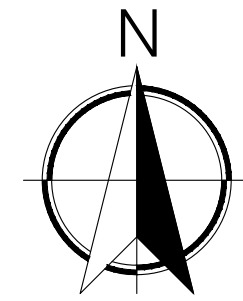


106 WIGLE AVENUE  
(TOWN OF KINGSVILLE)

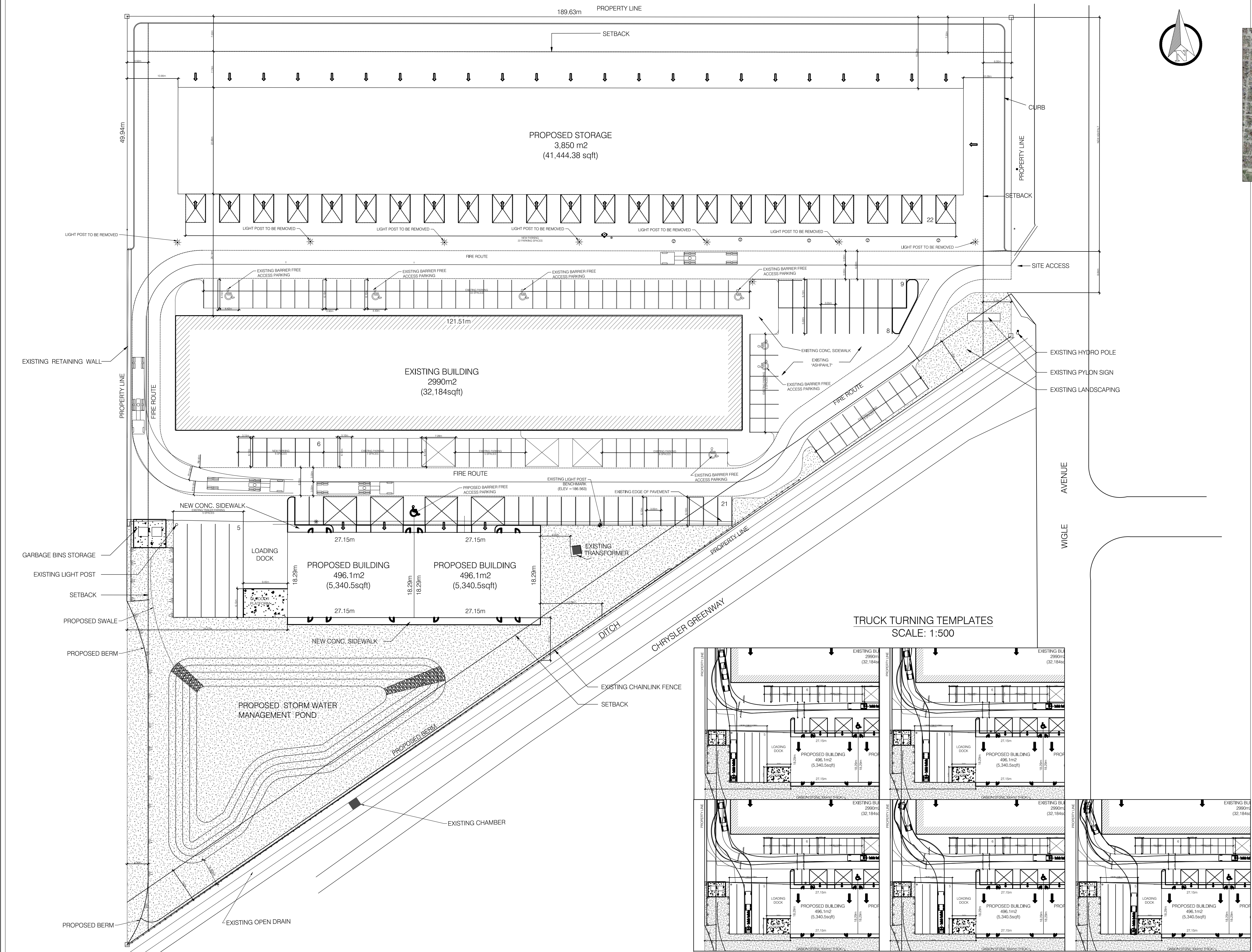


| SHEET INDEX  |                  |
|--------------|------------------|
| Sheet Number | Sheet Title      |
| --           | TITLE PAGE       |
| 1            | SITE PLAN        |
| 2            | GRADING PLAN     |
| 3            | SERVICING PLAN   |
| 4            | ADS UNIT DETAILS |

KEY MAP

**ATTENTION**  
CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE EXACT LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.

**BENCHMARK**  
TOP OF LIGHT POST OF ON EXISTING ASPHALT PARKING LOT AS SHOWN ON THE PLAN  
ELEVATION = 186.563m



| LEGEND                    |          |          |
|---------------------------|----------|----------|
| DESCRIPTION               | EXISTING | PROPOSED |
| STORM SEWER               | ---      | ---      |
| STORM MANHOLE             | ●        | ●        |
| STORM CLEANOUT            | ○        | ○        |
| SANITARY MANHOLE          | ●        | ●        |
| CATCH BASIN               | ■        | ■        |
| SIDEWALK                  | ---      | ---      |
| CONCRETE                  | ---      | ---      |
| GRASSED AREA              | ---      | ---      |
| SANITARY CLEAN OUT        | ---      | ---      |
| SANITARY SEWER            | ---      | ---      |
| LOADING SPACE             | ---      | ---      |
| BARRIER FREE ACCESS       | ---      | ---      |
| EXISTING LIGHT            | ---      | ---      |
| EXISTING GROUND ELEVATION | ---      | ---      |
| PROPOSED GROUND ELEVATION | ---      | ---      |
| OVERLAND FLOW DIRECTION   | ---      | ---      |
| EDGE OF ASPHALT           | ---      | ---      |
| ROOF DRAINAGE             | ---      | ---      |

| SITE DATA : 86 + 106 WIGLE AVE            |                                                                                                      |                                          |
|-------------------------------------------|------------------------------------------------------------------------------------------------------|------------------------------------------|
| SITE ZONING:                              | M1 - LIGHT INDUSTRIAL ZONE                                                                           |                                          |
| DESCRIPTION:                              | REQUIRED:                                                                                            | PROVIDED:                                |
| LOT AREA:                                 | 1300 m <sup>2</sup> (14,000 sq ft)                                                                   | 25,534.14 m <sup>2</sup> (274,847 sq ft) |
| FRONTAGE:                                 | 24m (78.74)                                                                                          | 68.58m (225)                             |
| REAR YARD SETBACK:                        | 7.5m (24.60)                                                                                         | 10.30m (33.79)                           |
| SIDE YARD SETBACK (WEST):                 | 4.5m (14.76)                                                                                         | 15.24m (50)                              |
| SIDE YARD SETBACK (EAST):                 | 6m (19.68)                                                                                           | 9.11m (29.88)                            |
| FRONT YARD SETBACK:                       | 7.5m (24.60)                                                                                         | 10.28m (33.7)                            |
| LOT COVERAGE:                             | 50% (MAX)                                                                                            | 30.67%                                   |
| LANDSCAPE OPEN SPACE:                     | 15% (MIN)                                                                                            | 19.57%                                   |
| MAX. BUILDING HEIGHT:                     | 10.93m (33)                                                                                          | 5.62m (18.45)                            |
| SPECIAL REGULATION:                       | N/A                                                                                                  | N/A                                      |
| LOT / BUILDING INFO:                      |                                                                                                      |                                          |
| TOTAL LOT AREA:                           | 25,534.14 m <sup>2</sup> (274,847 sq ft)                                                             |                                          |
| BUILDING 'C' AREA - NEW WAREHOUSE:        | 992.23m <sup>2</sup> (10,680.30sq ft)                                                                |                                          |
| BUILDING 'B' AREA - NEW STORAGE FACILITY: | PHASE 1 ~ 2,010.30m <sup>2</sup> (21,638.68sq ft) PHASE 2 ~ 1,843.20m <sup>2</sup> (19,840.03 sq ft) |                                          |
| BUILDING 'A' AREA:                        | 2,833.40m <sup>2</sup> (30,499.10sq ft)                                                              |                                          |
| TOTAL BUILDING AREA:                      | 7,879.13m <sup>2</sup> (85,057.46 sq ft)                                                             |                                          |
| NO. OF STOREYS:                           | 1                                                                                                    |                                          |
| BUILDING USE & OCCUPANCY:                 | GROUP F-2                                                                                            |                                          |
| BUILDING TYPE:                            | NON-COMBUSTIBLE CONSTRUCTION                                                                         |                                          |

| PARKING MATRIX                                |                                           |                                   |                                    |
|-----------------------------------------------|-------------------------------------------|-----------------------------------|------------------------------------|
| BUILDING B - TOTAL AREA 2,861 m <sup>2</sup>  | APPROX. AREA                              | PARKING PROVISIONS                | PROVIDED PARKING                   |
| DATA EXISTING                                 | 603.88m <sup>2</sup>                      | 100m <sup>2</sup>                 | 30                                 |
| GROUND PAV. EXISTING                          | 180.80m <sup>2</sup>                      | 100m <sup>2</sup>                 | 1                                  |
| BREAKOUT ESCAPE ROOM EXISTING                 | 271.66m <sup>2</sup>                      | 100m <sup>2</sup>                 | 11                                 |
| HOTEL LOBBY EXISTING                          | 271.66m <sup>2</sup>                      | 100m <sup>2</sup>                 | 4                                  |
| HOTEL RT. EXISTING                            | 494.52m <sup>2</sup>                      | 100m <sup>2</sup>                 | 21                                 |
| CARRELL'S AUTOMOTIVE EXISTING                 | 180.80m <sup>2</sup>                      | 100m <sup>2</sup>                 | 6                                  |
| WAREHOUSE EXISTING                            | 2,000.00m <sup>2</sup>                    | 100m <sup>2</sup>                 | 2                                  |
| TRUCK SUPPLY EXISTING                         | 271.66m <sup>2</sup>                      | 100m <sup>2</sup>                 | 2                                  |
| TOTAL                                         | 2,833.40m <sup>2</sup>                    | 100m <sup>2</sup>                 | 87 SPACES REQD. 88 SPACES PROVIDED |
| BUILDING B' - TOTAL AREA 3,800 m <sup>2</sup> | APPROX. AREA                              | PARKING PROVISIONS                | PROVIDED PARKING                   |
| SELF STORAGE FACILITY                         | 1,800m <sup>2</sup>                       | 100m <sup>2</sup>                 | 2                                  |
| TOTAL                                         | 1,800m <sup>2</sup>                       | 100m <sup>2</sup>                 | 2 SPACES REQD. 3 SPACES PROVIDED   |
| BUILDING C - TOTAL AREA 80.2 m <sup>2</sup>   | APPROX. AREA                              | PARKING PROVISIONS                | PROVIDED PARKING                   |
| WAREHOUSE                                     | 80.2m <sup>2</sup>                        | 100m <sup>2</sup>                 | 5                                  |
| TOTAL                                         | 80.2m <sup>2</sup>                        | 100m <sup>2</sup>                 | 5 SPACES REQD. 5 SPACES PROVIDED   |
| SHARED FREE PARKING                           | PARKING PROVISIONS                        | REQD. PARKING                     | PROVIDED PARKING                   |
| TOTAL                                         | 1 - 100 SPACES ~ 8.8 F SPACES             | 5.8 F                             | 8                                  |
| BIKEWAY PARKING                               | PARKING PROVISIONS                        | REQD. PARKING                     | PROVIDED PARKING                   |
| TOTAL                                         | INDUSTRIAL USE 1 SPACES 100m <sup>2</sup> | 8                                 | 16                                 |
|                                               |                                           | 8 SPACES REQD. 10 SPACES PROVIDED |                                    |

DATE: \_\_\_\_\_

MATTHEW J. BAIRD, P.ENG.

| DATE         | REVISIONS                      |
|--------------|--------------------------------|
| FEB 08, 2018 | SUBMITTED TO TOWN FOR APPROVAL |
|              |                                |
|              |                                |
|              |                                |
|              |                                |

27 PRINCESS STREET, SUITE #102  
LEAMINGTON, ONTARIO  
N8H 2A8

1000 - 367 PELLISSIER STREET,  
WINNIPEG, ONTARIO  
R6A 4K4

PROJECT TITLE:  
**106 WIGLE AVE. BUILDING ADDITION**  
106 WIGLE AVE. TOWN OF KINGSVILLE

SHEET TITLE:  
**SITE PLAN**

DATE: \_\_\_\_\_

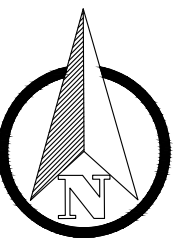
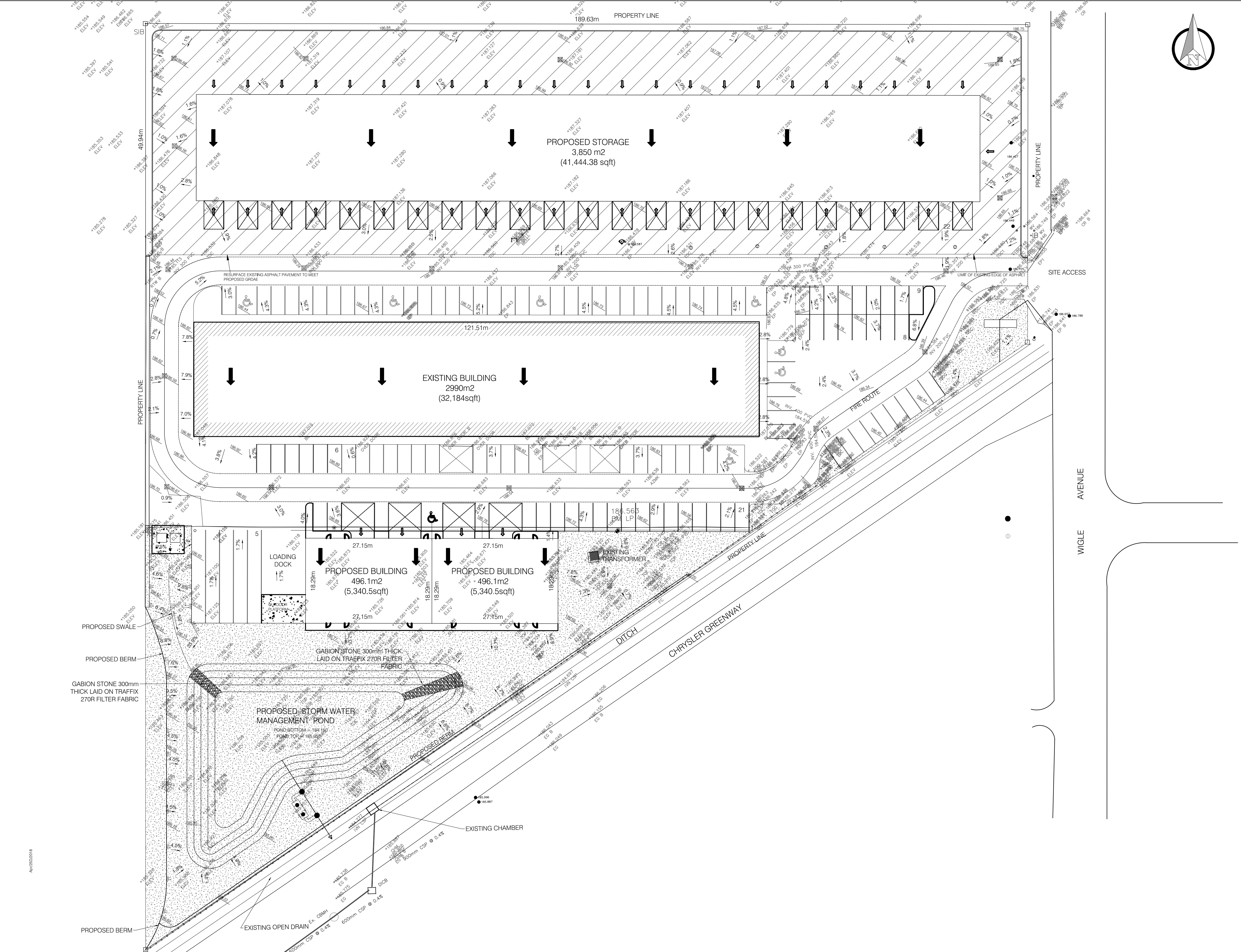
SCALE:  
1:400

DRAWN BY:  
P.S.

CHECKED BY:  
M.J.B

PROJECT NO:  
**17-137**

SHEET NO:  
**1**



KEY MAP



| LEGEND                    |          |          |
|---------------------------|----------|----------|
| DESCRIPTION               | EXISTING | PROPOSED |
| STORM SEWER               |          |          |
| STORM MANHOLE             |          |          |
| STORM CLEANOUT            |          |          |
| SANITARY MANHOLE          |          |          |
| CATCH BASIN               |          |          |
| SIDEWALK                  |          |          |
| CONCRETE                  |          |          |
| GRASSED AREA              |          |          |
| SANITARY CLEAN OUT        |          |          |
| SANITARY SEWER            |          |          |
| LOADING SPACE             |          |          |
| BARRIER FREE ACCESS       |          |          |
| EXISTING LIGHT            |          |          |
| EXISTING GROUND ELEVATION |          |          |
| PROPOSED GROUND ELEVATION |          |          |
| OVERLAND FLOW DIRECTION   |          |          |
| EDGE OF ASPHALT           |          |          |
| ROOF DRAINAGE             |          |          |

**BENCHMARK**  
TOP OF LIGHT POST OF ON EXISTING ASPHALT PARKING LOT AS SHOWN ON THE PLAN  
ELEVATION = 186.563m

DATE: April 25, 2018

MATTHEW J. BAIRD, P.ENG.

| DATE         | REVISIONS                      |
|--------------|--------------------------------|
| FEB 08, 2018 | SUBMITTED TO TOWN FOR APPROVAL |
|              |                                |
|              |                                |
|              |                                |
|              |                                |
|              |                                |

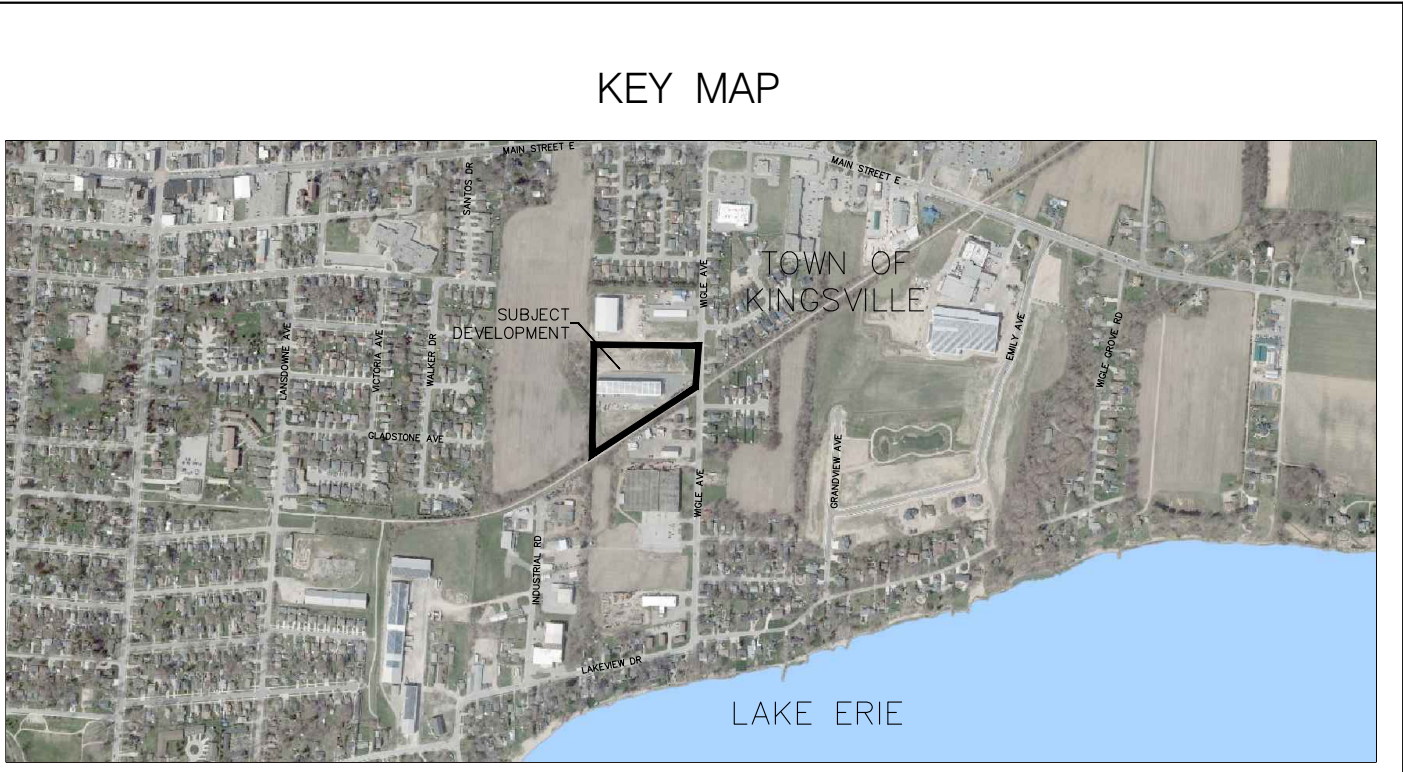
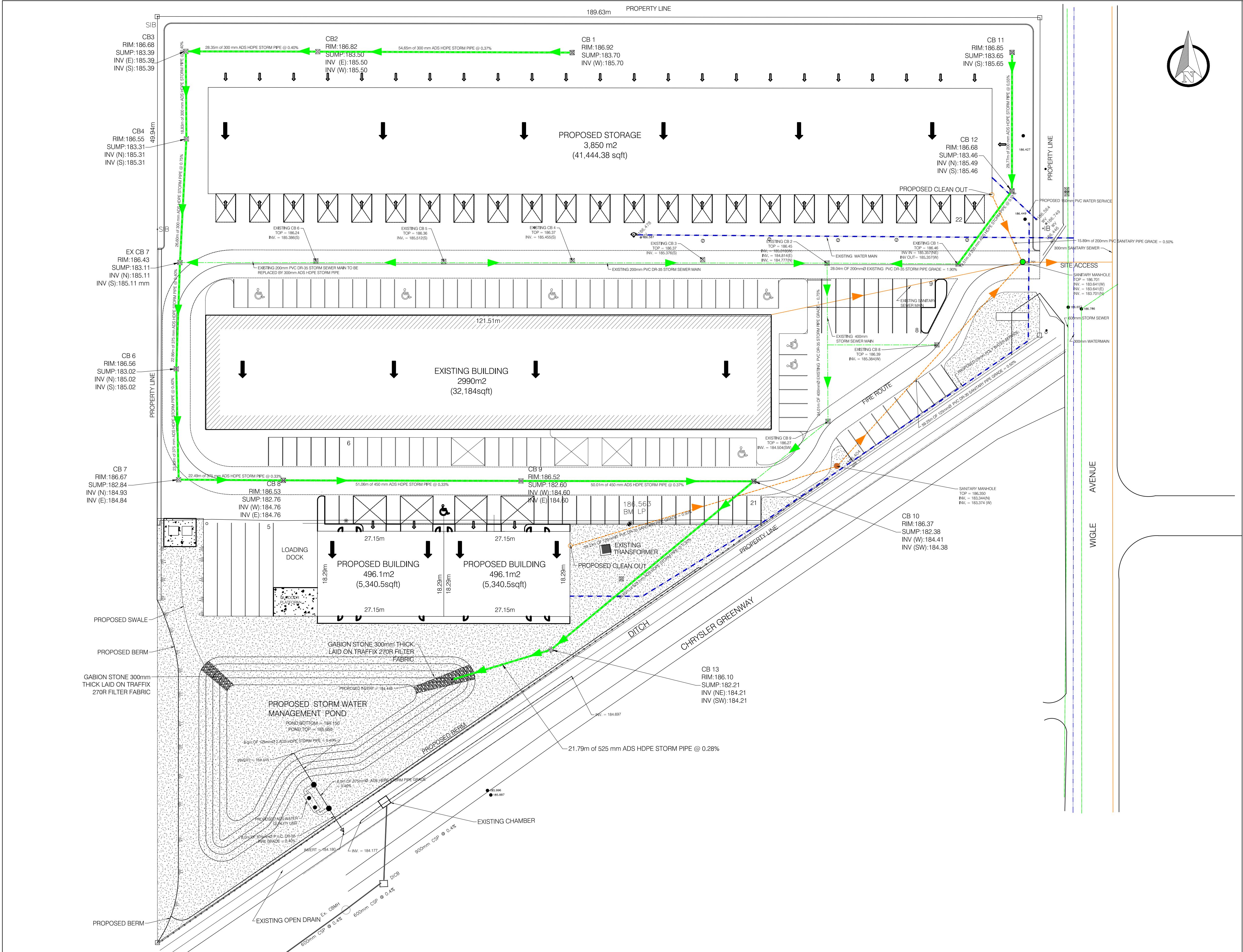
27 PRINCESS STREET, SUITE #102  
LEAMINGTON, ONTARIO  
N8H 2X8

1000 - 367 FEUSHER STREET,  
WINDSOR, ONTARIO  
N9A 4K4

PROJECT TITLE:  
**106 WIGLE AVE. BUILDING ADDITION**  
106 WIGLE AVE. (TOWN OF KINGSVILLE)

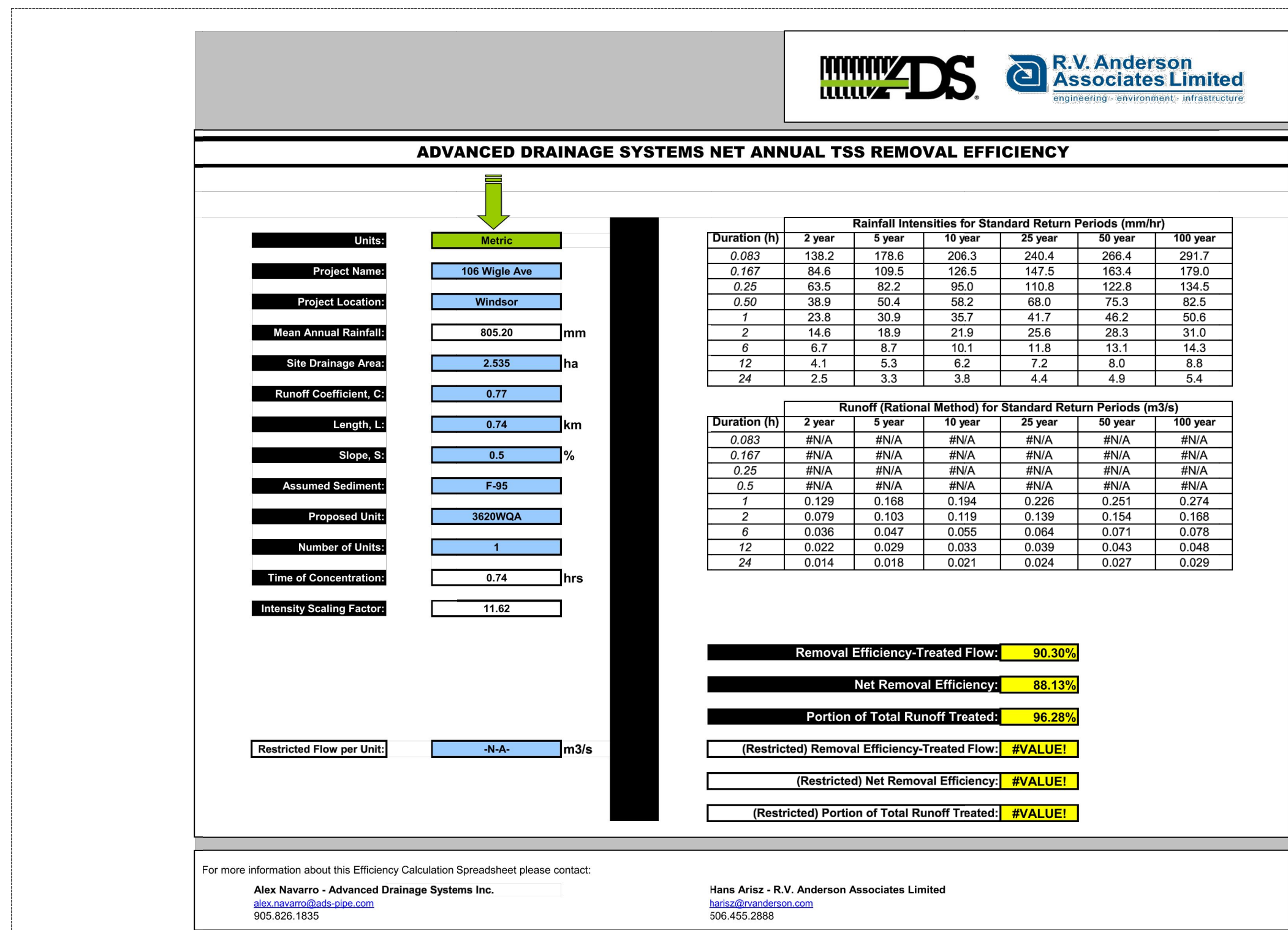
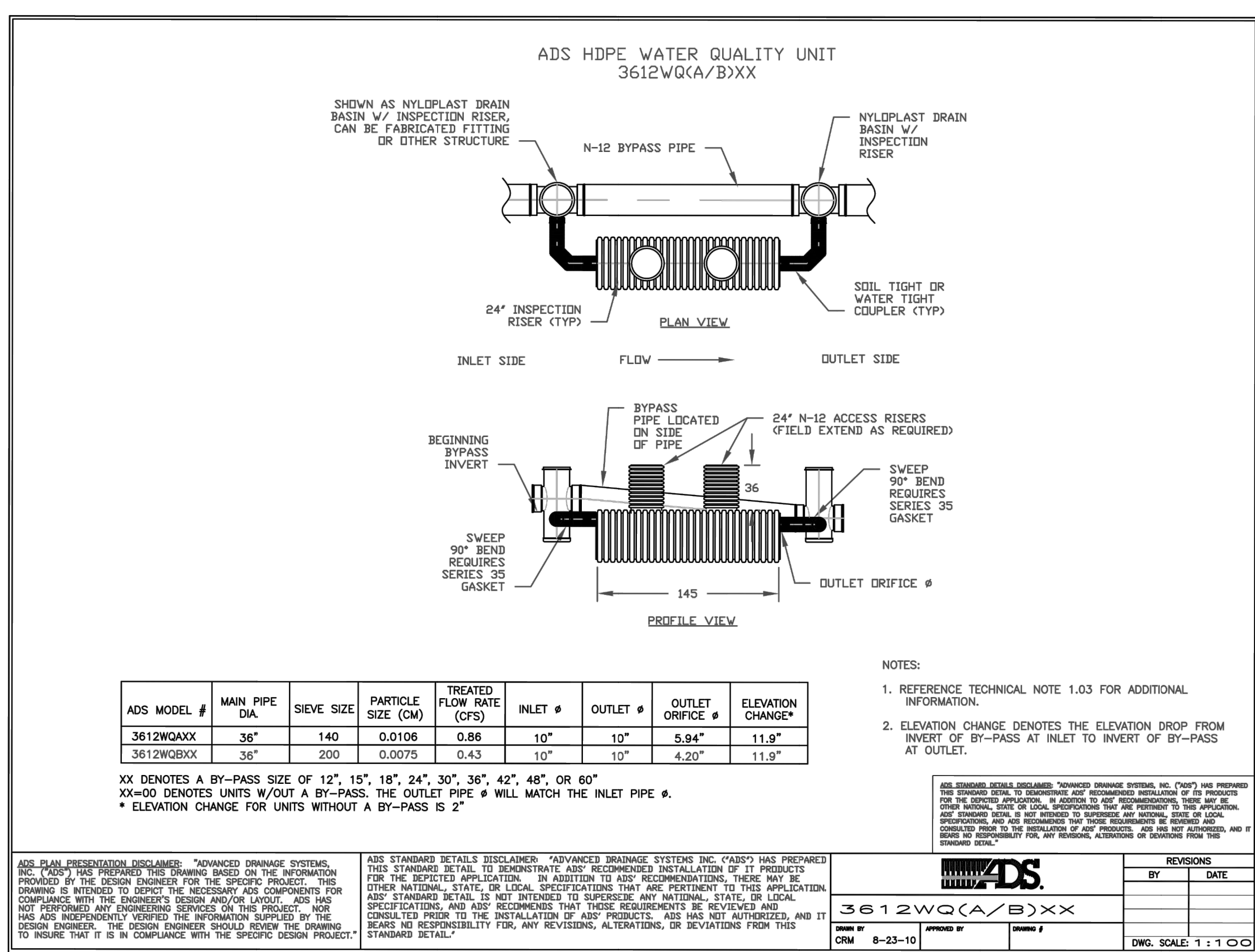
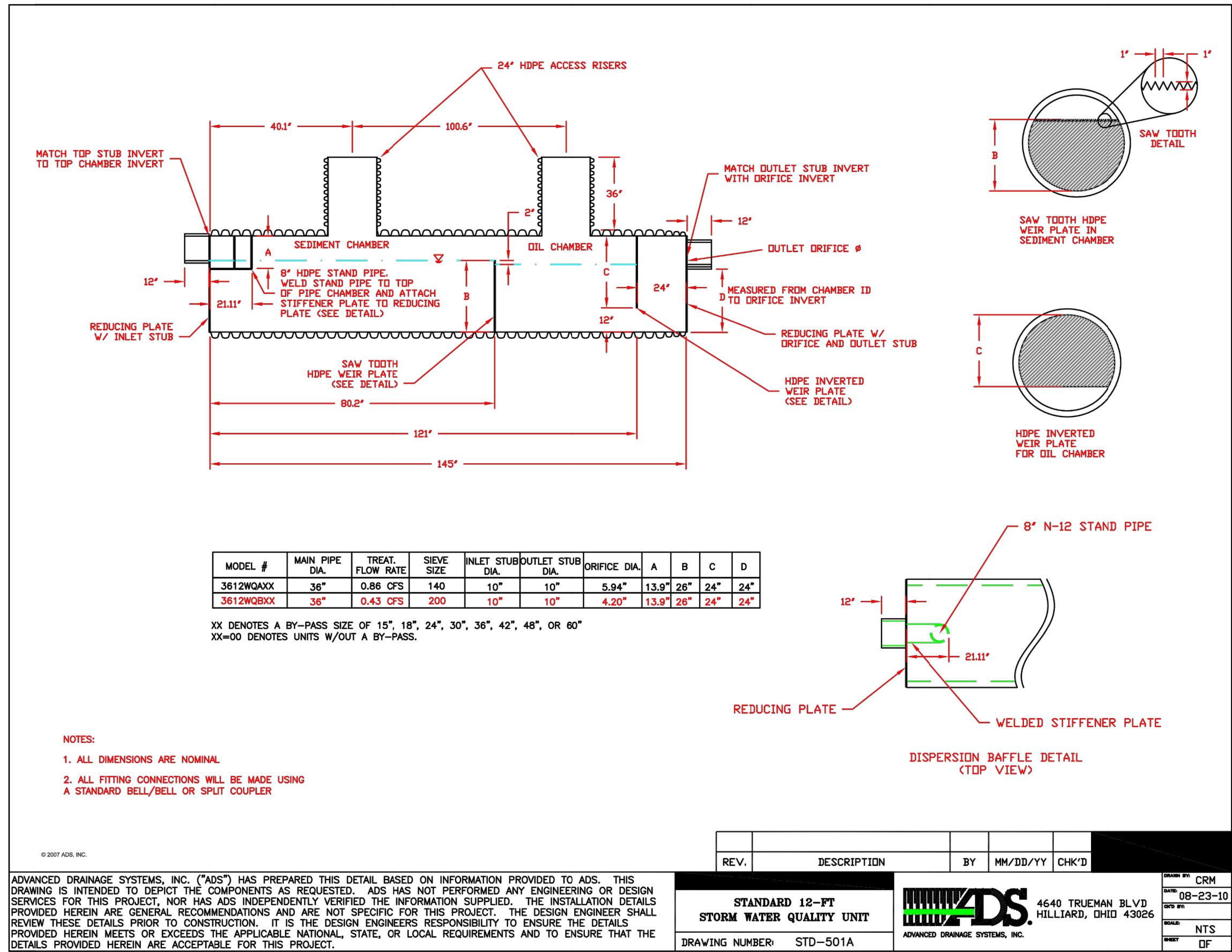
SHEET TITLE:  
**GRADING PLAN**

|                       |               |
|-----------------------|---------------|
| DATE:                 | PROJECT NO:   |
| SCALE:<br>1:300       | <b>17-137</b> |
| DRAWN BY:<br>P.S.     | SHEET NO:     |
| CHECKED BY:<br>M.J.B. | <b>2</b>      |



| LEGEND                    |          |          |
|---------------------------|----------|----------|
| DESCRIPTION               | EXISTING | PROPOSED |
| STORM SEWER               |          |          |
| STORM MANHOLE             |          |          |
| STORM CLEANOUT            |          |          |
| SANITARY MANHOLE          |          |          |
| CATCH BASIN               |          |          |
| SIDEWALK                  |          |          |
| CONCRETE                  |          |          |
| GRASSED AREA              |          |          |
| SANITARY CLEAN OUT        |          |          |
| SANITARY SEWER            |          |          |
| LOADING SPACE             |          |          |
| BARrier FREE ACCESS       |          |          |
| EXISTING LIGHT            |          |          |
| EXISTING GROUND ELEVATION |          |          |
| PROPOSED GROUND ELEVATION |          |          |
| OVERLAND FLOW DIRECTION   |          |          |
| EDGE OF ASPHALT           |          |          |
| ROOF DRAINAGE             |          |          |

**BENCHMARK**  
TOP OF LIGHT POST OF ON EXISTING ASPHALT PARKING LOT AS SHOWN ON THE PLAN  
ELEVATION = 186.563m



DATE: April 25, 2018

M. J. BAIRD, P. ENG.

| DATE         | REVISIONS                      |
|--------------|--------------------------------|
| FEB 08, 2018 | SUBMITTED TO TOWN FOR APPROVAL |
|              |                                |
|              |                                |
|              |                                |
|              |                                |



|                                                                                           |                       |                       |
|-------------------------------------------------------------------------------------------|-----------------------|-----------------------|
| PROJECT TITLE:<br>106 WIGLE AVE. BUILDING ADDITION<br>106 WIGLE AVE. (TOWN OF KINGSVILLE) | DATE:<br>FEB 08, 2018 | PROJECT NO:<br>17-137 |
| SHEET TITLE:<br>ADS WATER QUALITY UNIT DETAILS                                            | SCALE:<br>1:300       |                       |
|                                                                                           | DRAWN BY:<br>P.S.     | SHEET NO:<br>4        |
|                                                                                           | CHECKED BY:<br>M.J.B. |                       |