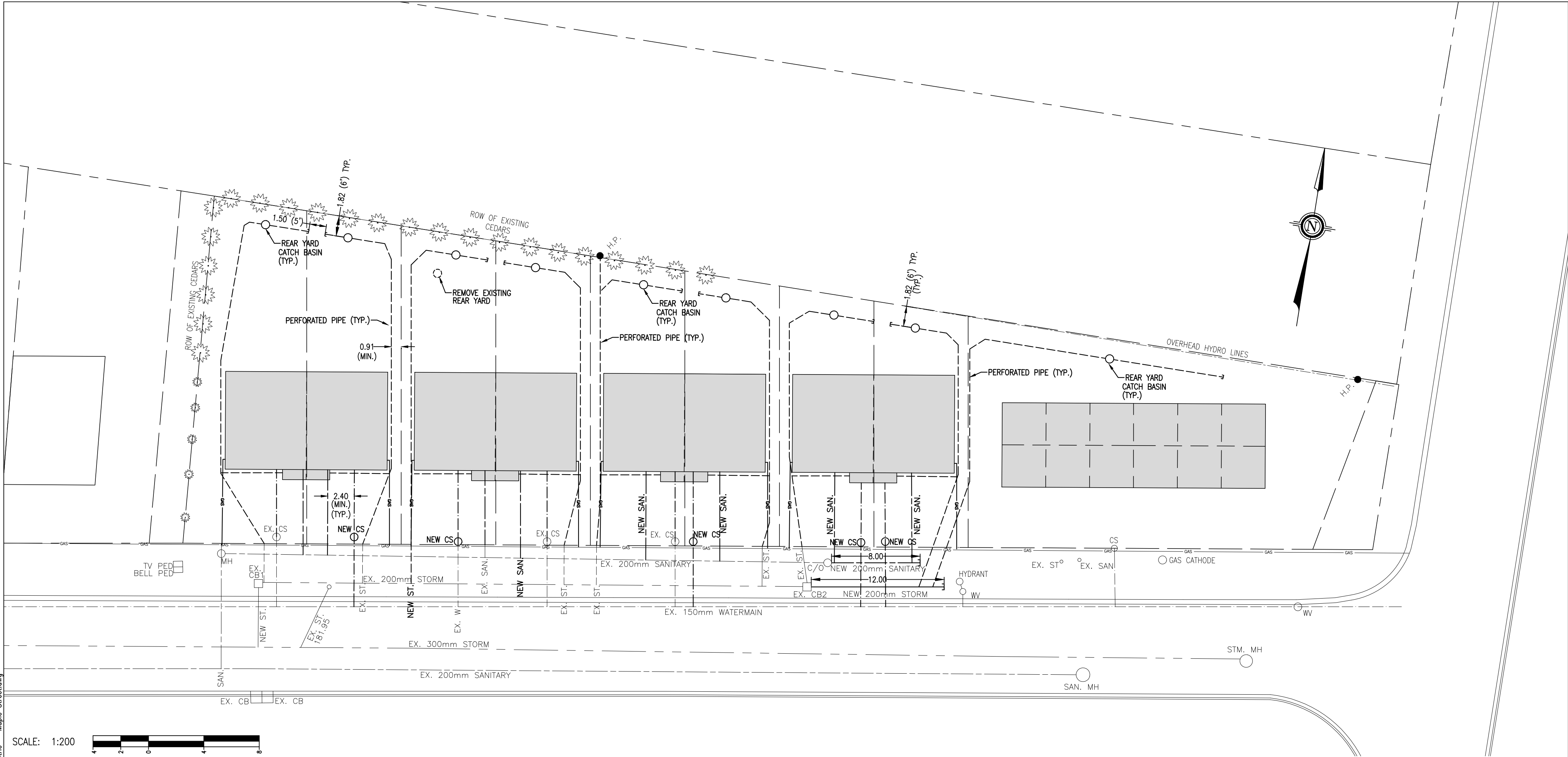
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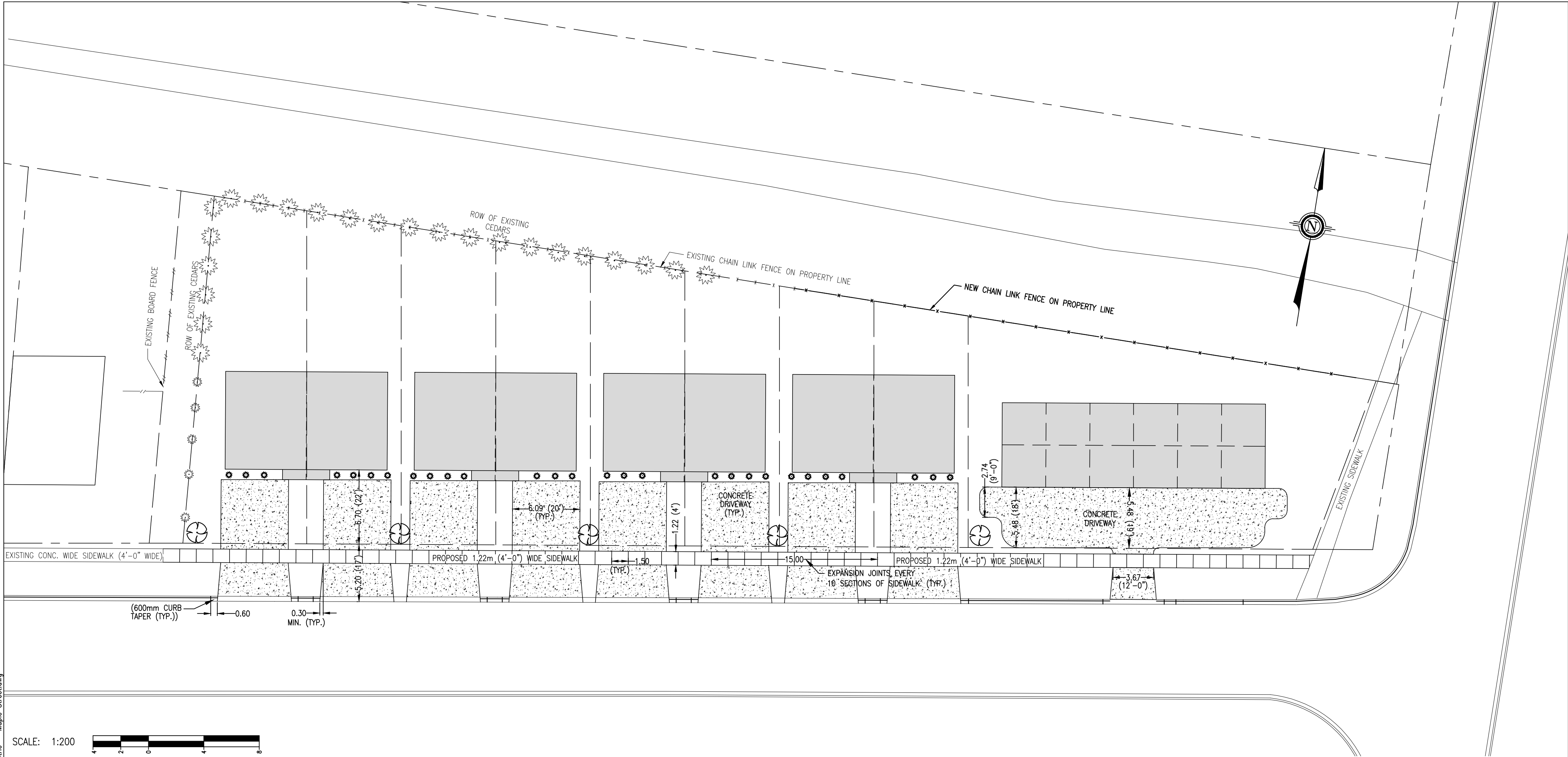


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PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE	Project No.: 1610
CLIENT:	LIOVAS HOMES	SHEET No.:
SHEET:	PROPOSED SITE SERVICING	6




**NOTES:**

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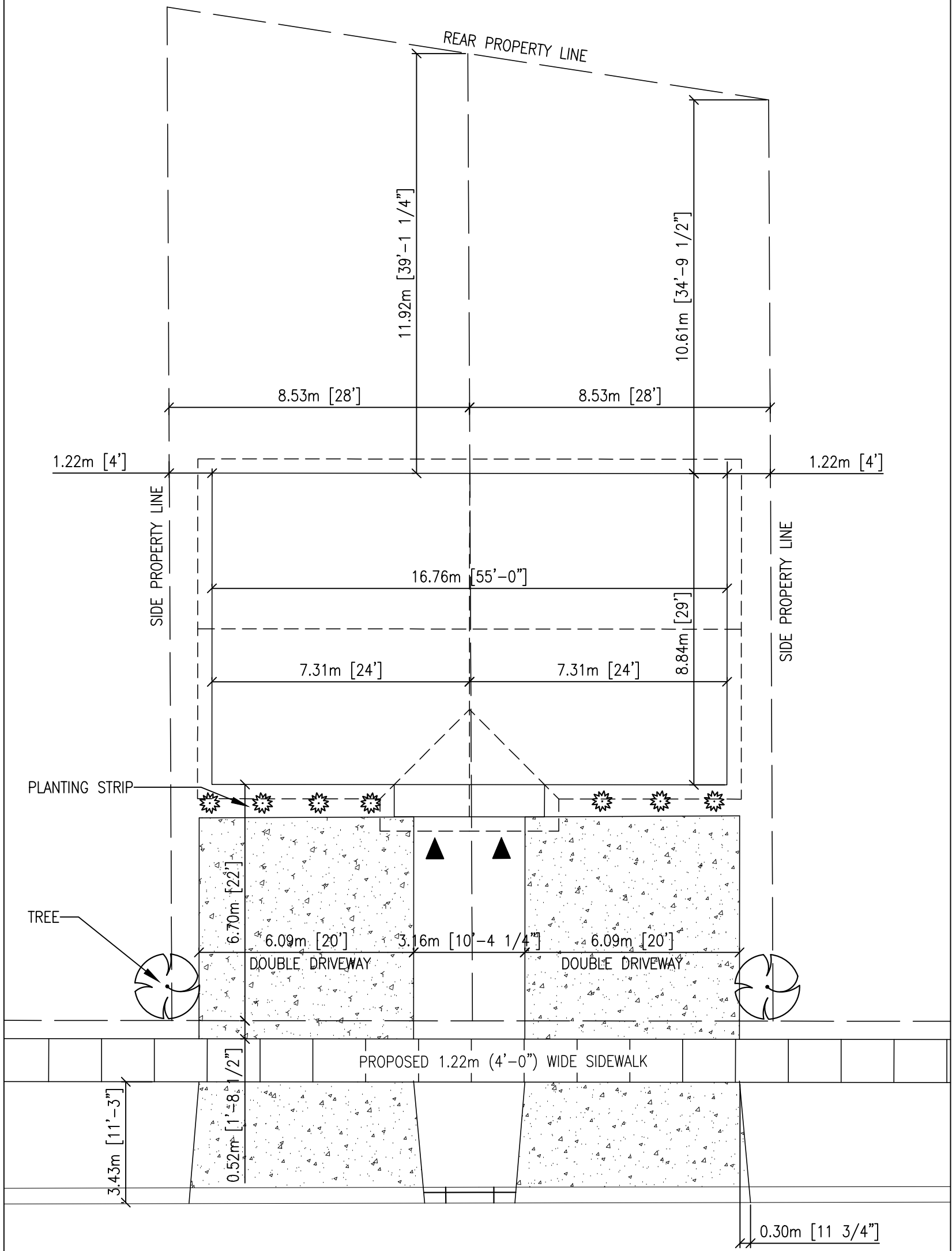
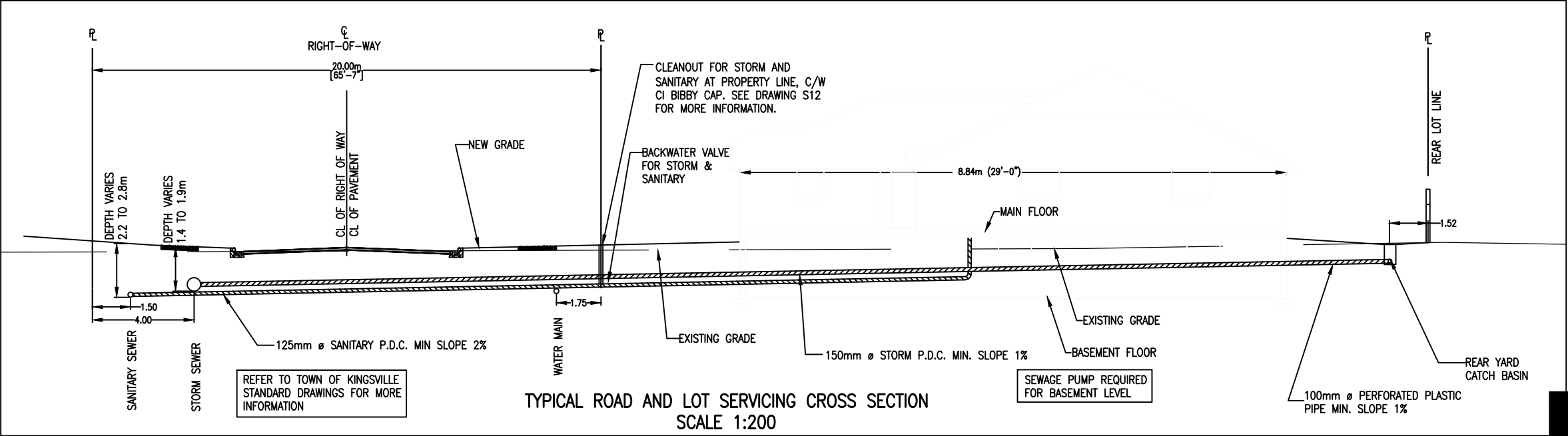
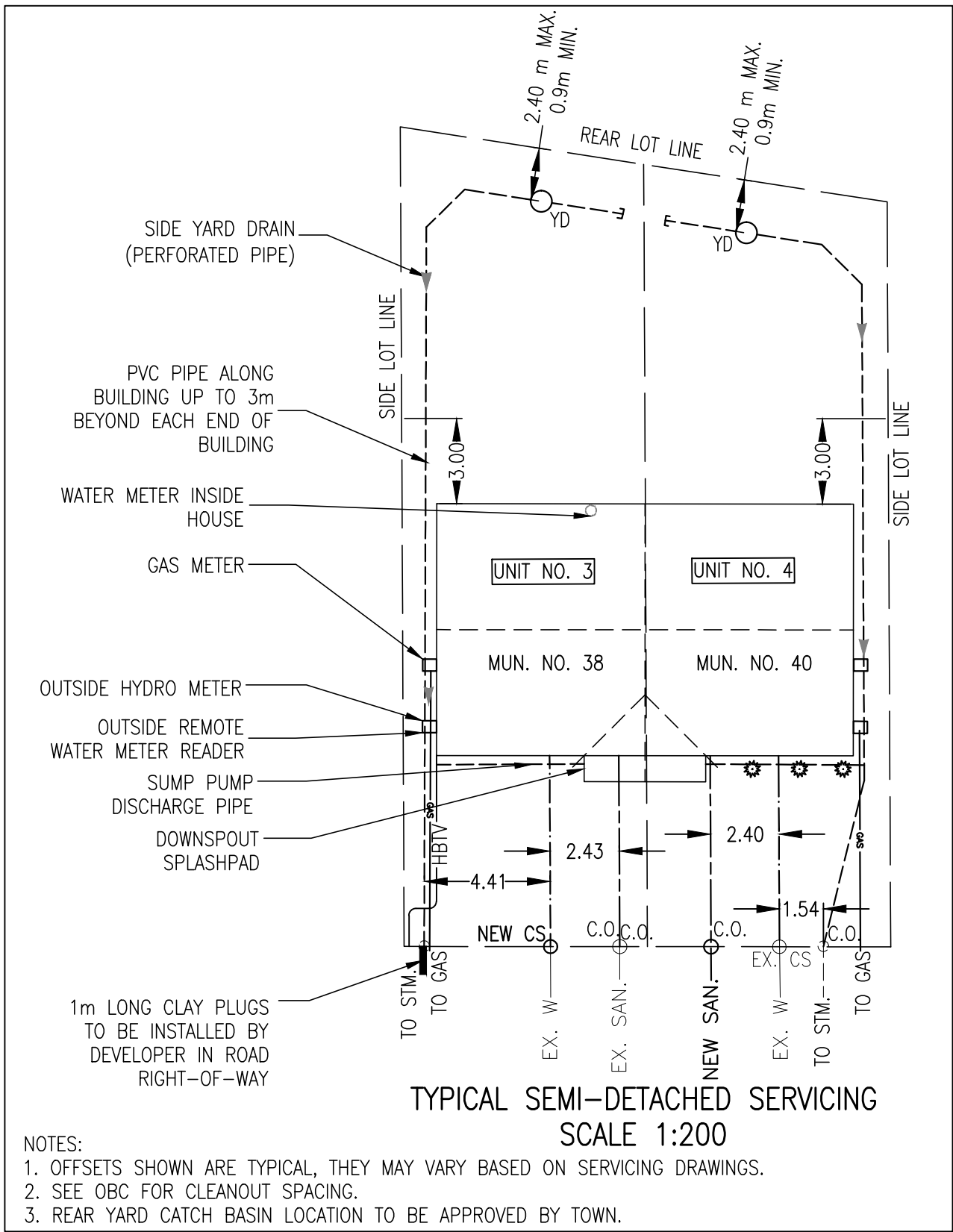
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TYPICAL SEMI-DETACHED UNIT  
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SCALE	1:200

PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE
CLIENT:	LIOVAS HOMES
SHEET:	LOT DETAILS

Project No.:  
1610

SHEET No.:

8



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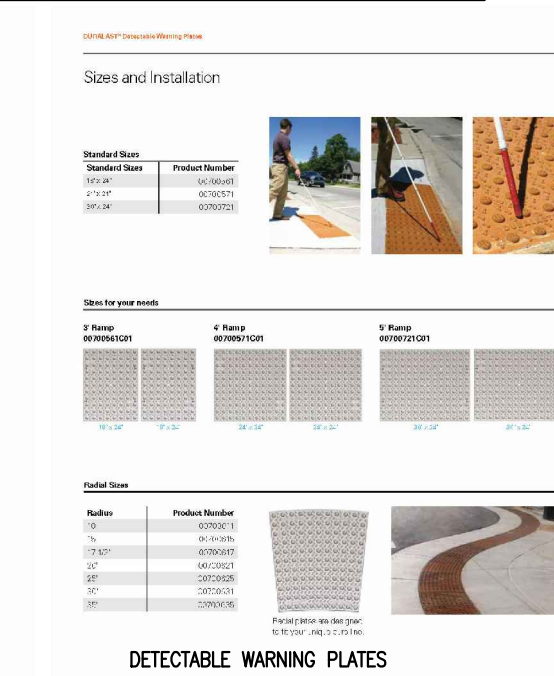
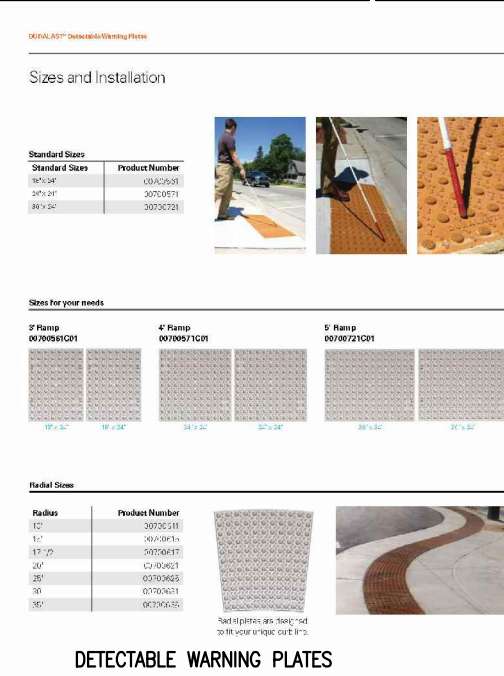
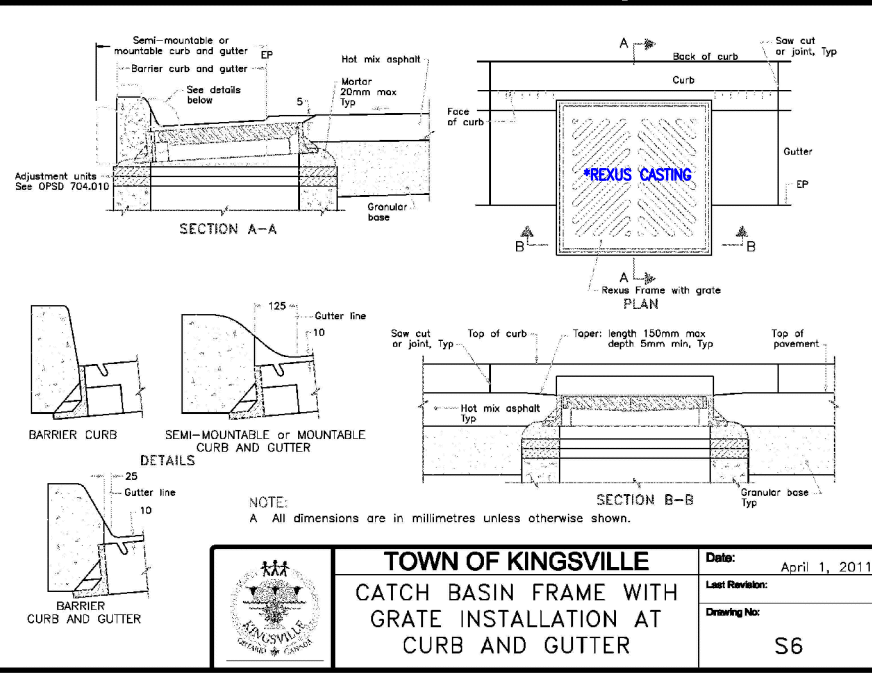
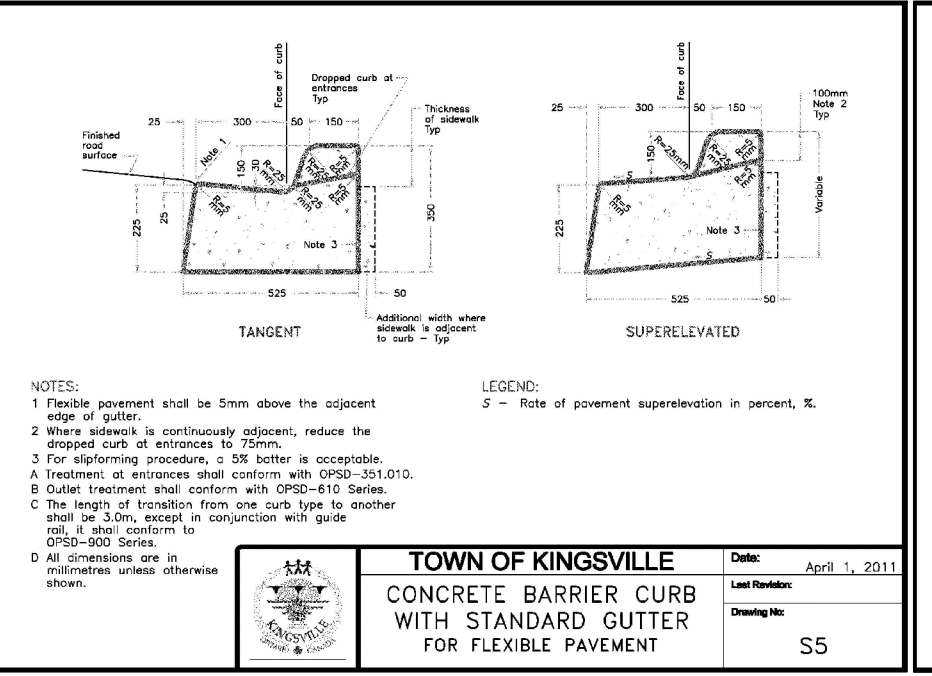
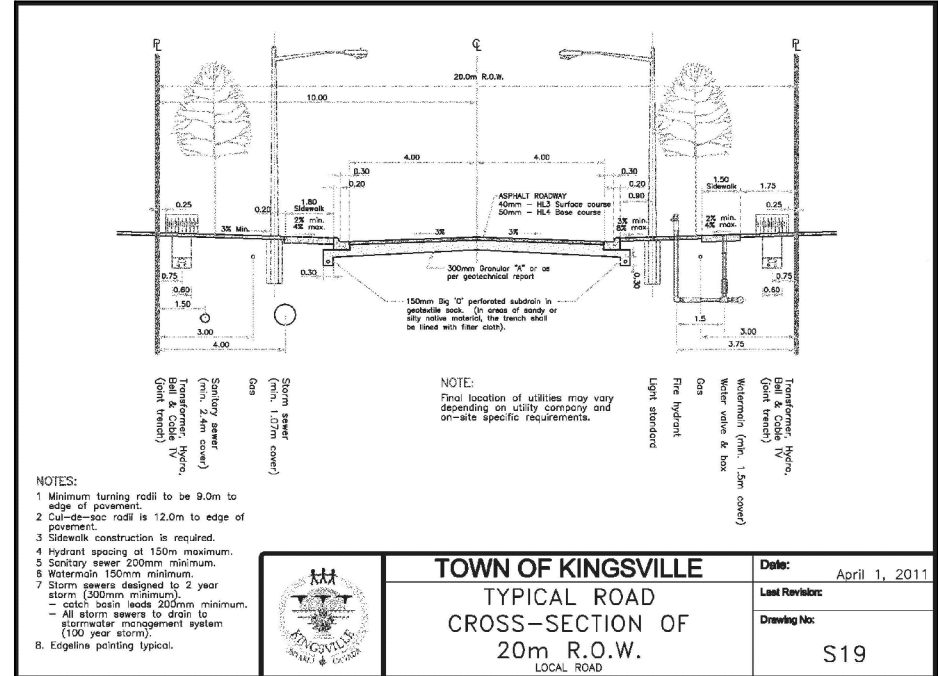
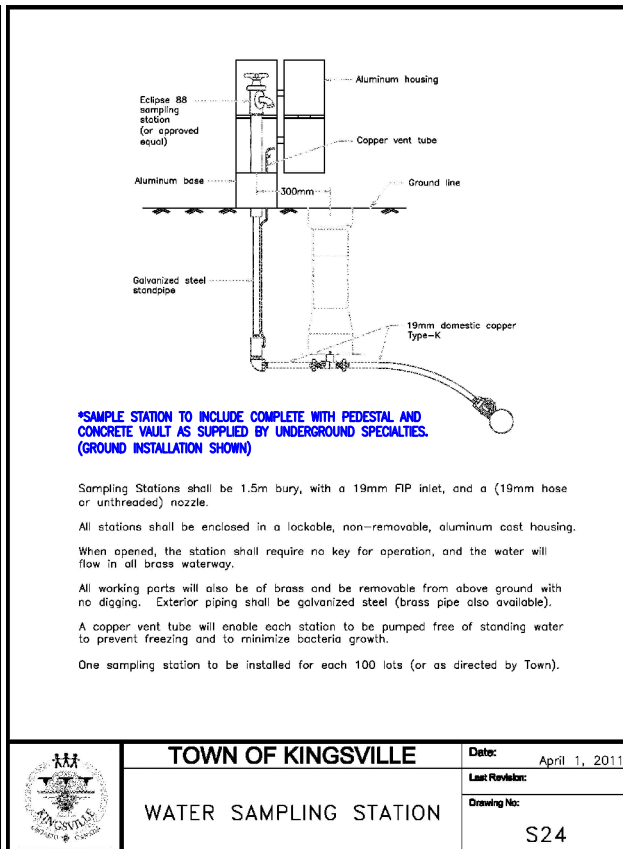
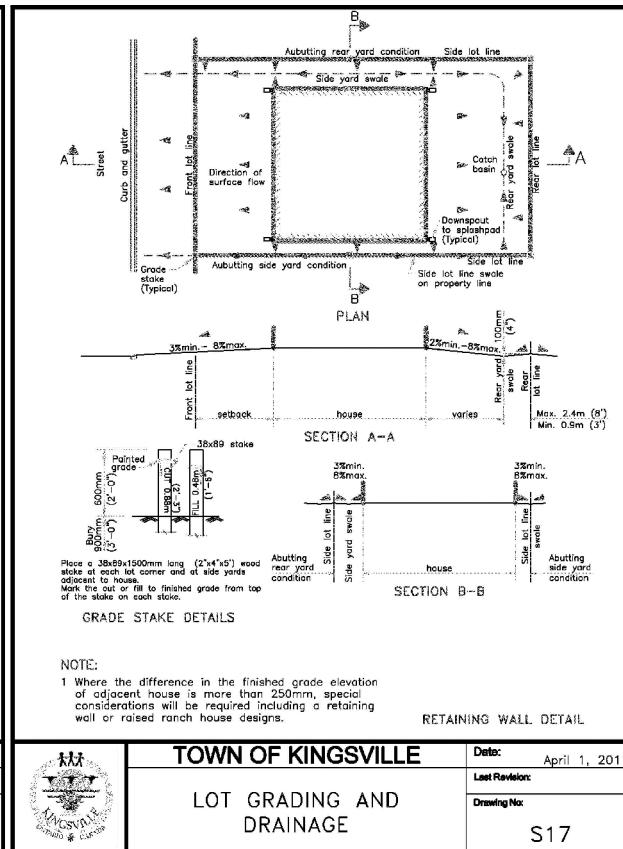
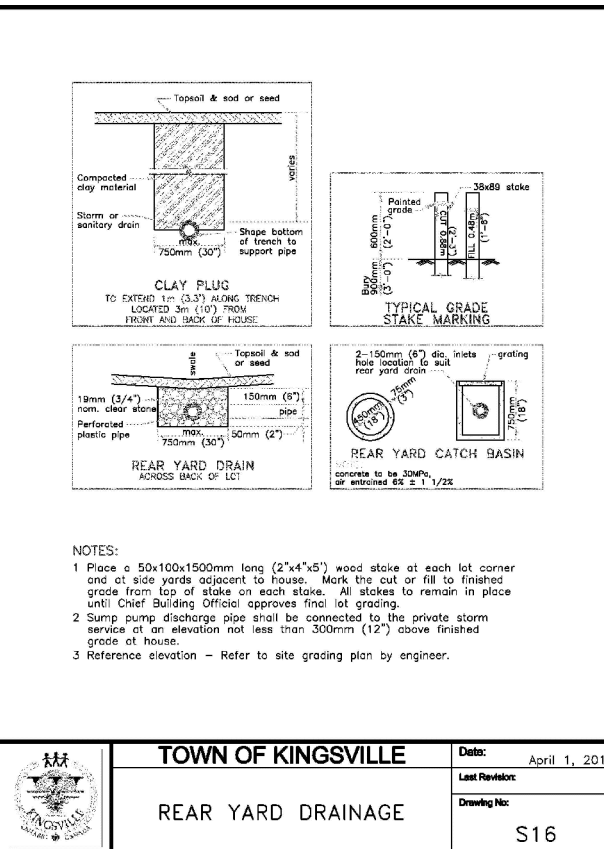
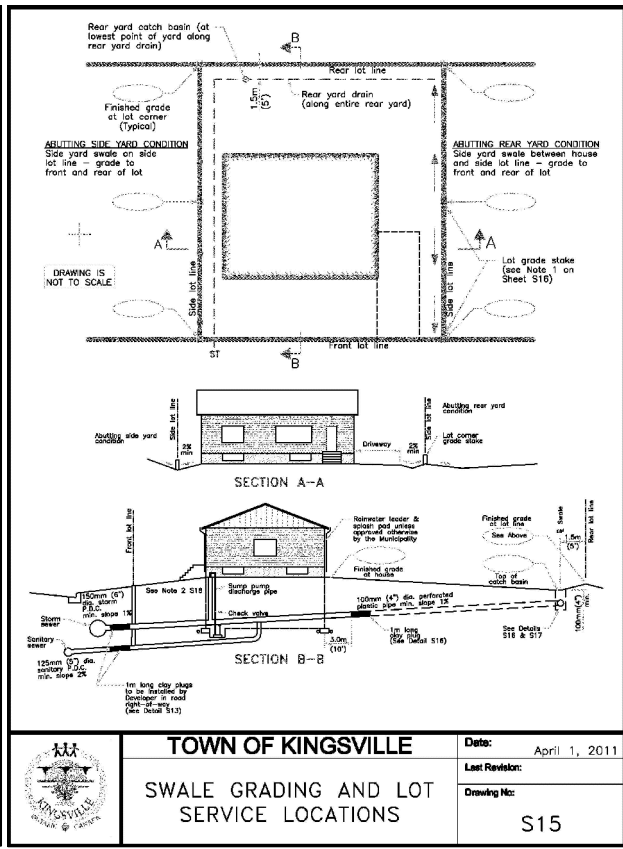
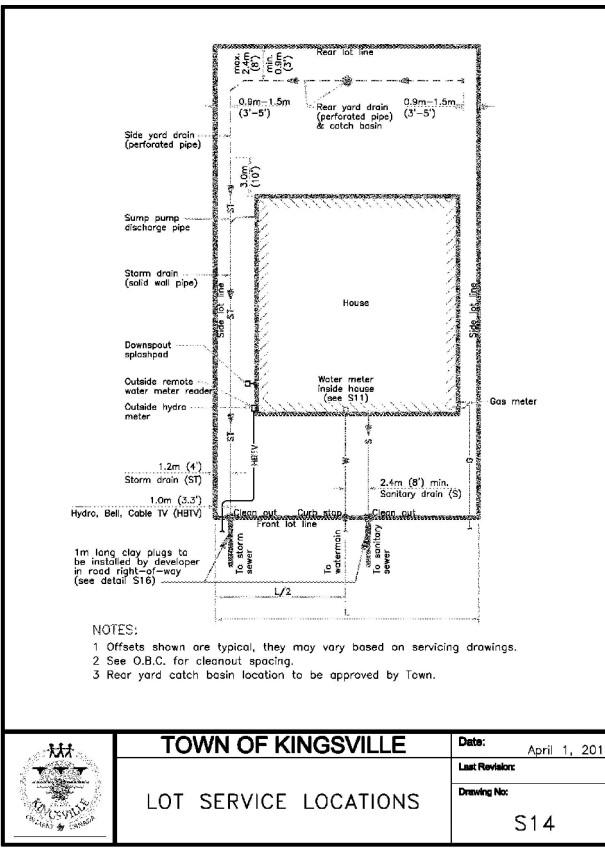
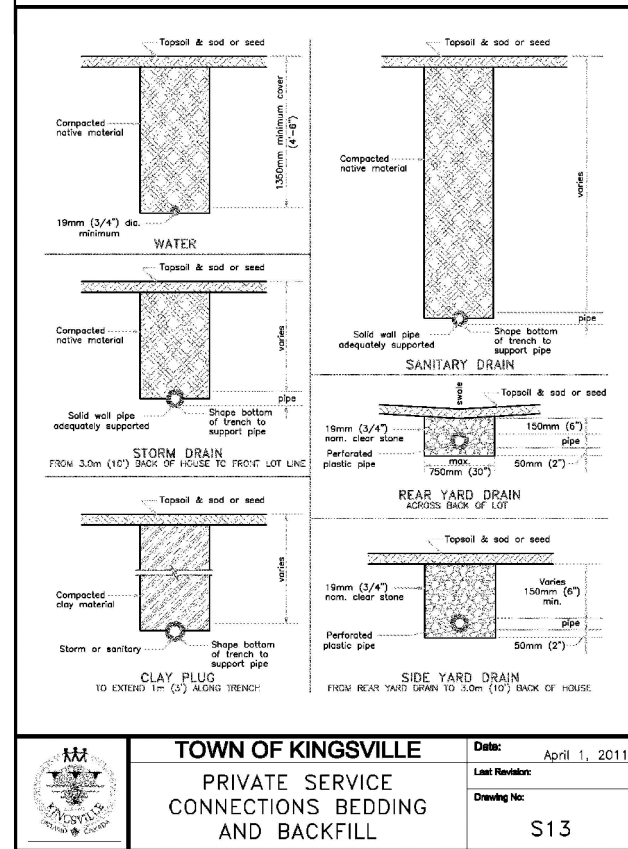
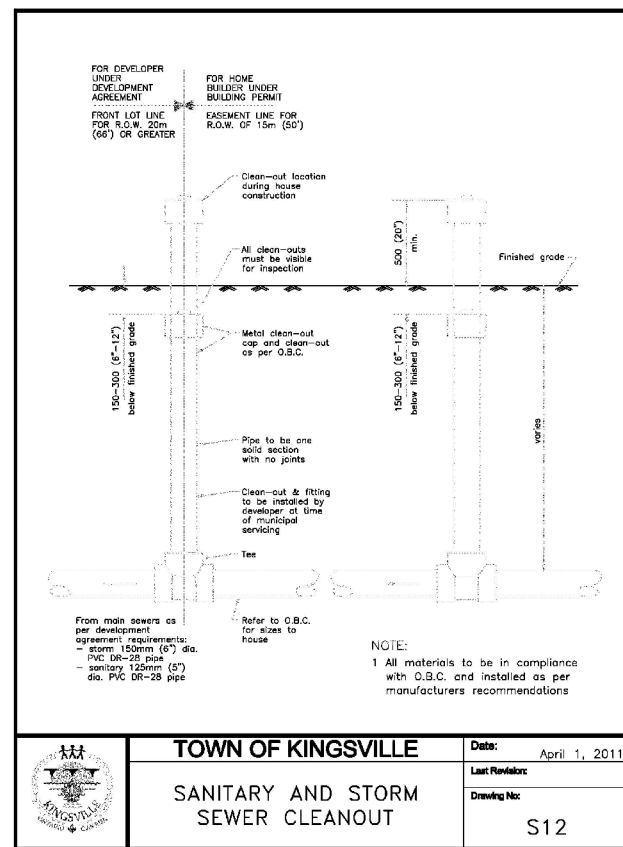
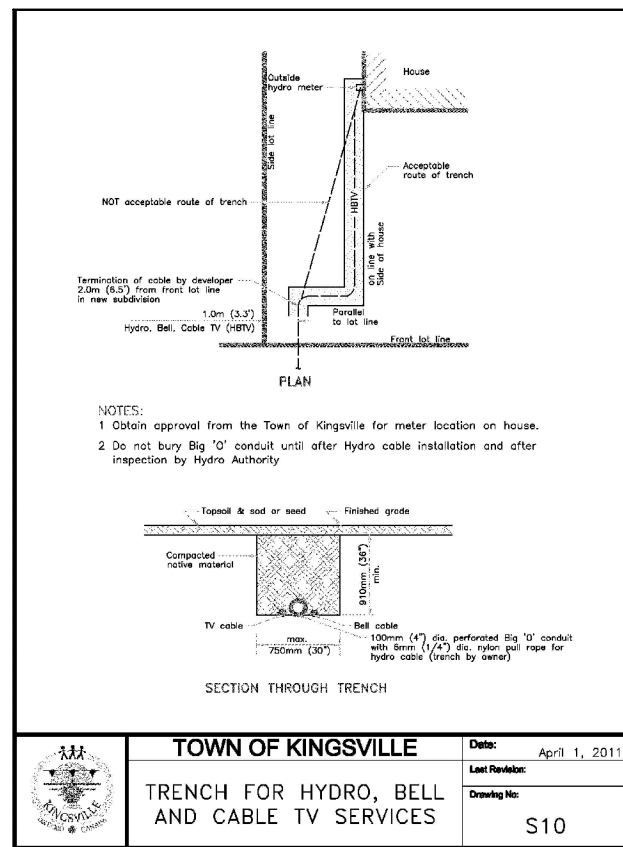
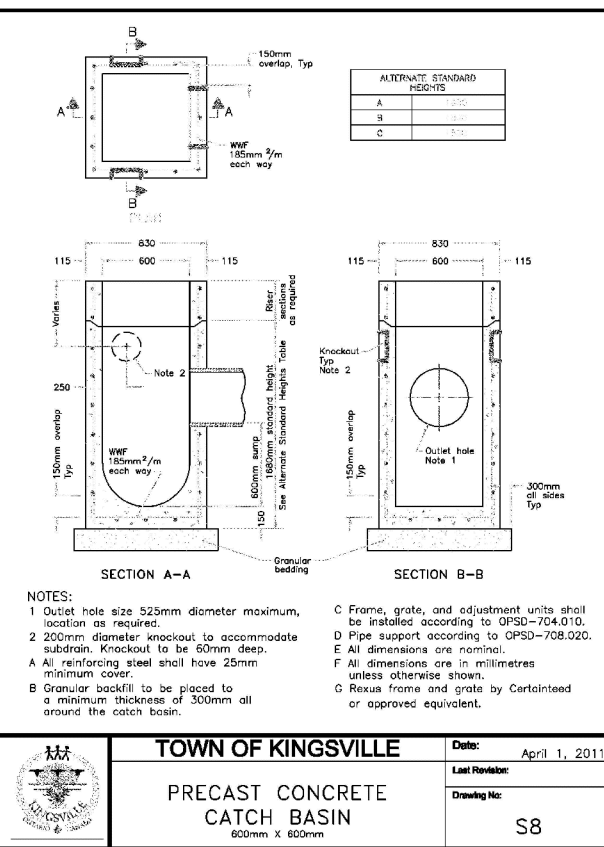
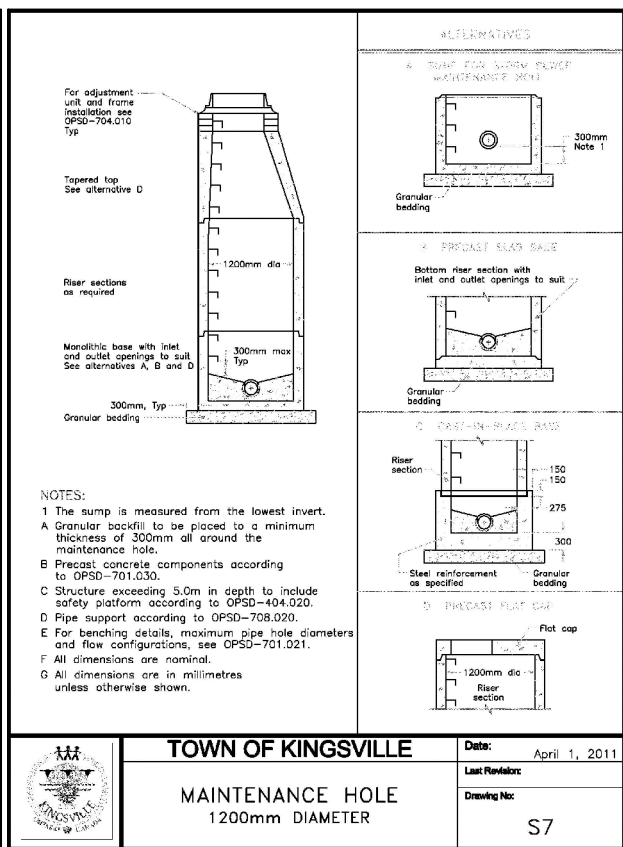
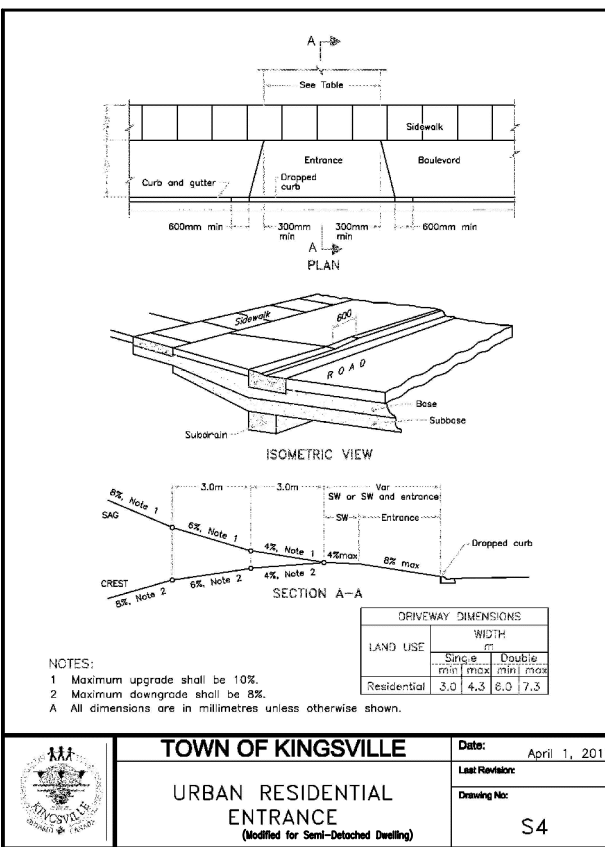
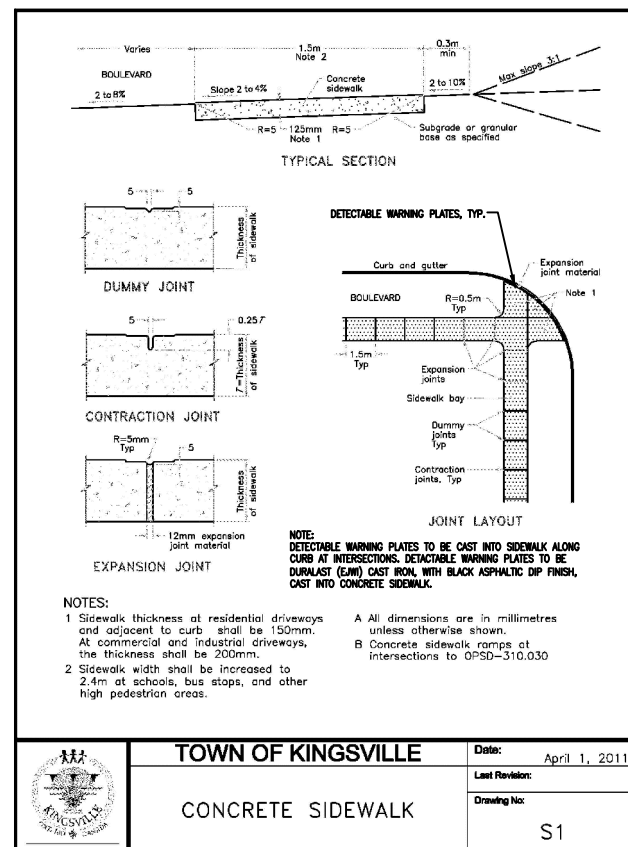
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2.	??	H.T.	DRAFT FOR REVIEW
1.	??	H.T.	CLIENT REVIEW
No.	DATE	BY	ISSUED FOR

PROJECT:	4-2 UNITS RAISED-RANCH DWELLING UNIT & 6 UNIT STORAGE GARAGE
CLIENT:	LIOVAS HOMES
SHEET:	DETAILS AND NOTES

Project No.:  
1610

SHEET No.:

9



DRAFT