



**COURT OF REVISION - AGENDA**  
**Pursuant to the Drainage Act, R.S.O. 1990**

**Tuesday, February 27, 2018, 6:00 PM**

**Council Chambers**

**2021 Division Road N**

**Kingsville, Ontario N9Y 2Y9**

**Pages**

**A. OPENING COURT OF REVISION**

**B. DISCLOSURE OF PECUNIARY INTEREST**

When a member of the Court has any pecuniary interest, direct or indirect, in any matter which is the subject of consideration at this Court of Revision (or that was the subject of consideration at the previous Court of Revision at which the member was not in attendance), the member shall disclose the pecuniary interest and its general nature, prior to any consideration of the matter.

**C. ENGINEER'S COMMENTS TO PREVIOUSLY SUBMITTED APPEALS  
AND RECOMMENDED ADDITIONAL REVISIONS TO ASSESSMENT  
SCHEDULE**

**1**

i) The Esseltine Drain: Addendum Report--Book 4 of RC Spencer Associates Inc. dated December 22, 2017 (Project No. 14-425)

ii) Engineers' comments and recommendations regarding roll numbers 290-22309, 290-27210 and 290-27300 (identification of severances)

(SEE ALSO: First Sitting of Court of Revision Minutes dated November 6, 2017 and By-law 93-2017 provisionally adopted on September 26, 2017)

*Shane Lafontaine, M. Eng., P. Eng. and Dennis McCready, B.A.Sc., P. Eng.(RC Spencer Associates Inc.) and Ken Vegh, Town of Kingsville Drainage Superintendent*

**D. RESPONSE FROM LANDOWNERS TO PREVIOUSLY SUBMITTED APPEALS**

**E. DECISIONS OF THE COURT**

**1. Previously Submitted Appeals**

**a. David Gulyas and Jacqueline Bruno (290-10200)**

- b. Harry and Guglielmina Keller (290-23200)
- c. Kathy and Leo Probe (290-09200)
- d. Scott Shilson (290-09800)
- e. Carolyn Stockwell (290-27100)
- f. 1382296 Ontario Limited (290-17601)
- g. Mucci Farms Ltd. (290-18200)
- h. Mucci Farms Ltd. (290-38700)
- i. Southshore Greenhouses Inc. (290-17900)
- j. John and Jennifer Fittler (340-01350)
- k. Jennifer and Jason Cope (290-09300)
- l. Cristina Porrone (290-22100)
- m. Erieview Acres Inc. (290-18350)
- n. 2269029 Ontario Limited (290-18400)
- o. 1552843 Ontario Ltd. (290-22320)

## 2. Engineer Recommended Revisions

- a. Fiorina Capussi (290-08300)
- b. Maxine and Joseph Knight (290-18300)
- c. Kristopher Klassen & Jennifer Ellwood (340-01405)
- d. Gary and Pamela Atkinson (300-32700)
- e. Brian and Jose Bermudes (300-32601)
- f. Jacob and Eva Friesen (300-32701)
- g. Harry and Melisa O'Brien (300-32800)
- h. Jean Jane Towle (290-10400)
- i. John and Louise Wiebe (290-10300)
- j. Jean-Marc Joseph and Isabella Pinsonneault (290-10100)
- k. Excalibur Plastics Ltd (300-32200)
- l. Property Severances (290-22309, 290-27210, 290-27300)

F. CLOSE COURT OF REVISION

G. ADJOURNMENT

# THE ESSELTINE DRAIN: ADDENDUM REPORT—BOOK 4

## FIRST SITTING OF THE COURT OF REVISION ENGINEER'S RECOMMENDATIONS



RC SPENCER ASSOCIATES INC.  
Consulting Engineers

22 December 2017

Project No.: 14-425

**List of Engineer's Recommendations in Response to the First Sitting of the Court of Revision**

Entry No.	Landowner	Page Number
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**Official Appeals Received for the First Sitting of the Court of Revision**

1)	Harry & Guglielmina Keller	2
2)	Leo & Kathy Probe	5
3)	Scott Shilson	7
4)	David Gulyas & Jacqueline Bruno	9
5)	1382296 Ontario Limited	
	Southshore Greenhouses Inc.	
	Mucci Farms Ltd.	
	Mucci Farms Ltd.	10
6)	John & Jennifer Fittler	13
7)	Carolyn Stockwell	15

**Additional Appeals Received at the First Sitting of the Court of Revision**

8)	Jennifer & Jason Cope	18
9)	Cristina Porrone	19
10)	Erievue Acres Inc.	
	2269029 Ontario Limited	20

**Additional Revisions Not Discussed at the First Sitting of the Court of Revision**

11)	Fiorina Capussi	23
12)	Maxine & Joseph Knight	24
13)	Kristopher Klassen & Jennifer Ellwood	25
14)	Gary & Pamela Atkinson	26
15)	Brian & Jose Bermudes	27
16)	Jacob & Eva Friesen	28
17)	Harry & Melisa O'Brien	29
18)	Jean Jane Towle	30
19)	John & Louise Wiebe	31
20)	Jean-Marc Joseph & Isabella Pinsonneault	32
21)	Excalibur Plastics Ltd.	33



# **Official Appeals Received for the First Sitting of the Court of Revision**

**Entry Number 1**

**Owner:** Harry & Guglielmina Keller

**Roll Number:** 290-23200

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high.

**Appeal:**

- 1) The assessed land area affected of 0.69 acres is too large and should be 0.28 acres as established in the East Ruthven Drain assessment.
- 2) The affected property has only recently been connected into Esseltine Drain over the past 4-5 years as a result of the construction of the East Ruthven Drain in 2012 and therefore has not contributed water into the Esseltine Drain to be held responsible for erosion damage downstream over the past 50 to 100 years.

**Comments at Court of Revision (Monday, November 6, 2017):**

- Mr. Keller explained the slope of the land (the land slopes upward at the back and the storm runoff cannot flow up the slope).
- Engineer Zarlenga indicated he will meet Mr. Keller at the site and review the assessment and elevations.
- Mr. Keller also wanted to ensure that his concern regarding the short length of time his property has been connected to the Esseltine Drain would also be considered.
- Mr. Zarlenga indicated he would also review that item.

**Site Attendance:**

- RC Spencer Associates re-attended the Keller property on 14 November 2017 and performed a topographic land survey of the surrounding properties pertinent to the appeal.
- Harry Keller, Lou Zarlenga, Shane Lafontaine (RC Spencer) and Robert Botham (RC Spencer) were all in attendance for this survey.
- The topographic land survey was completed using the Sokkia RC-PR4 Robotic total station.
- RC Spencer Associates coordinated another meeting at the Keller property on 30 November 2017 (Harry Keller, Lou Zarlenga and Shane Lafontaine in attendance) to discuss the results of the topographic land survey performed on 14 November 2017.

**Attachments (Maps/Plans/Aerials):**

**Figure 1) Keller GPS Survey – Overall Aerial:**

- Mr. Keller's property (1810 County Road 34) is highlighted in yellow.
- The Esseltine Drain is identified by the light blue dashed line on the left side of the page.
- The direction of flow is identified by the orange arrows.
- East Ruthven Drain is identified by a pink dashed line and is shown in Mr. Keller's front yard extending westerly to the outlet at the Esseltine Drain.
- East Ruthven drainage area is identified by a pink solid line.

**Figure 2) Keller GPS Survey – Section ‘A-A’:**

- Existing ground profile along the north property limit of the residential properties fronting on County Road 34 westerly toward the outlet at the Esseltine Drain.
- The approximate length of this land survey section is 350m.
- The overall land profile slopes from east to west, with a minor peak located at the rear yard of 1766 C.R. 34 for the DiMenna farm access roadway.

**Figure 3) Keller GPS Survey – Section ‘B-B’:**

- Existing ground profile 55m north of Section ‘A-A’ (north property limit of the properties fronting on County Road 34) westerly toward the outlet at the Esseltine Drain.
- The approximate length of this land survey section is 350m.
- The overall land profile slopes from east to west.

**Figure 4) Keller GPS Survey – Section ‘C-C’:**

- Existing ground profile along the actual drainage path.
- The approximate length of this land survey section is 370m.
- The overall land profile slopes from east to west with an elevation difference of 2.3m from the Keller rear yard to the top of bank at the Esseltine Drain.

**Figure 5) Keller GPS Survey – Section ‘D-D’:**

- Existing ground profile cross-section through 1810 County Road 34 (Keller property) looking west toward the Esseltine Drain.
- The approximate length of this land survey section is 240m.
- The overall land profile slopes from the Keller residence southerly in the front yard toward County Road 34.
- The Keller rear yard has a minor slope to the north toward their rear property limit.
- The DiMenna farm property to the north slopes significantly to the south toward the rear property limit of the Keller residence.

**Figure 6) Keller GPS Survey – Section ‘C-C’ – Ponding:**

- This drawing is a modified version of drawing #4 showing the overland flow route of Section C-C.
- This drawing highlights additional detail of the overland flow on the DiMenna farm property and how the water collects to the low channel shown in red.
- The depressed area located north of the Giesbrecht property with the capacity to intercept a portion of the storm run-off is highlighted in blue.
- The maximum depth of this ponding will be approximately 5” before it will spill over the DiMenna farm access and spill westerly toward the Esseltine Drain.
- The approximate volume of this storm water retained in the low area of the DiMenna farm land is 115 cubic metres.

**Figure 7) Keller Stormwater Modelling Run-Off Volumes:**

- This page provides a summary of various storm events with different return periods and provides the corresponding run-off volumes produced during these events modelled using the standard SCS method for the Fox Sandy Loam soil conditions for this area as per the Soil Map of Essex County.
- These results shows that during very minor events (1" rainfall) the depressed area on the DiMenna farm property may intercept the storm water. Rainfall events creating greater than 115 cubic metres of runoff will be directed overland to the Esseltine Drain. For the major storm events, the run-off produced far exceeds the available capacity of this depressed area.

**Engineer's Recommendation:**

- The south half (front yard) of the Keller property drains toward the East Ruthven Drain along County Road 34 which outlets westerly to the Esseltine Drain.
- It has been determined that the stormwater runoff from the north half (back yard) of the Keller property has the ability to flow northerly toward the rear yard limit, and then westerly toward the Esseltine Drain along the DiMenna farm lands as shown in Section 'C-C' of the aerial map land survey attachments.
- Therefore, we recommend that no revision is required to the assessed area for the Keller property (Roll Number 290-23200).

**Entry Number 2**

**Owner:** Leo & Kathy Probe

**Roll Number:** 290-09200

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high.

**Appeal:**

- 1) The fair market value of our property used to calculate the allowance for property for the drain, was based on 2016 property values and may not be valid at this time.
- 2) The allowance calculated for property used for the cable concrete flow channel was .023 hectares (= \$928.00) and should be approximately .028 hectares.
- 3) The allowance for trees that will be affected/removed from our property was 1 tree under 25cm and should be 7 trees under 25cm.
- 4) We have not been advised how much of our property will be severed for the drain project therefore we do not know how much of our property will be affected.

**Comments at Court of Revision (Monday, November 6, 2017):**

- Mr. Probe indicated that he received an email with a cross section sketch on Friday, 3 November 2017, but that there are at least 7 trees that will be affected
- His property has a steel wall that was constructed to prevent erosion and they feel they should receive an allowance for that expense.

**Site Attendance:**

- The Engineer attended the property on 6 December 2017 to meet with Mr. and Mrs. Probe.
- A stake had been previously placed by RC Spencer Associates to indicate the approximate limit of the side slope grading as required for the cable concrete channel installation.

**Attachments (Maps/Plans/Aerials):**

**Figure 8) 1522 Whitewood Cross-Sections (2 Pages):**

- Cross-sections of the Esseltine Drain at Station 0+490, Station 0+500 and Station 0+510 which show the approximate conditions of the Probe property and the location of the proposed cable concrete channel relative to Probe residence.

**Figure 9) Tree Allowances – Leo & Kathy Probe:**

- Replacement Planting/Compensation table from the Esseltine Residential Tree Evaluation Program prepared by BioLogic Incorporated found in Appendix I of the Esseltine Drainage Report.
- This table indicates that the Probe property will have a total of 5 trees removed.
- In compensation for these removals, this study has determined that this property shall receive an equivalent to 6 replacement trees.

- Based on the available area on the property, 5 of these replacement trees will be planted on the Probe property as part of this project.
- The 1 remaining tree which cannot be planted will be paid for as outlined in the Esseltine Drain Report, Chart 4 – Allowances for Damages to Trees in Residential Ravine Area.

**Figure 10) Allowance Determination:**

- Identifies the land used for cable concrete installation and side slope grading in the ravine area.
- Displays the extent of the land that will be incorporated as part of the Esseltine Drain.
- This land will not be severed from the existing property.

**Engineer's Recommendation:**

- 1) The market value for all properties used to calculate the allowances were based on 2016 property assessments as this report was finalized in 2016. The allowances are determined from a nominal rate in relation to the land appraisal value.
  - 2) The area used to calculate the allowance for the property used for the cable concrete flow channel has been verified and the area of 0.023 hectares is correct.
  - 3) All trees will only be cut after a meeting is held with the landowners, the Municipality and the Consulting Engineer to look at the site and be made aware of the reason that each tree needs to be removed. The Allowances will be adjusted with respect to the actual number of tree removals that are required during construction.
  - 4) The property will not be severed, the only change is that the existing natural watercourse will be incorporated as part of the Municipal Drain to allow the Municipality to access the drain for future maintenance as per the attached "14-425 – Allowance Determination."
- Therefore, we recommend that no revision is required to the assessment for the Probe property (Roll Number 290-09200).

**Entry Number 3**

**Owner:** Scott Shilson

**Roll Number:** 290-09800

**Drainage Act Section:** *Section 52(1)* for the construction or improvement of a drain.  
*Section 31* for consideration of an allowance for works previously performed.

**Appeal:**

- 1) Allowance for material used for the Esseltine Drain repair is not realistic.
- 2) Materials disclosed to the Engineer that were classified as erodible, are actually compactible.
- 3) These same materials were used to create an access which will be used on this project. If I had not constructed this access, it would have been a large cost to the project that I am not being compensated for.
- 4) Installation and repair of the drain was not considered, and only a fraction of the material was.
- 5) Topsoil and seeding has not been included (materials would erode without it).

**Site Attendance:**

- Between April 2016 and August 2016, Mr. Lou Zarlenga met with Scott Shilson numerous times at his home (1510 Whitewood Road) adjacent to the Esseltine Drain to discuss his request for an allowance for his expenses relating to repairs to the natural watercourse.
- On 17 August 2016, Lou Zarlenga sent a letter to Mr. Shilson which included a summary of the weigh tickets for the various building materials used by Mr. Shilson in the previous repairs to the natural watercourse.

**Attachments (Maps/Plans/Aerials):**

**Figure 11) Scott Shilson Quantity Check (3 Pages):**

- We considered all of the materials placed into the natural watercourse and have determined that only 472 cubic metres of rock, being a non-erodible material, may be considered as a permanent repair to the natural watercourse.
- In order to determine a value of this non-erodible repair, we have estimated an equivalent volume of permanent repair material (imported clay fill) at an estimated unit cost of \$20.00 per cubic metre to arrive at an allowance equal to \$9,440.00.

**Figure 12) Chart 7 – Allowance for Drainage Works Previously Performed:**

- Compensation in the amount of \$9,440.00 for the volume of previously installed approved rock fill material in the existing natural watercourse as this work provides an equivalent reduction in the amount of imported clay fill required for the drain improvements.



**Engineer's Recommendation:**

- We recommend that no revision is required to the assessment for the Shilson property (Roll Number 290-09800).
- The Court of Revision is intended to review assessments; the appeal for an allowance should be considered through the Agriculture, Food and Rural Affairs Appeal Tribunal.

**Entry Number 4**

**Owner:** David Gulyas & Jacqueline Bruno

**Roll Number:** 290-10200

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high.

**Appeal:**

- 1) The majority of their land drains to Lake Erie as they have lakefront property which slopes to the lake.

**Comments at Court of Revision (Monday, November 6, 2017):**

- Mr. Gulyas indicated that he is in favour of the project as a whole but had a concern with respect to the amount of land affected and the apportionment (that it is not 80% of the lot affected, but rather 30-40%).

**Site Attendance:**

- A visual site inspection was completed on 14 November 2017 to confirm the drainage area of the property.

**Attachments (Maps/Plans/Aerials):**

**Figure 13) Waterfront Parcels – Map ORIGINAL:**

- Aerial parcel mapping with the drainage limits/assessed areas based on the original Schedule of Assessment (June 17, 2016).

**Figure 14) Waterfront Parcels – Map REVISED:**

- Aerial parcel mapping with the revised drainage limits/assessed areas based on the 14 November 2017 site visit.

**Engineer's Recommendation:**

- The rear yard of the Gulyas property (1502 Whitewood Road) outlets southerly toward Lake Erie and does not fall within the Esseltine Drainage Area.
- The Hectares Affected for this property (Roll No. 290-10200) shall be reduced from 0.298 hectares to approximately 0.109 hectares.

**Entry Number 5**

**Owner:** 1382296 Ontario Limited  
Southshore Greenhouses Inc.  
Mucci Farms Ltd.  
Mucci Farms Ltd.

**Roll Number:** 290-17601  
290-17900  
290-18200  
290-38700

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high.  
*Section 22* for the Assessment for Benefit

**Appeal:**

- 1) No consideration has been provided for the existing storm water management ponds, and the restricted rate of flow from these ponds.
- 2) Section 22 Value of Benefit Liability is incongruent with the actual benefit received

**Comments at Court of Revision (Monday, November 6, 2017):**

- Mr. George Dekker questioned the assessment calculations to the Mucci group of properties and the method of allocation of the Section 22 Value of Benefit Liability.
- He wants to make sure the Mucci properties are allocated on a fair basis and not necessarily on an equal basis.

**Site Attendance:**

- Meeting held on 14 November 2017 at the Mucci Farms Kingsville office.
- George Dekker (Mucci Project Manager), Lou Zarlenga and Shane Lafontaine (RC Spencer) were all in attendance for this meeting.

**Attachments (Maps/Plans/Aerials):**

**Figure 15) DRAINAGE AREA - MUCCI:**

- Identifies the four Mucci properties (Roll No. 290-17601, 290-17900, 290-18200 & 290-38700) situated north of County Road 20 and south of Road 2 East.
- The Mucci properties are highlighted in pink and the Esseltine Drainage Area is highlighted in yellow.

**Figure 16) 2017 MAP – MUCCI:**

- 2017 County of Essex aerial mapping for the Mucci properties used to calculate the land composition for the Schedule of Assessment.

**Figure 17) Mucci 2017 Greenhouse Map Mark-Up:**

- 2017 County of Essex aerial mapping for the Mucci properties with the hard surface greenhouse structures highlighted in green.
- The roof area for the greenhouse structures make up 64% of the total affected area of the four Mucci properties shown in this aerial image.
- The limits of the Esseltine Drain drainage area are highlighted in pink.

**Figure 18) Chart 1 – Land Summary - Mucci Properties:**

- Provides the detailed area breakdown for all four of the Mucci properties as requested by George Dekker.
- All of the values listed in this table are relative to the original Schedule of Assessment dated 17 June 2016.
- Includes a sample calculation to determine the Equivalent Hectares for a parcel.
- Includes a sample calculation to determine the Outlet Liability for a parcel.

**Figure 19) Chart 2 – Assessment Summary - Mucci Properties:**

- This chart highlights the effect of all of the changes that have been initiated through the Court of Revision process.
- The column highlighted in Red shows the Total Assessment for all four of your properties as per the Original Schedule of Assessment dated 17 June 2016.
- The column highlighted in Green shows the Total Assessment for all four of your properties after applying the necessary revisions to all of the other properties to address their Court of Revision appeals.
- The last column highlighted in Blue shows the final recommended Total Assessment for all four of your properties after applying the reduction to the Value of Benefit as outlined in the recommendation below.

**Engineer's Recommendation:**

1) Consideration for the Existing Stormwater Management Ponds

- Pursuant to Section 23(1) of the Drainage Act for Outlet Liability:  
*Lands and roads that use a drainage works as an outlet, or for which, when the drainage works is constructed or improved, an improved outlet is provided either directly or indirectly through the medium of any other drainage works or of a swale, ravine, creek or watercourse, may be assessed for outlet liability.*
- Accordingly, the assessments have been calculated based on the Equivalent Hectares Method. This is a method of converting parcels within watershed to “equivalent hectares” by multiplying by the respective run-off factor that recognizes the volume and rate of flow of water artificially caused to flow from that parcel.
- Since the stormwater management facilities are privately owned, there is no verification by government agencies that the outlets are properly maintained and that the facilities are functioning as designed.

- The local greenhouse industry development has occurred over the past 20 years, most of which was not subject to current stormwater management criteria.
- In the calculation of the Outlet Assessment, we considered applying a weighting factor to account for the reduction to the peak flow as a result of the stormwater management facilities. However, based on the observed site conditions and flows in the Esseltine Drain, it was determined that the effect of the stormwater ponds was not significant as to warrant a reduction to the assessment.
- The Outlet Liability for the residential properties which outlet to a stormwater management facility were also assessed using the same methodology, based on the artificial volume of runoff created by each parcel, with no reduction in relation to the outlet flow of the stormwater management facility.
- Therefore, we recommend that no revision is required to the Outlet Assessment for the Mucci properties.

2) Section 22 Value of Benefit Liability:

- Please note that the assessment of costs of a drainage project is not an exact science nor does it involve the application of specific formulas.
  - Many of the decisions on assessment are based entirely on the judgement and experience of the Engineer and the condition of the drain and the lands which make use of the drain at the time the investigation and survey were carried out.
  - The Mucci properties will benefit from improved appearance in relation to the removal of the brush and trees, cable concrete (from Station 0+550 to 0+650), excavation, grading, compaction and topsoil placement for an improved cross-section from Station 0+650 to 1+815.
  - The Mucci properties will benefit from the improved control of surface water as a result of the improved cross-section of the drain adjacent to these properties and immediately downstream of these properties.
  - The total cost for the works performed adjacent to the Mucci properties from Station 0+550 to 1+815 (not including Special Benefit items) was approximately \$450,000.
  - Please note that in consideration for all of the above noted items, we have assessed the Benefit at a portion of the total project cost that we believe to be reasonable for the “derived benefit” for each property.
  - The Value of Benefit for the properties north of the cable concrete installation (north of Station 0+650) shall be reduced by approximately 35%.
  - The Total Value of Benefit for the project will be equal to 20% of the Total Project Cost (excluding Special Benefit and Special Assessments).
  - This revision results in a Value of Benefit that is more consistent for the larger agricultural properties to the north.
- 3) The Special Benefit for 290-18200 has been corrected to \$6,000 as outlined in the report. This value was incorrectly included as \$6,600 in the original Schedule of Assessment.

**Entry Number 6**

**Owner:** John & Jennifer Fittler

**Roll Number:** 340-01350

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high, other land or road has been assessed too low, and due consideration has not been given as to type of use of land.

**Appeal:**

- 1) This assessment does not fairly take into account output liability and the damage done to this drain by the greenhouse businesses.
- 2) The categories of assessment which were established for this report need to be revisited to fairly assess each farm operation and their contributions to the drain.

**Comments at Court of Revision (Monday, November 6, 2017):**

- Mr. Fittler explained that he has been operating a no-till farming operation for the past 25 years.
- Mr. Fittler presented an audio-visual presentation with handouts.
- Mr. Fittler summarized a 1989 drainage assessment paper entitled "Drainage Assessment Revisited" which speaks to fairness to all concerned and reads in part "that the assessment of costs of a drainage project is not an exact science nor does it involve the application of specific formulas".
- Mr. Fittler spoke about rate of flow and volume of water, stating that studies have been undertaken to compare conventional tillage and no-till for runoff and soil erosion that show that water runoff and soil erosion can be reduced by 40 to 80 per cent by leaving 0.5 to 0.9 tons/acre of crop residue on the surface compared to bare soil.
- Mr. Fittler stated that he has spent money trying to protect the ditches from soil erosion and he feels he's being penalized.
- Mr. Fittler stated that there is an elevation drop from the Bowling Alley to County Road 20; and there is something happening from that drop that is causing the accumulation of water.
- Mr. Fittler presented a video of his 'walk' of the Esseltine Drain to show the slight runoff after various storm events at the top of the drain (his lands) vs. the bottom (rapids of fast-flowing water).
- Mr. Fittler stated he is a corn, soy bean and wheat farmer and is not contributing to this volume of water. He asked Council to consider his presentation as set out in the handout material.
- Administration was asked to research the matter of no-till to explore how that reduces the flow, so that that information would be available as this matter goes forward.

**Site Attendance:**

- RC Spencer Associates attended the Fittler property on 13 March 2017 and performed a topographic land survey of the property using the Sokkia RC-PR4 Robotic total station.
- John Fittler, Lou Zarlenga and Marvel Hormiz (RC Spencer) were all in attendance for this survey.

**Attachments (Maps/Plans/Aerials):**

**Figure 20) Fittler EXISTING:**

- Aerial parcel mapping with the drainage limits/assessed area for the Fittler property based on the original Schedule of Assessment (June 17, 2016).

**Figure 21) Fittler REVISED:**

- Aerial parcel mapping with the revised drainage limits/assessed area for the Fittler property based on the topographic land survey completed on 13 March 2017.

**Engineer's Recommendation:**

- The properties of Roll No. 340-01300 & 340-01400 as listed in the original Schedule of Assessment have since been consolidated into the single property which is the subject of this appeal (Roll No. 340-01350). The total assessed area for 340-01300 & 340-01400 in the original Schedule of Assessment was 14.670 hectares.
- The Hectares Affected for this consolidated property (Roll No. 340-01350) will be reduced to 11.433 hectares as a result of the topographic land survey of this property completed by RC Spencer on 13 March 2017.
- This results in an effective reduction of 3.237 hectares (8.0 acres) to the assessment for this property.
- Through discussions with the Ontario Ministry of Agriculture, Food and Rural Affairs and the Essex Region Conservation Authority we have concluded that there is no accepted standard in Ontario which proves that the total runoff volume from no-till farms are any less than for traditional farming.
- Therefore, with respect to the request to reduce the runoff coefficient for this property (C=1 for agricultural land) to a lower value as a result of Mr. Fittler's no-till farming practices, we have concluded that no revision is required for this property (Roll No. 340-01350).



**Entry Number 7**

**Owner:** Carolyn Stockwell

**Roll Number:** 290-27100

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high, other land or road has been assessed too low, and due consideration has not been given as to type of use of land.  
*Section 15* for Sufficient Outlet

**Appeal:**

- 1) Much of the cost is attributable to the urban development in the southerly reaches of the watershed, and intensification of some agricultural uses in the northerly reaches. Those changes are not fully accounted for in the assessments.

**Comments at Court of Revision (Monday, November 6, 2017):**

- Solicitor Paul Courey was in attendance representing Ms. Stockwell. Ms. Stockwell was also in attendance.
- Mr. Courey stated that in his opinion this is not a drain improvement project; the Drain ends 873 metres before the lake, the ravine is eroding, and there is no language in the report that says there is a problem with the drain.
- Solicitor Courey's opinion is that the only assessment to the owners presently, should be as the drain presently exists (Station 0+873 northward).
- He suggested that the engineer "charge the drain with work done on the drain, and charge the ravine with work that is done on the ravine".

**Site Attendance:**

- RC Spencer Associates attended the Stockwell property on 27 March 2017 and performed a topographic land survey of the property using the Sokkia RC-PR4 Robotic total station.
- Carolyn Stockwell, Lou Zarlenga and Marvel Hormiz (RC Spencer) were all in attendance for this survey.

**Attachments (Maps/Plans/Aerials):**

**Figure 22) Stockwell Overland Flow:**

- This plan shows the
- Ms. Stockwell's property (1777 Road 3E) is highlighted in pink.
- The Esseltine Drain is identified by the light blue dashed line on the left side of the page.
- The direction of overland flow is identified by the yellow arrows.
- The field survey indicates that the storm runoff from the Stockwell property drains overland toward the southwest corner of the property and continues overland to outlet into the Esseltine Drain on the DiMenna farm property (1696 County Road 34).

**Engineer's Recommendation:**

- *Section 1* of the *Drainage Act* defines "sufficient outlet" as a point at which water can be discharged safely so that it will do no damage to lands or roads.
- As identified in Section 2.0 in the Esseltine Drain Report, the work on the Esseltine Drain will include extending the existing Esseltine Drain situated north of County Road 20 (Seacliff Drive) to a sufficient outlet into Lake Erie.
- *Section 15* of the *Drainage Act* identifies that every drainage works constructed under this Act shall be continued to a sufficient outlet.
- Therefore, the Engineer has a duty to extend the drain to a sufficient outlet.
- Where the work is necessary in order to carry the drain to a "sufficient outlet" so that the water can be discharged safely and will do no injury to lands or roads, they are assessable for Outlet Liability.
- It has been determined that the stormwater runoff from the Stockwell property has the ability to flow southwest toward the Esseltine Drain along the DiMenna farm lands as shown in the "Stockwell Overland Flow" aerial map land survey attachment.
- Therefore, we recommend that no revision is required to the assessed area for the Stockwell property (Roll Number 290-27100).

## **Additional Appeals Received at the First Sitting of the Court of Revision**

**Entry Number 8**

**Owner:** Jennifer & Jason Cope

**Roll Number:** 290-09300

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high.

**Appeal:**

- 1) Objects to drain and objects to removal of trees.

**Comments at Court of Revision (Monday, November 6, 2017):**

- Mr. and Mrs. Cope were not in attendance at this Court of Revision.

**Attachments (Maps/Plans/Aerials):**

**Figure 23) Esseltine Drain – Tree Removals:**

- Highlights the trees in their current location represented by a dot for each tree.
- The white dots indicate trees which are going to remain and will not be affected by construction.
- The yellow dots represent trees which may be removed as required for the installation of cable concrete and earth grading.

**Figure 24) 1520 Whitewood Cross-Section:**

- Cross-section of the Esseltine Drain at Station 0+480 which shows the approximate conditions of the Cope property and the location of the proposed cable concrete channel relative to Cope residence.

**Engineer's Recommendation:**

- The Municipality took the initiative to undertake this project under the Drainage Act as a means to stop further erosion and bank failures primarily in the ravine area south of County Road 20.
- Only selected trees that will be in the way of the actual grading and/or cable concrete placement shall be removed.
- All trees will only be cut after a meeting is held with the landowners, the Municipality and the Consulting Engineer to look at the site and be made aware of the reason that each tree needs to be removed.
- We will take extreme diligence in protecting the existing trees during construction so that they are not affected.

**Entry Number 9**

**Owner:** Cristina Porrone

**Roll Number:** 290-22100

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high.  
*Section 22* for the Assessment for Benefit

**Appeal:**

- 1) Why are some people paying more or less? Everyone should be treated the same.

**Site Attendance/Meetings:**

- Meeting held on 31 October 2017 at the RC Spencer Associates Inc. Windsor office.
- Mr. and Mrs. Porrone, Lou Zarlenga and Shane Lafontaine (RC Spencer) were all in attendance for this meeting.
- The purpose of the meeting was to discuss the Porrone's concerns with the Schedule of Assessment in the Esseltine Drain Report for their property (Roll No. 290-22100).

**Attachments (Maps/Plans/Aerials):**

**Figure 25) Drainage Area – Porrone:**

- Identifies the location of the Porrone property (Roll No. 290-22100) highlighted in pink in relation to the Esseltine drainage area highlighted in yellow.
- Shows the portion of the Porrone property abutting the Esseltine Drain from Station 1+616 to Station 2+156.

**Engineer's Recommendation:**

- The calculation for the Value of Benefit for the properties north of the cable concrete installation (north of Station 0+650) shall be reduced by approximately 35%.
- The Total Value of Benefit for the project will be equal to 20% of the Total Project Cost (excluding Special Benefit and Special Assessments).
- This revision results in a Value of Benefit that is more consistent for the larger agricultural properties to the north.

**Entry Number 10**

**Owner:** Erieview Acres Inc.  
2269029 Ontario Limited

**Roll Number:** 290-18350  
290-18400

**Drainage Act Section:** *Section 76(4)* for the development of a new assessment schedule for the drain on the grounds that my/our land has been assessed too high.

**Appeal:**

- 1) Both of Rob Hansen's properties identified above drain 100 percent to the Fleming Wigle Drain and to the Kiwanis Camp.

**Site Attendance:**

- Meeting held on 14 November 2017 at Erieview Acres' Kingsville office located at 1930 Seacliff Drive/County Road 20.
- Rob Hansen and Lou Zarlenga were in attendance for this meeting.
- RC Spencer Associates also attended the site on 14 November 2017 to perform a topographic land survey of the surrounding properties pertinent to the appeal.
- Lou Zarlenga, Shane Lafontaine (RC Spencer) and Robert Botham (RC Spencer) were all in attendance for this survey.
- The topographic land survey was completed using the Sokkia RC-PR4 Robotic total station.

**Attachments (Maps/Plans/Aerials):**

**Figure 26) Drainage Area – ORIGINAL:**

- The original (June 2016) drainage area and lands affected map for the Esseltine Drain.

**Figure 27) Drainage Area – REVISED:**

- The revised drainage area and lands affected map for the Esseltine Drain as modified to remove the two above noted properties from the assessed area.

**Figure 28) Rob Hansen – Bruce D. Crozier Letter (2 Pages):**

- The letter prepared by Bruce D. Crozier on 10 November 2010 which indicates that the entire 2269029 Ontario Limited property (12.32 hectares) is assessed to the Fleming Wigle Drain.
- This letter was previously initiated in order to allow the expansion of your building to proceed. Our findings are in accordance with the information outlined in this Bruce D. Crozier letter.

**Engineer's Recommendation:**

- These two properties shall be completely removed from the Schedule of Assessment as their stormwater runoff drains to the Fleming Wigle Drain.
- This decision is a result of the topographic land survey completed on 14 November 2017 and the above noted letter prepared by Bruce D. Crozier.



## **Additional Revisions Not Discussed at the First Sitting of the Court of Revision**

**Entry Number 11**

**Owner:** Fiorina Capussi

**Roll Number:** 290-08300

**Site Attendance:**

- RC Spencer Associates attended the site on 14 November 2017 to perform a topographic land survey of the surrounding properties.
- Lou Zarlenga, Shane Lafontaine (RC Spencer) and Robert Botham (RC Spencer) were all in attendance for this survey.
- The topographic land survey was completed using the Sokkia RC-PR4 Robotic total station.

**Attachments (Maps/Plans/Aerials):**

**Figure 26) Drainage Area – ORIGINAL:**

- The original (June 2016) drainage area and lands affected map for the Esseltine Drain.

**Figure 27) Drainage Area – REVISED:**

- The revised drainage area and lands affected map for the Esseltine Drain as modified to remove the above noted property from the assessed area.

**Engineer's Recommendation:**

- The Capussi property (Roll No. 290-08300) shall be completely removed from the Schedule of Assessment as their stormwater runoff drains to the Fleming Wigle Drain.

**Entry Number 12**

**Owner:** Maxine & Joseph Knight

**Roll Number:** 290-18300

**Site Attendance:**

- RC Spencer Associates attended the site on 14 November 2017 to perform a topographic land survey of the surrounding properties.
- Lou Zarlenga, Shane Lafontaine (RC Spencer) and Robert Botham (RC Spencer) were all in attendance for this survey.
- The topographic land survey was completed using the Sokkia RC-PR4 Robotic total station.

**Attachments (Maps/Plans/Aerials):**

**Figure 26) Drainage Area – ORIGINAL:**

- The original (June 2016) drainage area and lands affected map for the Esseltine Drain.

**Figure 27) Drainage Area – REVISED:**

- The revised drainage area and lands affected map for the Esseltine Drain as modified to remove the above noted property from the assessed area.

**Engineer's Recommendation:**

- The Knight property (Roll No. 290-18300) shall be completely removed from the Schedule of Assessment as their stormwater runoff drains to the Fleming Wigle Drain.

**Entry Number 13**

**Owner:** Kristopher Klassen & Jennifer Ellwood

**Roll Number:** 340-01405

**Attachments (Maps/Plans/Aerials):**

**Figure 29) Aerial Map Mark-Up – Kristopher Klassen:**

- The strip of land which was originally intended to be used as a driveway and is now being farmed (0.175 hectares) has been highlighted in light blue.
- The remainder of the lot (0.331 hectares) which shall remain designated as residential lands has been highlighted in light green.

**Engineer's Recommendation:**

- A portion of this property (Roll No. 340-01405) that was originally intended to be used as a driveway is now being farmed.
- This property shares the driveway with the neighbouring Fittler property (Roll No. 340-01350).
- We recommend that this area which is being farmed (0.175 hectares) shall be assessed using the agricultural runoff coefficient (C=1)
- The remainder of the lot (0.331 hectares) shall continue to be assessed at the residential runoff coefficient (C=3).

**Entry Number 14**

**Owner:** Gary & Pamela Atkinson

**Roll Number:** 300-32700

**Site Attendance:**

- Lou Zarlenga and Marvel Hormiz (RC Spencer) attended the site on 21 March 2017 to perform a field investigation to determine the outlet for the stormwater runoff for this property located at 1573 County Road 34.
- A sewer camera inspection was completed by Hurricane SMS Inc. on 18 May, 2017 for the enclosed portion of the Esseltine Drain located along the east side of County Road 34.
- Based on this investigation work, it was determined that this property did not have any private connections to this portion of the enclosed Esseltine Drain.

**Attachments (Maps/Plans/Aerials):**

**Figure 30) DRAINAGE AREA – C.R. 34 REVISION:**

- Identifies the four properties (including Roll No. 300-32700) situated at the southeast corner of the County Road 34 and Road 3 East intersection which shall be removed from the Esseltine Drainage Area.

**Engineer's Recommendation:**

- This property does not have any private connections to drain its runoff to the enclosed portion of the Esseltine Drain along the east side of County Road 34.
- The road profile for both County Road 34 and Road 3 East in this area are significantly higher than the Atkinson property such that it would not be possible for overland storm runoff for this property to enter the Esseltine Drain.
- We recommend that this property (Roll No. 300-32700) shall be removed from the Schedule of Assessment for the Esseltine Drain.

**Entry Number 15**

**Owner:** Brian & Jose Bermudes

**Roll Number:** 300-32601

**Site Attendance:**

- Lou Zarlenga and Marvel Hormiz (RC Spencer) attended the site on 21 March 2017 to perform a field investigation to determine the outlet for the stormwater runoff for this property located at 1575 County Road 34.
- A sewer camera inspection was completed by Hurricane SMS Inc. on 18 May, 2017 for the enclosed portion of the Esseltine Drain located along the east side of County Road 34.
- Based on this investigation work, it was determined that this property did not have any private connections to this portion of the enclosed Esseltine Drain.

**Attachments (Maps/Plans/Aerials):**

**Figure 30) DRAINAGE AREA – C.R. 34 REVISION:**

- Identifies the four properties (including Roll No. 300-32601) situated at the southeast corner of the County Road 34 and Road 3 East intersection which shall be removed from the Esseltine Drainage Area.

**Engineer's Recommendation:**

- This property does not have any private connections to drain its runoff to the enclosed portion of the Esseltine Drain along the east side of County Road 34.
- The road profile for both County Road 34 and Road 3 East in this area are significantly higher than the Bermudes property such that it would not be possible for overland storm runoff for this property to enter the Esseltine Drain.
- We recommend that this property (Roll No. 300-32601) shall be removed from the Schedule of Assessment for the Esseltine Drain.

**Entry Number 16**

**Owner:** Jacob & Eva Friesen

**Roll Number:** 300-32701

**Site Attendance:**

- Lou Zarlenga and Marvel Hormiz (RC Spencer) attended the site on 21 March 2017 to perform a field investigation to determine the outlet for the stormwater runoff for this property located at 1567 Road 3 East.
- A sewer camera inspection was completed by Hurricane SMS Inc. on 18 May, 2017 for the enclosed portion of the Esseltine Drain located along the east side of County Road 34.
- Based on this investigation work, it was determined that this property did not have any private connections to this portion of the enclosed Esseltine Drain.

**Attachments (Maps/Plans/Aerials):**

**Figure 30) DRAINAGE AREA – C.R. 34 REVISION:**

- Identifies the four properties (including Roll No. 300-32701) situated at the southeast corner of the County Road 34 and Road 3 East intersection which shall be removed from the Esseltine Drainage Area.

**Engineer's Recommendation:**

- This property does not have any private connections to drain its runoff to the enclosed portion of the Esseltine Drain along the east side of County Road 34.
- The road profile for both County Road 34 and Road 3 East in this area are significantly higher than the Friesen property such that it would not be possible for overland storm runoff for this property to enter the Esseltine Drain.
- We recommend that this property (Roll No. 300-32701) shall be removed from the Schedule of Assessment for the Esseltine Drain.

**Entry Number 17**

**Owner:** Harry & Melisa O'Brien

**Roll Number:** 300-32800

**Site Attendance:**

- Lou Zarlenga and Marvel Hormiz (RC Spencer) attended the site on 21 March 2017 to perform a field investigation to determine the outlet for the stormwater runoff for this property located at 1557 Road 3 East.
- A sewer camera inspection was completed by Hurricane SMS Inc. on 18 May, 2017 for the enclosed portion of the Esseltine Drain located along the east side of County Road 34.
- Based on this investigation work, it was determined that this property did not have any private connections to this portion of the enclosed Esseltine Drain.

**Attachments (Maps/Plans/Aerials):**

**Figure 30) DRAINAGE AREA – C.R. 34 REVISION:**

- Identifies the four properties (including Roll No. 300-32800) situated at the southeast corner of the County Road 34 and Road 3 East intersection which shall be removed from the Esseltine Drainage Area.

**Engineer's Recommendation:**

- This property does not have any private connections to drain its runoff to the enclosed portion of the Esseltine Drain along the east side of County Road 34.
- The road profile for both County Road 34 and Road 3 East in this area are significantly higher than the O'Brien property such that it would not be possible for overland storm runoff for this property to enter the Esseltine Drain.
- We recommend that this property (Roll No. 300-32800) shall be removed from the Schedule of Assessment for the Esseltine Drain.



**Entry Number 18**

**Owner:** Jean Jane Towle

**Roll Number:** 290-10400

**Site Attendance:**

- A visual site inspection was completed on 14 November 2017 to confirm the drainage area of the property.

**Attachments (Maps/Plans/Aerials):**

**Figure 13) Waterfront Parcels – Map ORIGINAL:**

- Aerial parcel mapping with the drainage limits/assessed areas based on the original Schedule of Assessment (June 17, 2016).

**Figure 14) Waterfront Parcels – Map REVISED:**

- Aerial parcel mapping with the revised drainage limits/assessed areas based on the 14 November 2017 site visit.

**Engineer's Recommendation:**

- The majority of the Towle property (1498 Whitewood Road) outlets southerly toward Lake Erie and does not fall within the Esseltine Drainage Area.
- The Hectares Affected for this property (Roll No. 290-10400) shall be reduced from 0.337 hectares to approximately 0.012 hectares.

**Entry Number 19**

**Owner:** John & Louise Wiebe

**Roll Number:** 290-10300

**Site Attendance:**

- A visual site inspection was completed on 14 November 2017 to confirm the drainage area of the property.

**Attachments (Maps/Plans/Aerials):**

**Figure 13) Waterfront Parcels – Map ORIGINAL:**

- Aerial parcel mapping with the drainage limits/assessed areas based on the original Schedule of Assessment (June 17, 2016).

**Figure 14) Waterfront Parcels – Map REVISED:**

- Aerial parcel mapping with the revised drainage limits/assessed areas based on the 14 November 2017 site visit.

**Engineer's Recommendation:**

- The rear yard of the Wiebe property (1500 Whitewood Road) outlets southerly toward Lake Erie and does not fall within the Esseltine Drainage Area.
- The Hectares Affected for this property (Roll No. 290-10300) shall be reduced from 0.377 hectares to approximately 0.142 hectares.

**Entry Number 20**

**Owner:** Jean-Marc Joseph & Isabella Pinsonneault

**Roll Number:** 290-10100

**Site Attendance:**

- A visual site inspection was completed on 14 November 2017 to confirm the drainage area of the property.

**Attachments (Maps/Plans/Aerials):**

**Figure 13) Waterfront Parcels – Map ORIGINAL:**

- Aerial parcel mapping with the drainage limits/assessed areas based on the original Schedule of Assessment (June 17, 2016).

**Figure 14) Waterfront Parcels – Map REVISED:**

- Aerial parcel mapping with the revised drainage limits/assessed areas based on the 14 November 2017 site visit.

**Engineer's Recommendation:**

- The rear yard of the Pinsonneault property (1504 Whitewood Road) outlets southerly toward Lake Erie and does not fall within the Esseltine Drainage Area.
- The Hectares Affected for this property (Roll No. 290-10100) shall be reduced from 0.874 hectares to approximately 0.672 hectares.

**Entry Number 21**

**Owner:** Excalibur Plastics Ltd.

**Roll Number:** 300-32200

**Site Attendance:**

- RC Spencer Associates coordinated a meeting at the Excalibur Plastics property on 30 November 2017 to discuss the Schedule of Assessment for the Esseltine Drain and conduct a field investigation of the property.
- Richard Colasanti, Carly Colasanti, Lou Zarlenga and Shane Lafontaine were all in attendance at this meeting.
- Robert Botham (RC Spencer) attended the site on 2 December 2017 to perform a topographic land survey of the surrounding properties.
- The topographic land survey was completed using the Sokkia RC-PR4 Robotic total station.

**Attachments (Maps/Plans/Aerials):**

**Figure 31) SURVEY – EXCALIBUR:**

- Aerial parcel mapping including the topographic information from the GPS land survey completed on 2 December 2017.
- The direction of stormwater flow is indicated by the yellow arrows.
- The original drainage limit boundary is indicated by a light blue dashed line.
- The revised drainage limit boundary is indicated by the solid green line.

**Figure 32) DRAINAGE AREA – EXCALIBUR:**

- Indicates the revised limits of the drainage area map for the Esseltine Drain.
- The area highlighted in pink (0.704 hectares) shall be removed from the assessment for 1587 County Road 34 (Excalibur Plastics).

**Engineer's Recommendation:**

- The Hectares Affected for the Excalibur Plastics property (Roll No. 300-32200) shall be reduced from 0.765 hectares to 0.061 hectares.

## FIGURES

**List of Supporting Figures in Response to the First Sitting of the Court of Revision**

<b>Figure 1</b>	Keller GPS Survey – Overall Aerial
<b>Figure 2</b>	Keller GPS Survey – Section ‘A-A’
<b>Figure 3</b>	Keller GPS Survey – Section ‘B-B’
<b>Figure 4</b>	Keller GPS Survey – Section ‘C-C’
<b>Figure 5</b>	Keller GPS Survey – Section ‘D-D’
<b>Figure 6</b>	Keller GPS Survey – Section ‘C-C’ – Ponding
<b>Figure 7</b>	Keller Stormwater Modelling Run-Off Volumes
<b>Figure 8</b>	1522 Whitewood Cross-Sections (2 Pages)
<b>Figure 9</b>	Tree Allowances – Leo & Kathy Probe
<b>Figure 10</b>	Allowance Determination
<b>Figure 11</b>	Scott Shilson Quantity Check (3 Pages)
<b>Figure 12</b>	Chart 7 – Allowance for Drainage Works Previously Performed
<b>Figure 13</b>	Waterfront Parcels – Map ORIGINAL
<b>Figure 14</b>	Waterfront Parcels – Map REVISED
<b>Figure 15</b>	DRAINAGE AREA - MUCCI
<b>Figure 16</b>	2017 MAP – MUCCI
<b>Figure 17</b>	Mucci 2017 Greenhouse Map Mark-Up
<b>Figure 18</b>	Chart 1 – Land Summary - Mucci Properties
<b>Figure 19</b>	Chart 2 – Assessment Summary - Mucci Properties
<b>Figure 20</b>	Fittler EXISTING
<b>Figure 21</b>	Fittler REVISED
<b>Figure 22</b>	Stockwell Overland Flow
<b>Figure 23</b>	Esseltine Drain – Tree Removals
<b>Figure 24</b>	1520 Whitewood Cross-Section
<b>Figure 25</b>	Drainage Area – Porrone
<b>Figure 26</b>	Drainage Area – ORIGINAL
<b>Figure 27</b>	Drainage Area – REVISED
<b>Figure 28</b>	Rob Hansen – Bruce D. Crozier Letter (2 Pages)
<b>Figure 29</b>	Aerial Map Mark-Up – Kristopher Klassen
<b>Figure 30</b>	DRAINAGE AREA – C.R. 34 REVISION
<b>Figure 31</b>	SURVEY – EXCALIBUR
<b>Figure 32</b>	DRAINAGE AREA – EXCALIBUR



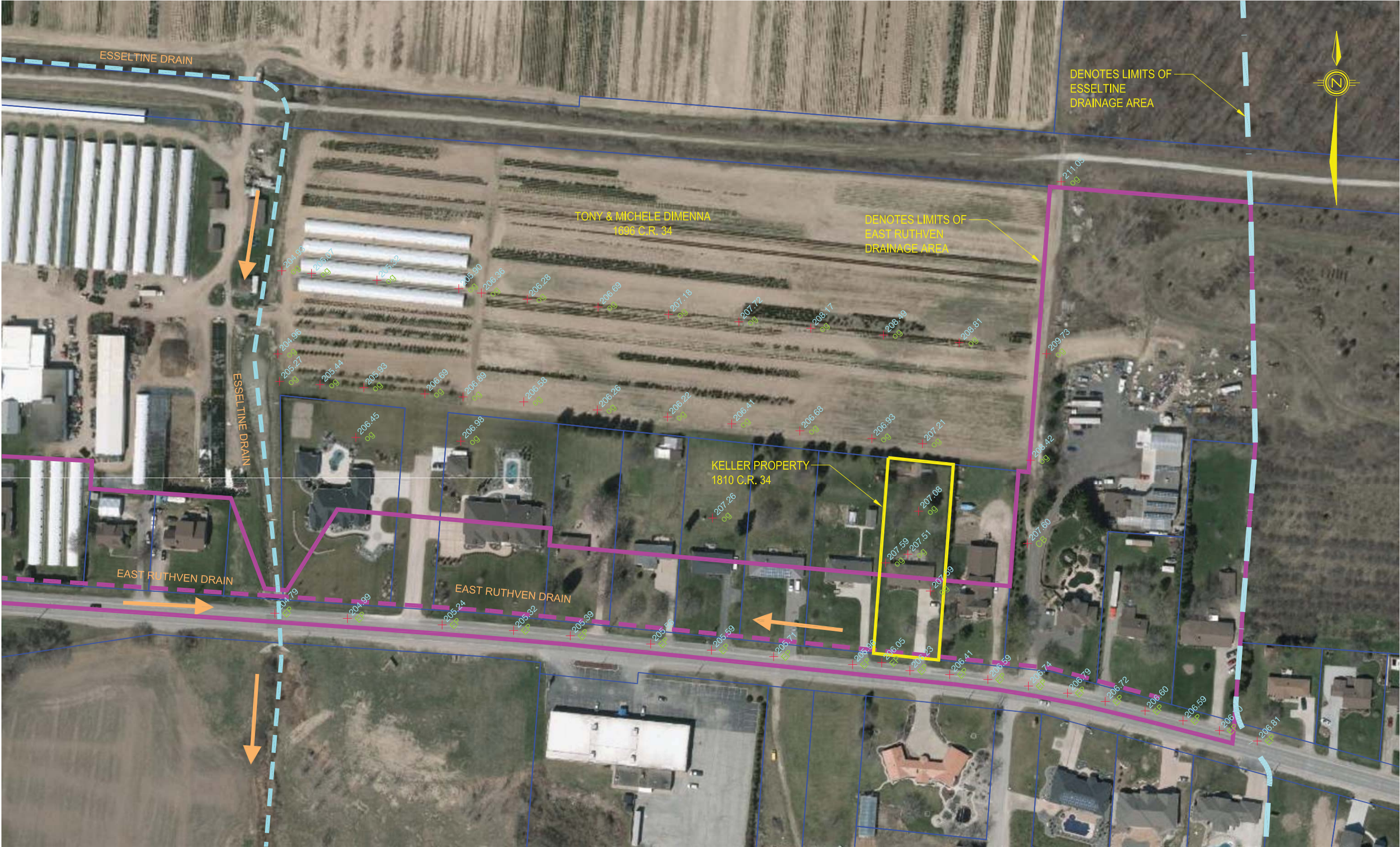
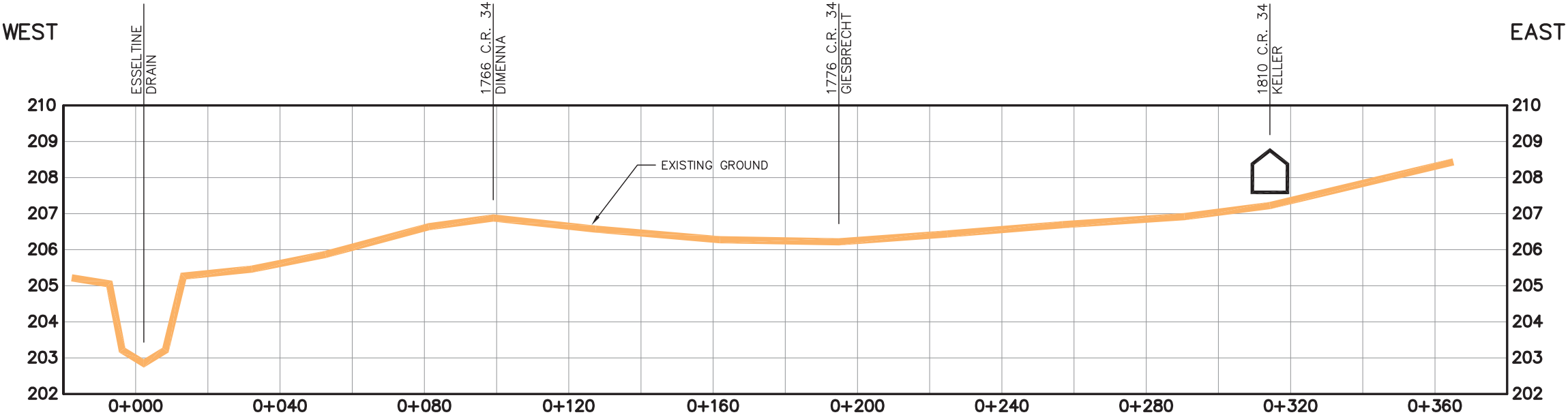


FIGURE 1

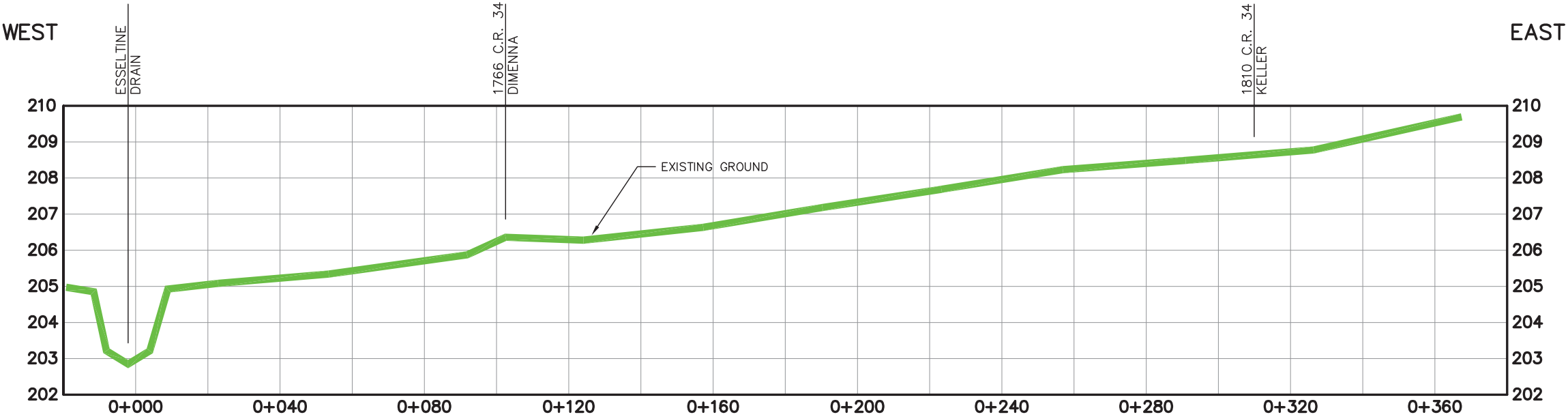




SECTION A-A (REAR PROPERTY LINE OF RESIDENTIAL HOMES)  
(LOOKING NORTH)

FIGURE 2





SECTION B-B (55m NORTH OF REAR PROPERTY LINE)  
(LOOKING NORTH)

FIGURE 3



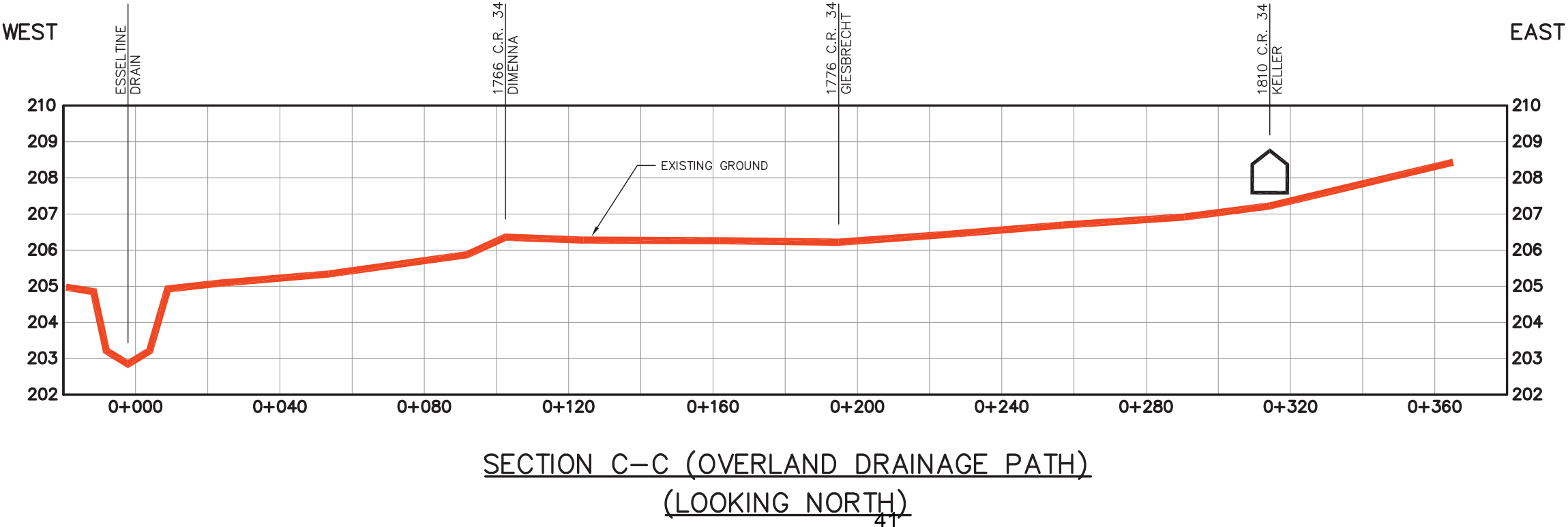


FIGURE 4



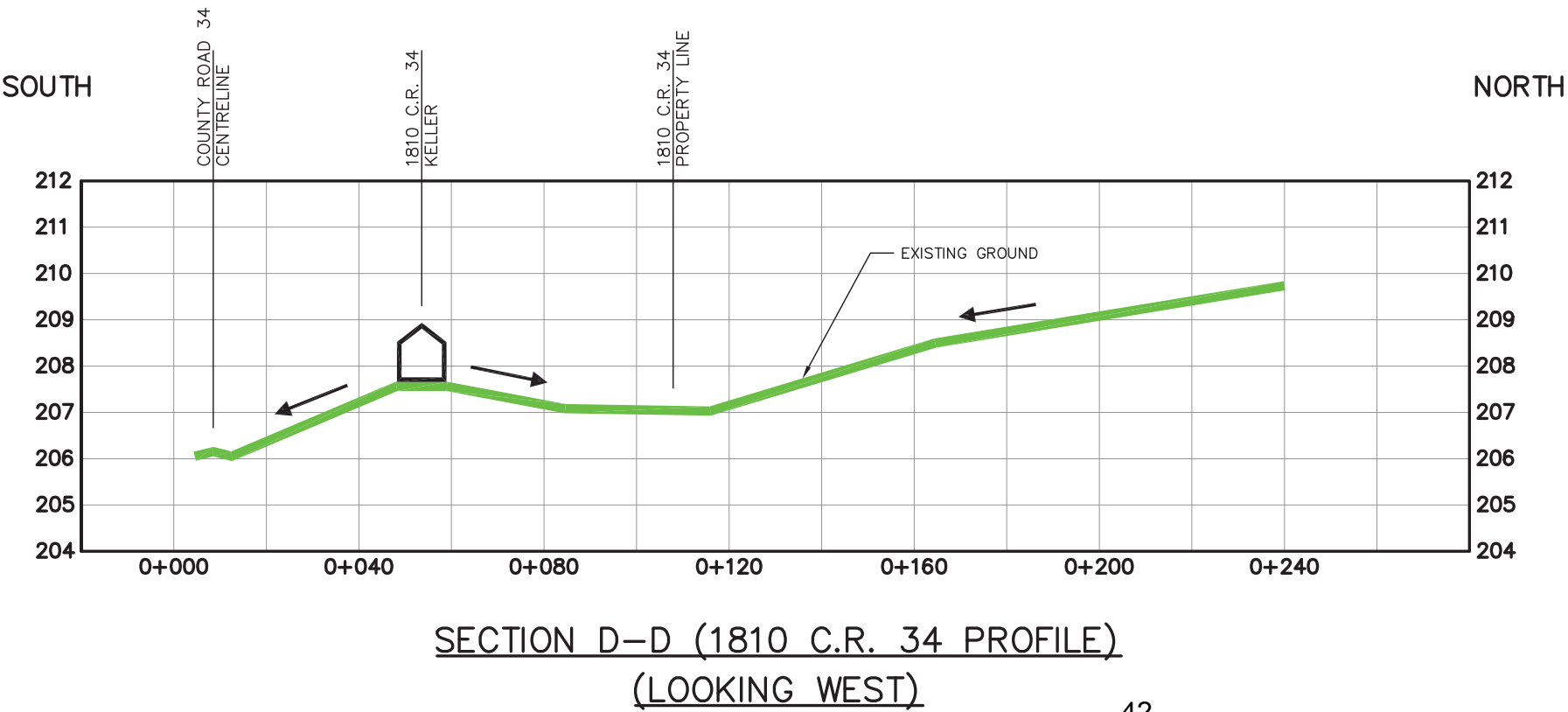
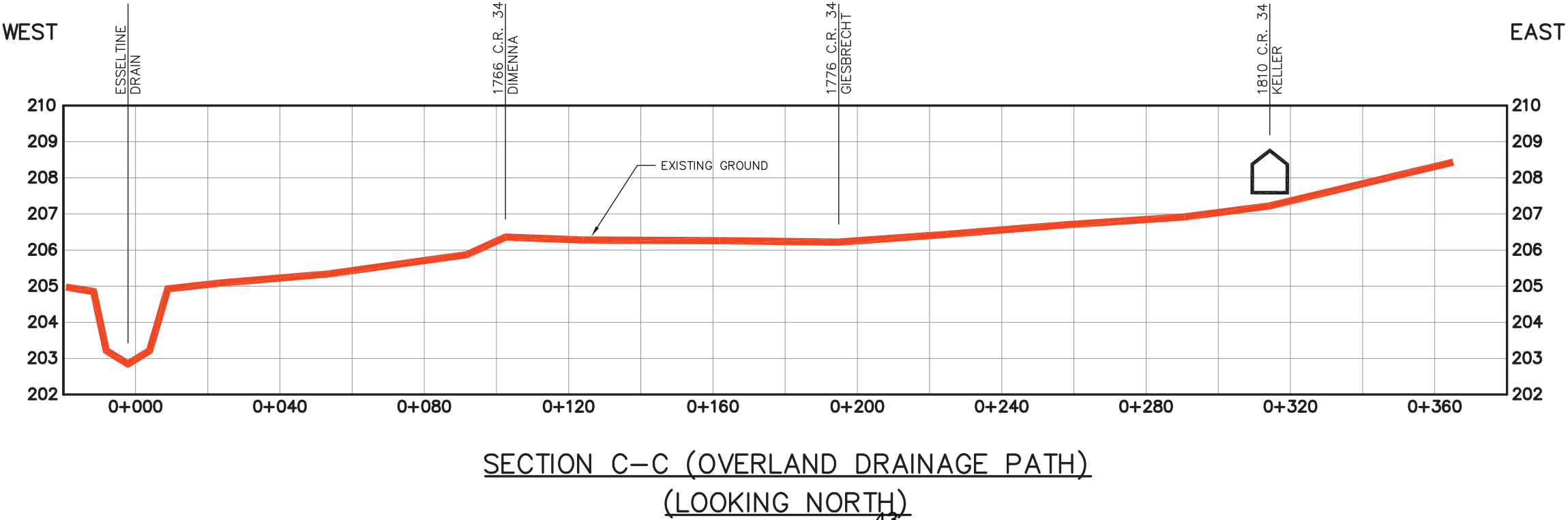
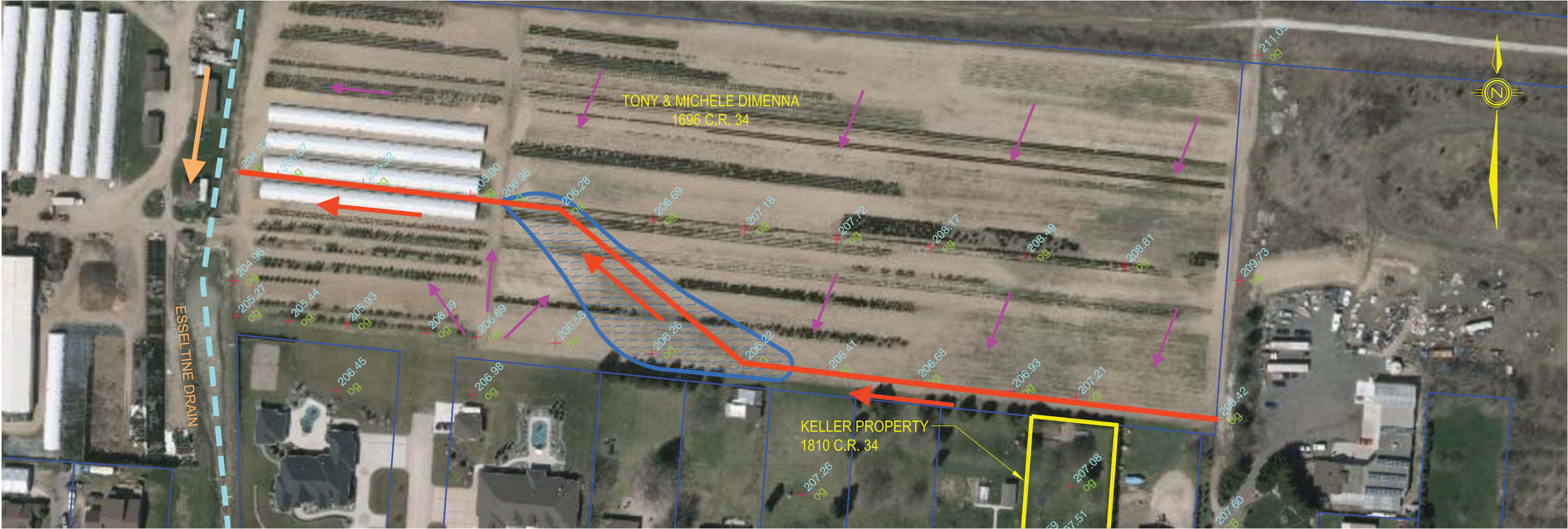


FIGURE 5





APPROXIMATE  
VOLUME OF  
STORM RUNOFF  
RETAINED IN  
LOW AREA OF  
DIMENNA FARM  
LAND

115 CUBIC  
METRES

FIGURE 6

## STORMWATER MODELLING

14-425

### RUN-OFF VOLUME CALCULATIONS

HARRY & GUGLIELMINA KELLER

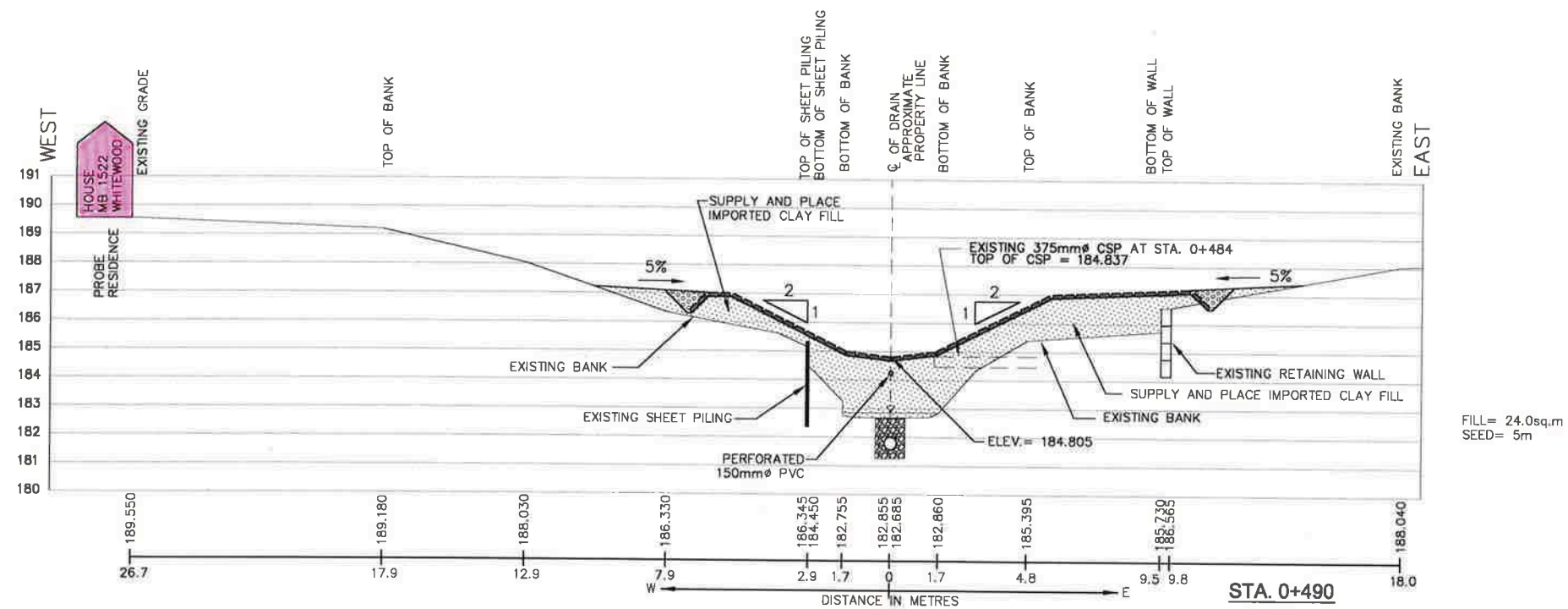
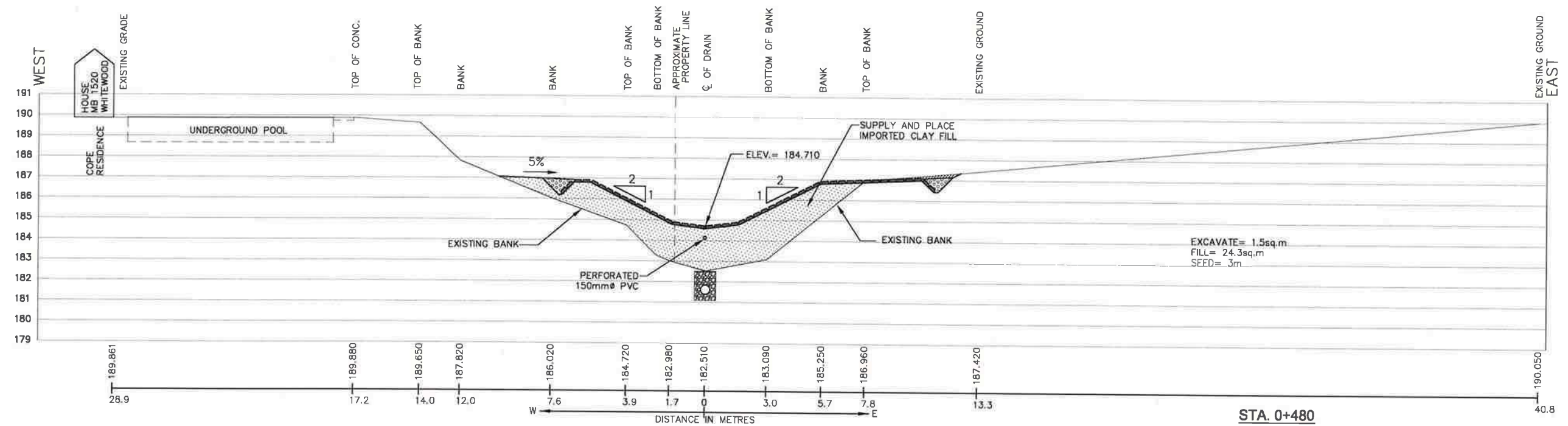
1810 COUNTY ROAD 34

<b>APPROXIMATE RUNOFF VOLUME RETAINED ON DIMENNA LAND</b>	115m <sup>3</sup>
---	-------------------

STORM EVENTS			
FREQUENCY	RAINFALL DEPTH		RUN-OFF VOLUME
1:2 YEAR	53mm	2.1 inch	246m <sup>3</sup>
1:5 YEAR	68mm	2.7 inch	515m <sup>3</sup>
1:25 YEAR	90mm	3.5 inch	1037m <sup>3</sup>
1:100 YEAR	108mm	4.3 inch	1549m <sup>3</sup>

\*Rainfall events creating greater than 115 cubic metres of runoff will be directed overland to the Esseltine Drain as shown on Page 6 of 6 (Overland Drainage Path)





\*EXISTING 375mm DIA. CSP TO BE RECONNECTED INTO NEW FLOW CHANNEL

FIGURE 8a



THIS PLAN HAS BEEN REDUCED IN SIZE FOR PRESENTATION PURPOSES AND THEREFORE IT IS NOT TO THE SCALES INDICATED. A FULL SIZE SET OF DRAWINGS IS AVAILABLE FOR REVIEW AT THE TOWN OFFICE



NO.	REVISION	DATE	BY	APP.
5.				
4.				
3.				
2.				
1.				

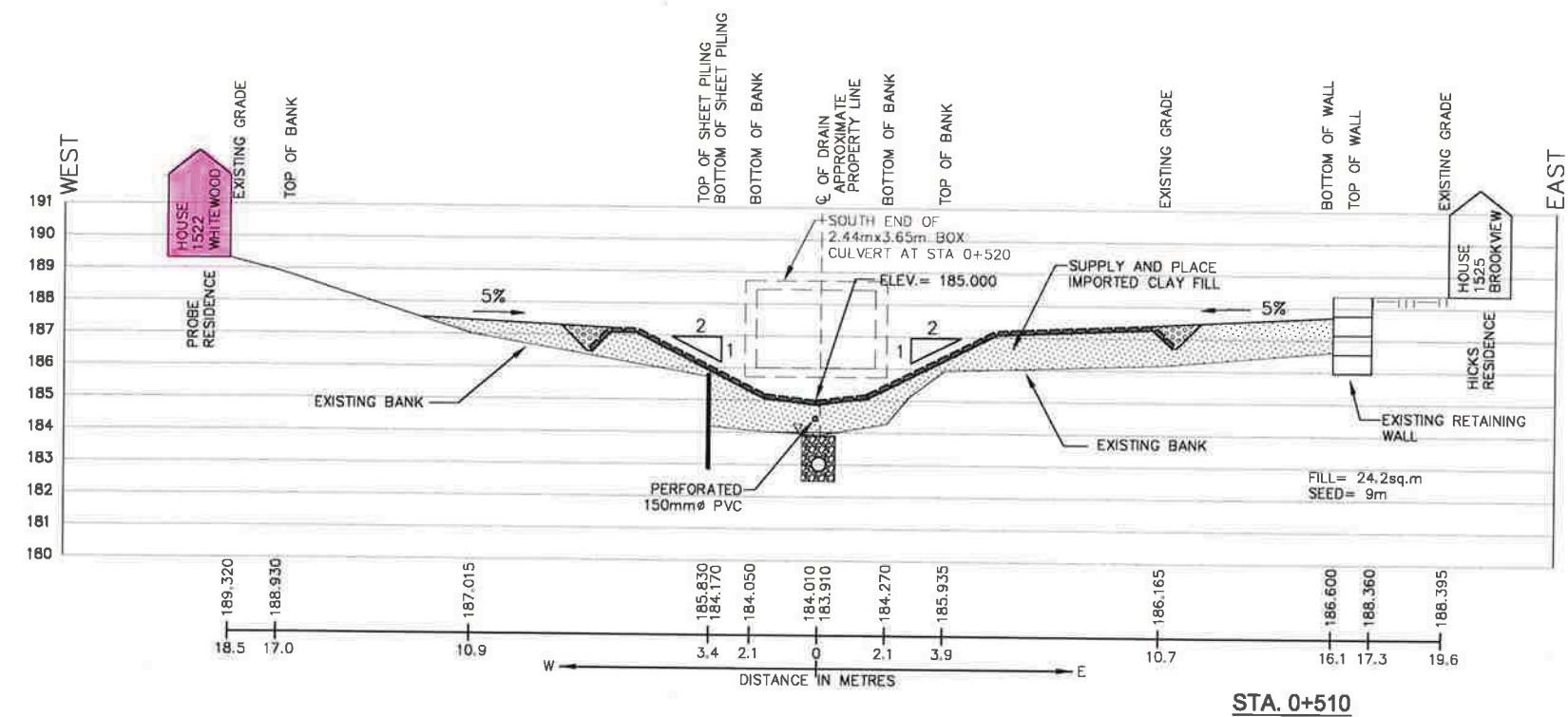
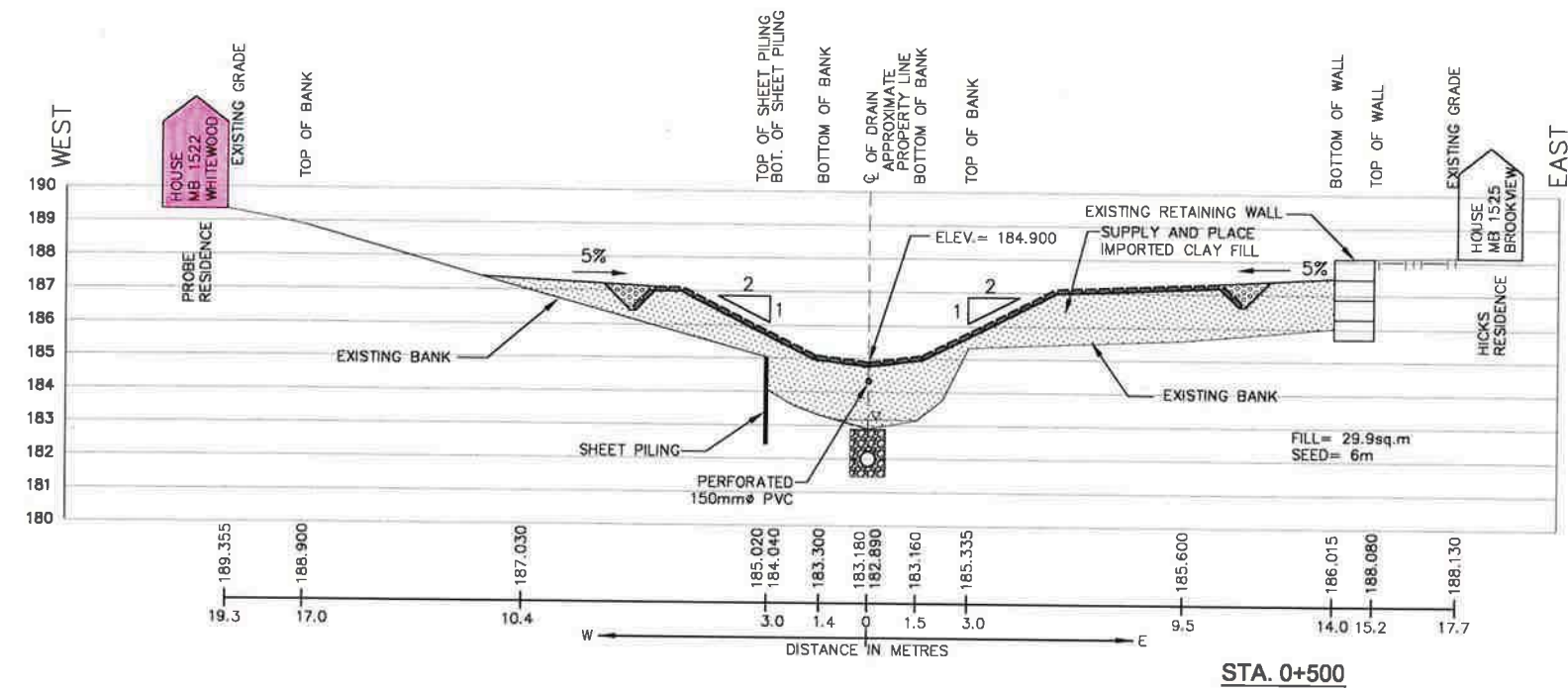
DESIGN	LZ.
CHECKED	A.M.G.
DRAWN	A.A.H.
CHECKED	R.C.S.
DATE	JUNE 17, 2018
SCALE	H=1:100 V=1:100

ESSELTINE DRAIN

CROSS-SECTIONS

STA. 0+475 to STA. 0+490

PROJECT NO.	14-425
SHEET NO.	17
OF	47



#### NOTES:

1. ABANDON STEEL SHEET PILE WALL (CUT TO BELOW CONCRETE MAT - DO NOT REMOVE)
2. REPLACE SEPTIC LATERALS:  
- EXCAVATE AND LOCATE LATERAL  
- REPLACE LATERALS  
- RESTORE YARD
3. TEMPORARY USE OF EXISTING CISTERN FOR PUMPING CONTENTS ON WEEKLY BASIS BY ENVIRONMENTAL CONTRACTOR
4. REMOVAL OF 4 LARGE TREES DUE TO BURYING TREE CROWN ROOTS.

**FIGURE 8b**



THIS PLAN HAS BEEN REDUCED IN SIZE FOR PRESENTATION PURPOSES AND THEREFORE IT IS NOT TO THE SCALES INDICATED. A FULL SIZE SET OF DRAWINGS IS AVAILABLE FOR REVIEW AT THE TOWN OFFICE



5.					DESIGN	L.Z.
4.					CHECKED	A.M.G.
3.					DRAWN	A.A.H.
2.					CHECKED	R.C.S.
1.					DATE	JUNE 17, 2016
NO.	REVISION	DATE	BY	APP.	SCALE	H=1:100 V=1:100

ESSETTINE DRAIN  
CROSS-SECTIONS  
STA. 0+500 to STA. 0+510

PROJECT NO.  
14-425  
SHEET NO.  
18  
OF  
47

Esseltine Drain-Residential Tree Evaluation, Replacement Planting/Compensation

		A	B	C	D	E	F	G	H	I	J	J	K	K	L	M	N
	Property	Category 0 (Dead/Faulty)	Category 1 (10- 25cmDBH)	% of Total	Category 2 (>25cmDBH)	% of Total	Total Trees for Removal	Area of Removals (m2)	Plantable Area (m2)	Replacement Trees	Planted Trees by Area (50mm)	Planted Trees by Area (70mm)	Unplanted Trees by Area (50mm)	Unplanted Trees by Area (70mm)	Estimated Cost of Installation	Estimated Payout to Landowner	Total Project Cost
1	1504 Whitewood Road	2	27	60%	18	40%	45	1962	1200	63	13	8	25	17	\$8,230.00	\$8,285.00	\$16,515.00
2	1506 Whitewood Road	1	6	67%	3	33%	9	263	134	12	1	1	7	3	\$810.00	\$1,915.00	\$2,725.00
3	1508 Whitewood Road+	2	12	60%	8	40%	20	1120	1120	28	8	6	8	6	\$5,560.00	\$2,780.00	\$8,340.00
4	1510 Whitewood Road+	3	6	86%	1	14%	7	517	517	8	8	1	0	0	\$3,260.00	\$0.00	\$3,260.00
5	1512 Whitewood Road	2	2	22%	7	78%	9	470	430	16	2	6	2	6	\$3,460.00	\$1,730.00	\$5,190.00
6	1514 Whitewood Road	2	2	50%	2	50%	4	636	592	6	5	6	0	0	\$4,510.00	\$0.00	\$4,510.00
7	1516 Whitewood Road	4	4	44%	5	56%	9	656	546	14	4	6	2	2	\$4,160.00	\$810.00	\$4,970.00
8	1517 Brookview Drive+	5	18	55%	15	45%	33	1754	1358	48	5	4	21	18	\$3,590.00	\$7,815.00	\$11,405.00
9	1518 Whitewood Road	2	2	33%	4	67%	6	400	400	10	2	5	1	2	\$3,000.00	\$635.00	\$3,635.00
10	1519 Brookview Drive+	3	6	60%	4	40%	10	756	672	14	2	2	6	4	\$1,620.00	\$1,970.00	\$3,590.00
11	1520 Whitewood Road	1	2	18%	9	82%	11	316	316	20	1	5	3	11	\$2,650.00	\$3,055.00	\$5,705.00
12	1521 Brookview Drive+	1	8	62%	5	38%	13	708	635	18	4	3	7	4	\$2,780.00	\$2,145.00	\$4,925.00
13	1522 Whitewood Road	0	4	80%	1	20%	5	349	292	6	4	1	1	0	\$1,860.00	\$175.00	\$2,035.00
14	1523 Brookview Drive+	0	1	14%	6	86%	7	720	596	13	1	5	1	6	\$2,650.00	\$1,555.00	\$4,205.00
15	1525 Brookview Drive+	3	2	22%	7	78%	9	1141	914	16	1	4	2	9	\$2,190.00	\$2,420.00	\$4,610.00
16	1875 County Road 20+	10	9	29%	22	71%	31	2353	2193	53	4	9	12	28	\$5,540.00	\$8,540.00	\$14,080.00
															\$55,870.00	\$43,830.00	\$99,700.00

+ properties with Access Road

C percentage of total reviewed trees within this size category

these percentages are used to calculate number of 50mm cal, replacement trees

E percentage of total reviewed trees within this size category

these percentages are used to calculate number of 70mm cal, replacement trees

F trees on property to be removed to accommodate construction

G area of property to be affected by construction

H area available for planting after construction of channel and access road

properties with access road will be paid out for area of access road including installation

I number of replacement trees calculated per property based on the following:

for Category 1 trees: 1 50mm caliper, wire basket tree

for Category 2 trees: 2 70mm caliper, wire basket trees

J number of trees which can be planted in the area remaining after construction

trees will be planted in a 7.5m X 7.5m on-centre grid pattern

K number of replacement trees which cannot be planted in the area remaining after construction

L replacement cost based on M. Putzer Hornby Nursery Ltd, 2015 Price List

installation cost calculated as 200% of replacement cost

50mm cal., wire basket \$350.00

70mm cal., wire basket \$460.00

M value of trees that cannot be planted due to space restrictions without installation costs

50mm cal., wire basket \$175.00

70mm cal., wire basket \$230.00





**Ticket Summary for Scott Schilson****Project No.: 14-425**

	Material	Total No. of Loads	Total Weight (Tons)	Conversion to Volume (c.m.)	Non-Erodible Volume (c.m.)
1)	Amherst Quarry - 12-24" Rip Rap		778.67	442	442
2A)	South western sales - Granular 'A'		24.65	10	
2B)	South western sales - 3/4" stone		175.97	89	
3A)	Great Northern - Dirt, Sand, Rocks	30		300	30
3B)	Great Northern - Fill, fill sand, 0-7/8 stone	145		1450	
3C)	Great Northern - Fill, fill sand, topsoil	33		330	
4)	Ingratta Farms - Topsoil	21		210	
	<b>Total Material =</b>			<b>2831</b>	<b>472</b>

**\*Non-Erodible Volume of 30 C.M. for the "Great Northern - Dirt, Sand, Rocks" was determined as shown on the attached Summary Pages**

**\*Allowance Rate of \$20.00 per Cubic Metre of Rock Fill is determined as the Same Rate as Imported Clay Fill (\$20.00 per Cubic Metre)**

**\*Total Allowance Calculation for Previous Repairs to Watercourse (Chart 7):  
472 C.M. x \$20.00/C.M. = \$9,440.00**

**FIGURE 11a**

## Breakdown of Ticket Summary for Scott Schilson

### 1) Amherst Quarry - 12-24" Rip Rap

	<u>Loads</u>	<u>Tons</u>		
Aug. 19, 2013	2	42.06	=	24 c.m. *based on 1.76 Tons per c.m.
Aug. 15, 2013	2	39.86	=	23 c.m. *based on 1.76 Tons per c.m.
Aug. 14, 2013	11	232.38	=	132 c.m. *based on 1.76 Tons per c.m.
Aug. 1, 2013	10	209.14	=	119 c.m. *based on 1.76 Tons per c.m.
Aug. 2, 2013	4	86.75	=	49 c.m. *based on 1.76 Tons per c.m.
Aug. 6, 2013	2	41.52	=	24 c.m. *based on 1.76 Tons per c.m.
Aug. 16, 2013	5	107.05	=	61 c.m. *based on 1.76 Tons per c.m.
Jul. 27, 2013	1	19.91	=	11 c.m. *based on 1.76 Tons per c.m.
	<b>37</b>	<b>778.67</b>	=	<b>442 c.m.</b> *based on 1.76 Tons per c.m.

### 2A) South western sales - Granular 'A'

	<u>Loads</u>	<u>Tons</u>		
Jul. 29, 2013		<b>24.65</b>	=	<b>10 c.m.</b> *based on 2.48 Tons per c.m.

### 2B) South western sales - 3/4" stone

	<u>Loads</u>	<u>Tons</u>		
Jul. 24, 2013		24.12	=	12 c.m. *based on 1.98 Tons per c.m.
Jul. 24, 2013		20.45	=	10 c.m. *based on 1.98 Tons per c.m.
Jul. 26, 2013		21.68	=	11 c.m. *based on 1.98 Tons per c.m.
Jul. 25, 2013		21.94	=	11 c.m. *based on 1.98 Tons per c.m.
Jul. 25, 2013		22.14	=	11 c.m. *based on 1.98 Tons per c.m.
Jul. 25, 2013		22.17	=	11 c.m. *based on 1.98 Tons per c.m.
Jul. 23, 2013		21.02	=	11 c.m. *based on 1.98 Tons per c.m.
Jul. 23, 2013		22.45	=	11 c.m. *based on 1.98 Tons per c.m.
		<b>175.97</b>	=	<b>89 c.m.</b> *based on 1.98 Tons per c.m.

### 3A) Great Northern - Dirt, Sand, Rocks

	<u>Loads</u>	<u>Tons</u>		
Aug. 26, 2013	1		Stone	= 10 c.m. *based on 10 c.m. per load
Aug. 28	4		Dirt	= 40 c.m. *based on 10 c.m. per load
Aug. 28	3		Sand	= 30 c.m. *based on 10 c.m. per load
Aug. 29	7		Sand	= 70 c.m. *based on 10 c.m. per load
	1		Rocks	= 10 c.m. *based on 10 c.m. per load
Aug. 29	7		Dirt	= 70 c.m. *based on 10 c.m. per load
Aug. 14	3		Dirt	= 30 c.m. *based on 10 c.m. per load
Aug. 15	3		Sand	= 30 c.m. *based on 10 c.m. per load
	1		Rip Rap	= 10 c.m. *based on 10 c.m. per load
			(from 2nd Conc)	
	<b>30</b>			= <b>300 c.m.</b> *based on 10 c.m. per load

3B) Great Northern - Fill, fill sand, 0-7/8 stone

	<u>Loads</u>	<u>Tons</u>			
Aug. 2	3		Sand	=	30 c.m. *based on 10 c.m. per load
Aug. 2	7		Fill	=	70 c.m. *based on 10 c.m. per load
Aug. 2	7		Fill Sand	=	70 c.m. *based on 10 c.m. per load
Aug. 2	12		Fill	=	120 c.m. *based on 10 c.m. per load
Jul. 30	21		Fill	=	210 c.m. *based on 10 c.m. per load
Aug. 1	3		Dirt	=	30 c.m. *based on 10 c.m. per load
Aug. 1	5		Fill	=	50 c.m. *based on 10 c.m. per load
Jul. 29	16		Fill	=	160 c.m. *based on 10 c.m. per load
Jul. 30	21		Soil	=	210 c.m. *based on 10 c.m. per load
Jul. 30	21		Fill	=	210 c.m. *based on 10 c.m. per load
Jul. 29	13		Dirt	=	130 c.m. *based on 10 c.m. per load
			<i>0-7/8 (from Southwestern)</i>		
Jul. 29	<u>16</u>		Dirt	=	<u>160 c.m.</u> *based on 10 c.m. per load
	<b>145</b>			=	<b>1450 c.m.</b> *based on 10 c.m. per load

3C) Great Northern - Fill, fill sand, topsoil

	<u>Loads</u>	<u>Tons</u>			
Aug. 14	5		Fill Sand	=	50 c.m. *based on 10 c.m. per load
Aug. 13	13		Fill	=	130 c.m. *based on 10 c.m. per load
Aug. 14	2		Sand	=	20 c.m. *based on 10 c.m. per load
			Topsoil /		
Aug. 13	<u>13</u>		Dirt	=	<u>130 c.m.</u> *based on 10 c.m. per load
	<b>33</b>			=	<b>330 c.m.</b> *based on 10 c.m. per load

4) Ingratta Farms - Topsoil

	<u>Loads</u>	<u>Tons</u>			
Sep. 3	3			=	30 c.m. *based on 10 c.m. per load
Sep. 3	4			=	40 c.m. *based on 10 c.m. per load
Aug. 29	3			=	30 c.m. *based on 10 c.m. per load
Aug. 29	5			=	50 c.m. *based on 10 c.m. per load
Aug. 28	2			=	20 c.m. *based on 10 c.m. per load
Aug. 28	<u>4</u>			=	<u>40 c.m.</u> *based on 10 c.m. per load
	<b>21</b>			=	<b>210 c.m.</b> *based on 10 c.m. per load

**ESSELTINE DRAIN**  
**CHART 7 - ALLOWANCES FOR VALUE OF**  
**DRAINAGE WORKS PREVIOUSLY PERFORMED**  
**STATIONS 0+000 TO 0+520**

A) STATIONS 0+000 TO 0+520													
ENTRY NO.	ADDRESS	TAX ROLL NO.	LAND USE	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFT'D	HECTARES AFFT'D	VOLUME OF IMPORTED FILL (C.M.)	ALLOWANCE RATE (\$ / C.M. )	STATIONS	OWNERS NAME	VALUE OF ALLOWANCE
1	1504 Whitewood Rd	290-10100	RESIDENTIAL	1 E.D.	11	2.16	2.16	0.874			0+000 to 0+167	JEAN-MARC JOSEPH & ISABELLA MARGARET PINSONNEAULT	\$ -
2	1506 Whitewood Rd	290-10000	RESIDENTIAL	1 E.D.	11	0.65	0.65	0.261			0+167 to 0+185	STEVEN ROBERT MARCHAND & FELICIA RICO	\$ -
3	1508 Whitewood Rd	290-09900	RESIDENTIAL	1 E.D.	11	0.85	0.85	0.344			0+185 to 0+257	DAVID WALTER & SUSAN LYNN ANNETTE WHITE	\$ -
4	1510 Whitewood Rd	290-09800	RESIDENTIAL	M19	7	0.98	0.98	0.398	472.0	\$20.00	0+257 to 0+300	SCOTT ARNOLD SHILSON	\$ 9,440.00
5	1512 Whitewood Rd	290-09700	RESIDENTIAL	M19	6	0.43	0.43	0.172			0+310 to 0+333	DAVID ANDREW DANN	\$ -
6	1514 Whitewood Rd	290-09600	RESIDENTIAL	M19	5	0.42	0.42	0.168			0+333 to 0+370	JIN ZHU	\$ -
7	1516 Whitewood Rd	290-09500	RESIDENTIAL	M19	4	0.51	0.51	0.207			0+370 to 0+415	GEOFFREY BROOK GARDNER & JENNIFER ISOBEL FRASER	\$ -
8	1518 Whitewood Rd	290-09400	RESIDENTIAL	M19	3	0.40	0.40	0.160			0+415 to 0+455	JONI LYNN BALTZER	\$ -
9	1520 Whitewood Rd	290-09300	RESIDENTIAL	M19	2	0.35	0.35	0.142			0+455 to 0+490	JASON VERN & JENNIFER SUSAN S COPE	\$ -
10	1522 Whitewood Rd	290-09200	RESIDENTIAL	M19	1	0.31	0.31	0.127			0+490 to 0+520	LEO & KATHY PROBE	\$ -
11	1517 Brookview Dr	290-09100	RESIDENTIAL	1 E.D.	11	1.07	1.07	0.434			0+235 to 0+345	CONNIE-JEAN LATAM	\$ -
12	1519 Brookview Dr	290-09000	RESIDENTIAL	1 E.D.	11	0.61	0.61	0.248			0+345 to 0+390	DEBORAH LORI & EDMOND JULIEN ROLLIER	\$ -
13	1521 Brookview Dr	290-08900	RESIDENTIAL	1 E.D.	11	0.47	0.47	0.190			0+390 to 0+428	GREGORY & VICKI CALCOTT	\$ -
14	1523 Brookview Dr	290-08800	RESIDENTIAL	1 E.D.	11	0.44	0.44	0.178			0+428 to 0+453	JAMES ERNEST & SHIRLEY ANNE JENSEN	\$ -
15	Brookview Dr	290-08700	RESIDENTIAL	1 E.D.	11	0.37	0.37	0.150			0+453 to 0+486	PHYLLIS MARIE HICKS	\$ -
16	1525 Brookview Dr	290-08600	RESIDENTIAL	1 E.D.	11	0.34	0.34	0.138			0+486 to 0+520	RICHARD CLARE & PHYLLIS MARIE HICKS	\$ -
17	1875 County Rd 20	290-08401	AGRICULTURAL	1 E.D.	11	9.38	9.38	3.796			0+000 to 0+230	(2462284 ONTARIO INC) ANNA'S GREENHOUSES	\$ -
Total Affected Lands							19.74	7.987	Total Allowance				\$ 9,440.00

The "VOLUME OF IMPORTED FILL" is made up of the following components:  
1) Volume of previously installed approved rock fill material from Station 0+257 to 0+300 in the existing natural watercourse

\*Allowance Rate of \$20.00 per Cubic Metre of Rock Fill is determined as the Same Rate as Imported Clay Fill (\$20.00 per Cubic Metre)



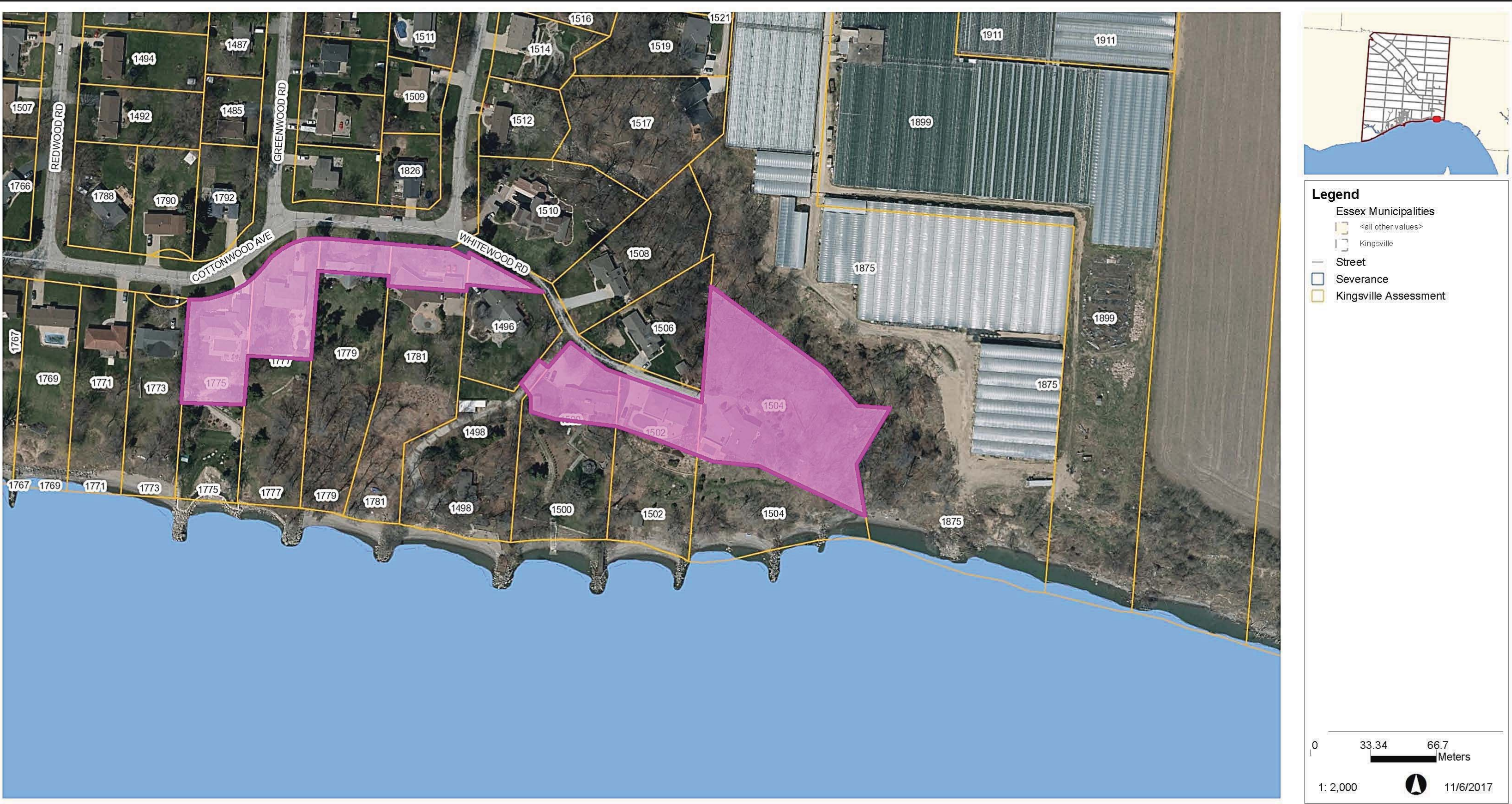


**Notes**  
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**FIGURE 13**



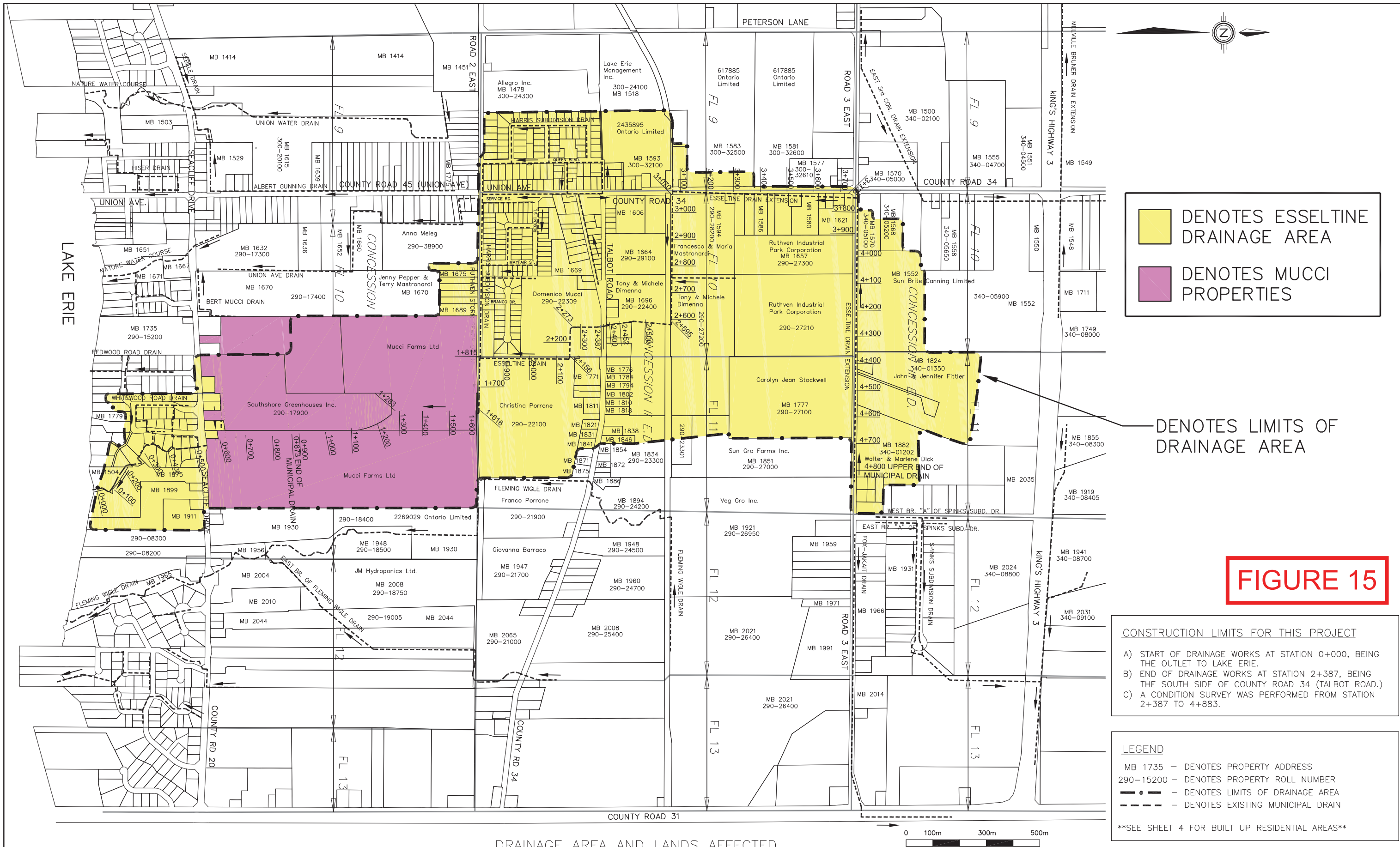


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**FIGURE 14**









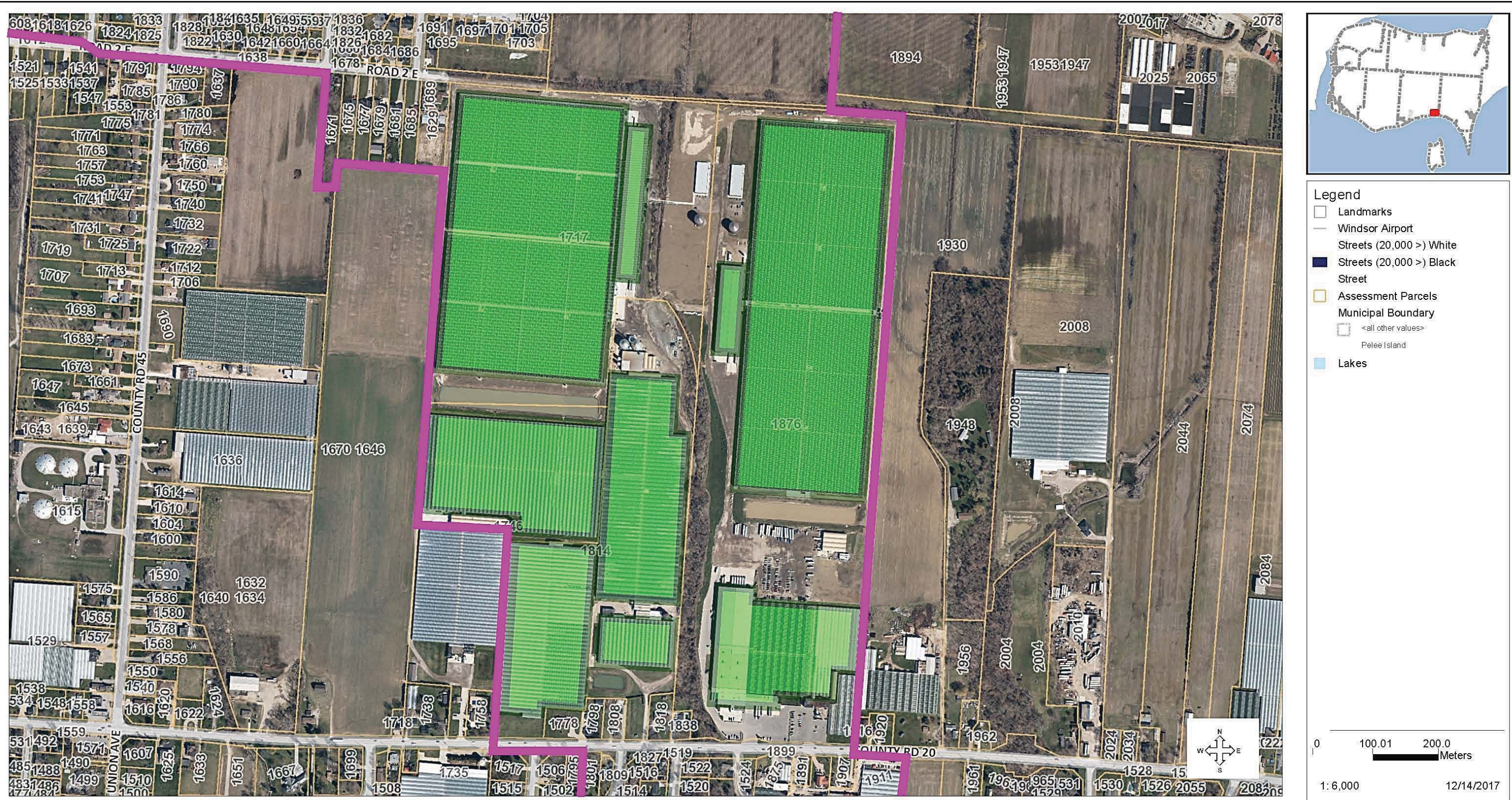
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FIGURE 16





Notes

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CHART 1 - SUMMARY OF LAND AREAS  
BERT MUCCI APPEAL PROPERTIES

14-425

TAX ROLL NO.	OWNERS NAME	ACRES OWNED	ACRES AFFT'D	HECTARES AFFT'D	RUNOFF COEFFICIENT				Equivalent Hectares* (Ha)	Average Runoff Coefficient	Value of Outlet Liability in Original Assessment	Outlet Liability per Equivalent Agricultural Hectare
					10	9	8	1				
					Roof/ Greenhouse Area (Ha)	Asphalt/ Concrete Area (Ha)	Gravel Area (Ha)	Grass/Farm/ Open Drain Area (Ha)				
290-38700	MUCCI FARMS LTD	47.78	47.78	19.336	12.436		0.921	5.979	137.707	7.12	\$324,756	\$2,358
290-18200	MUCCI FARMS LTD	72.49	72.49	29.336	16.828	0.722	5.948	5.838	228.200	7.78	\$493,320	\$2,162
290-17900	SOUTHSHORE GREENHOUSES INC	32.20	32.20	13.031	9.286		0.732	3.013	101.729	7.81	\$219,916	\$2,162
290-17601	1382296 ONTARIO LIMITED	24.48	14.79	5.985	4.902			1.083	50.103	8.37	\$103,389	\$2,064

- 1) All of the values listed in this table are relative to the original Schedule of Assessment dated 17 June 2016.
- 2) Equivalent Hectares noted above are calculated by multiplying all of the land areas by their respective runoff coefficients as follows:  
Example for Roll No. 290-38700  
 $(12.436 \text{ Ha} \times 10) + (0.921 \text{ Ha} \times 8) + (5.979 \text{ Ha} \times 1) = 137.707 \text{ Hectares}$
- 3) Value of Outlet Liability noted above is calculated by multiplying the Equivalent Hectares by the Outlet Factor and the Equivalent Agricultural Rate per Hectare as follows:  
Example for Roll No. 290-38700  
Equivalent Hectares = 137.707 Hectares  
Outlet Factor = 1.6 (Value between 1 and 2 determined by location of each land parcel along the length of the Drain)  
Equivalent Agricultural Rate per Hectare = \$1,473.95/Hectare  
 $137.707 \text{ Hectares} \times 1.6 \times \$1,473.95/\text{Hectare} = \$324,756$

CHART 2 - SUMMARY OF PROPERTY ASSESSMENTS  
BERT MUCCI APPEAL PROPERTIES

14-425

TAX ROLL NO.	OWNERS NAME	ACRES OWNED	ACRES AFFT'D	HECTARES AFFT'D	Value of Original Total Assessment			Value of Assessment including Court of Revision Changes			Value of New Assessment including Revised Benefit Liability		
					Benefit	Outlet	Sp. Benefit	Benefit	Outlet	Sp. Benefit	Benefit	Outlet	Sp. Benefit
290-38700	MUCCI FARMS LTD	47.78	47.78	19.336	\$214,417	\$324,756		\$214,873	\$333,993		\$137,321	\$381,706	
290-18200	MUCCI FARMS LTD	72.49	72.49	29.336	\$325,305	\$493,320	\$6,600	\$325,997	\$507,351	\$6,000	\$208,339	\$579,830	\$6,000
290-17900	SOUTHSHORE GREENHOUSES INC	32.20	32.20	13.031	\$144,500	\$219,916	\$8,000	\$144,807	\$226,171	\$8,000	\$92,544	\$258,482	\$8,000
290-17601	1382296 ONTARIO LIMITED	24.48	14.79	5.985		\$103,389			\$106,329			\$121,519	
TOTAL					\$684,222	\$1,141,381	\$14,600	\$685,677	\$1,173,844	\$14,000	\$438,204	\$1,341,537	\$14,000
					\$1,840,203			\$1,873,521			\$1,793,741		



- a) The column highlighted in Red shows the Total Assessment for all four of the Mucci properties as per the Original Schedule of Assessment dated 17 June 2016.
- b) The column highlighted in Green shows the Total Assessment for all four of the Mucci properties after applying the required revisions to all of the other properties to address the appeals as requested by the Court of Revision members.
- c) The last column highlighted in Blue shows the final recommended Total Assessment for all four of the Mucci properties after applying the reduction to the Value of Benefit as outlined in our recommendation.

As a result of all of the appeals (approximately 14) made by other residents in the Esseltine Drain drainage area, the increase to the four Mucci properties was \$33,318. As a result of the revision to the Value of Benefit, the assessment to these four properties reduced by \$79,780. Therefore, the net effect to these four properties is an overall reduction of \$46,462 when compared to the original Schedule of Assessment included with the Esseltine Drain Report dated 17 June 2016.

Please note that the overall reduction of \$46,462 for the four Mucci properties is a combination of a reduction of \$246,618 to the Benefit Assessment and an increase of \$200,156 to the Outlet Assessment.

Please note that a reduction to the assessment of any parcels will result in an equivalent increase evenly distributed to all properties in the Esseltine Drainage area.

FIGURE 19





FIGURE 20





FIGURE 21





FIGURE 22





- LEGEND**
- DENOTES EXISTING CENTERLINE OF NATURAL WATERCOURSE
  - DENOTES NEW COVERED DRAIN
  - DENOTES PROPOSED NEW DRAIN ALIGNMENT
  - DENOTES TOP OF EXISTING RAVINE
  - DENOTES EXISTING TREE
  - DENOTES EXISTING TREE TO BE REMOVED
  - DENOTES NEW MAINTENANCE CORRIDOR
  - DENOTES APPROXIMATE WORK ZONE LIMIT

**FIGURE 23**

THIS PLAN HAS BEEN REDUCED IN SIZE FOR PRESENTATION PURPOSES AND THEREFORE IT IS NOT TO THE SCALES INDICATED. A FULL SIZE SET OF DRAWINGS IS AVAILABLE FOR REVIEW AT THE TOWN OFFICE

**RC SPENCER ASSOCIATES INC.**  
Consulting Engineers

261 Sheppard Street E.  
Windsor, ON N9X 2G6  
Phone (519) 946-1122

18 Talbot St. W.  
Leamington, ON N8L 1M4  
Phone (519) 324-0656

5.					
4.					
3.					
2.					
1.					
NO.	REVISION	DATE	BY	APP.	

DESIGN L.Z.

CHECKED A.M.G.

DRAWN A.A.H.

CHECKED R.C.S.

DATE JUNE 17, 2016

SCALE 1" = 500'

ESSELTINE DRAIN

**TREE REMOVALS**

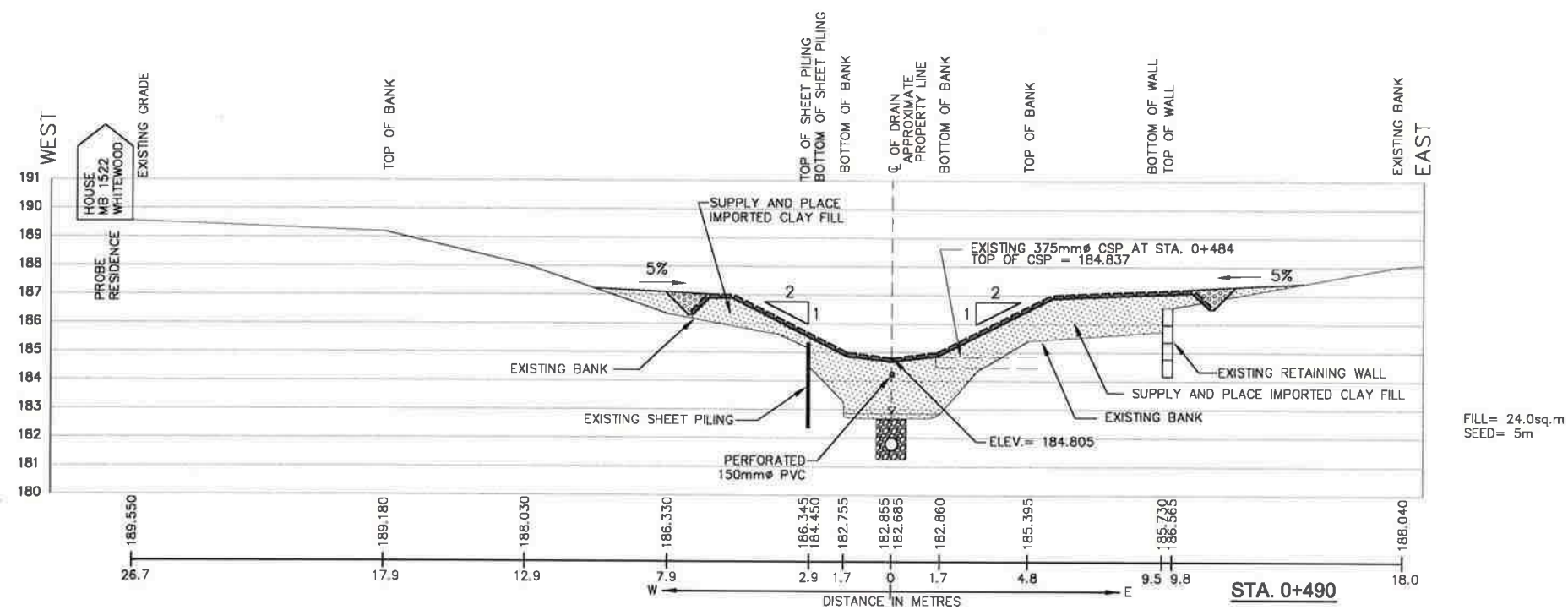
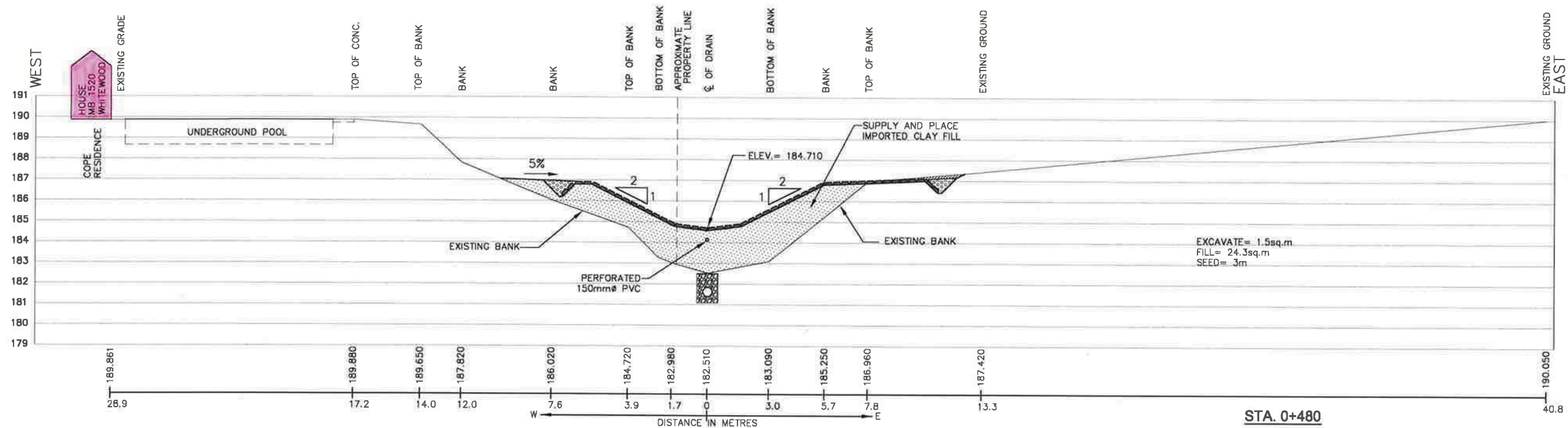
(REVISED FEBRUARY 2017)

PROJECT NO. 14-425

SHEET NO. FIG. 1

OF 47





\*EXISTING 375mm DIA. CSP TO BE RECONNECTED INTO NEW FLOW CHANNEL

FIGURE 24



THIS PLAN HAS BEEN REDUCED IN SIZE FOR PRESENTATION PURPOSES AND THEREFORE IT IS NOT TO THE SCALES INDICATED. A FULL SIZE SET OF DRAWINGS IS AVAILABLE FOR REVIEW AT THE TOWN OFFICE



NO.	REVISION	DATE	BY	APP.
5.				
4.				
3.				
2.				
1.				
DESIGN	L.Z.			
CHECKED	A.M.G.			
DRAWN	A.A.H.			
CHECKED	R.C.S.			
DATE	JUNE 17, 2016			
SCALE	H=1:100 V=1:100			

ESSELTINE DRAIN

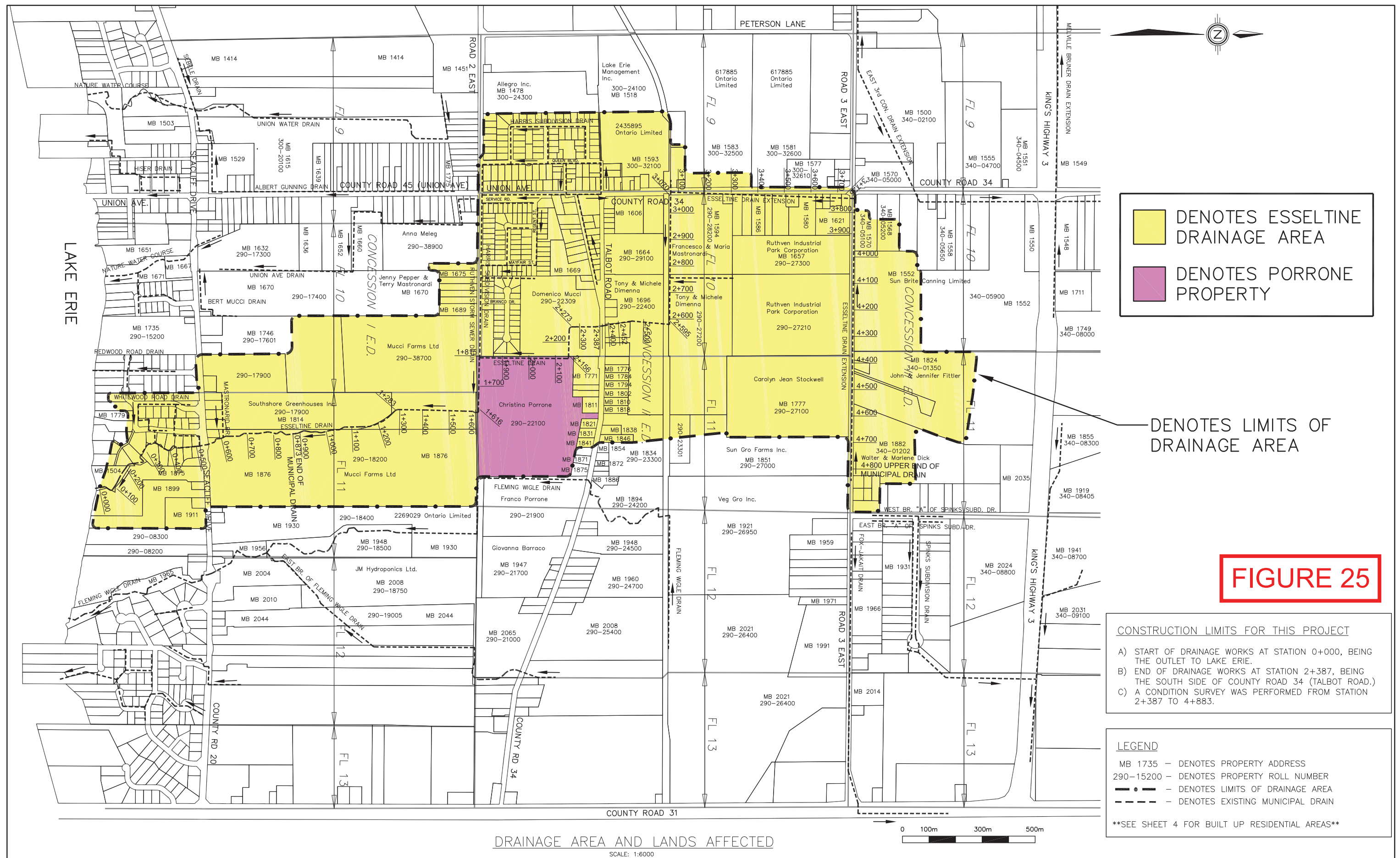
CROSS-SECTIONS

STA. 0+475 to STA. 0+490

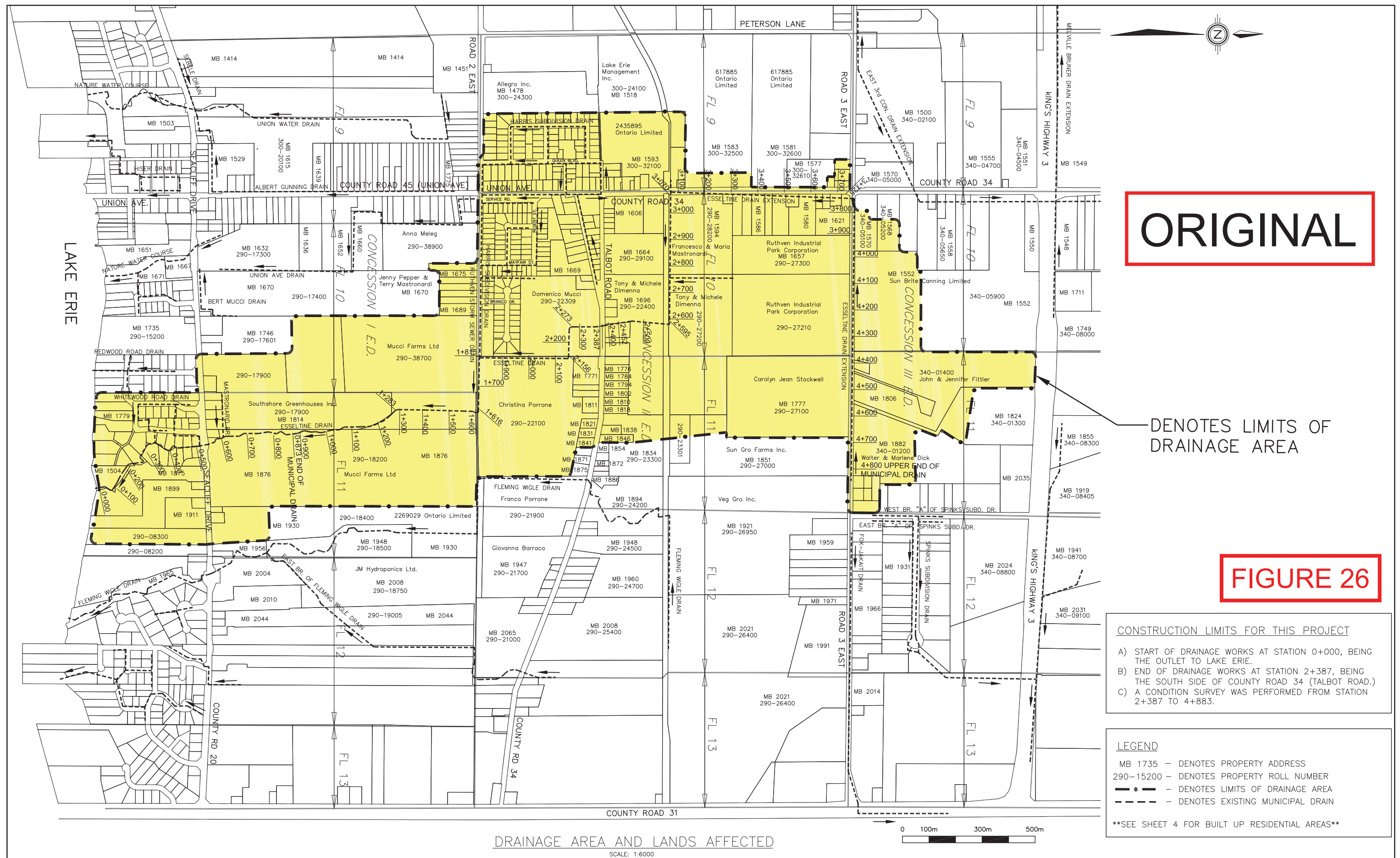
PROJECT NO.  
14-425

SHEET NO.  
17

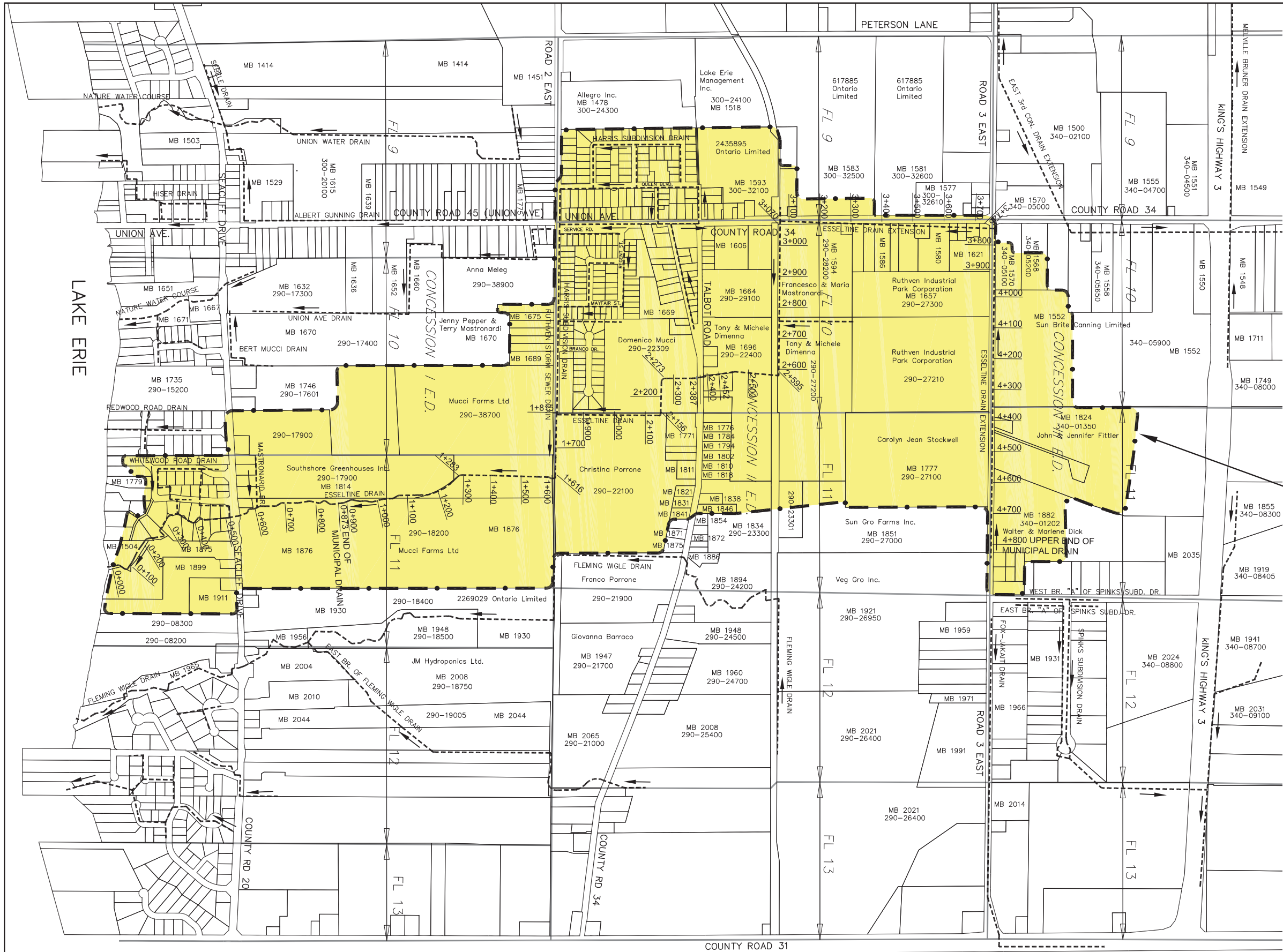
OF  
47











REVISED

DENOTES LIMITS OF DRAINAGE AREA

FIGURE 27

- CONSTRUCTION LIMITS FOR THIS PROJECT
- A) START OF DRAINAGE WORKS AT STATION 0+000, BEING THE OUTLET TO LAKE ERIE.
  - B) END OF DRAINAGE WORKS AT STATION 2+387, BEING THE SOUTH SIDE OF COUNTY ROAD 34 (TALBOT ROAD.)
  - C) A CONDITION SURVEY WAS PERFORMED FROM STATION 2+387 TO 4+883.

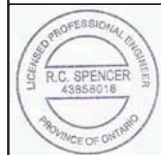
LEGEND

- MB 1735 - DENOTES PROPERTY ADDRESS
- 290-15200 - DENOTES PROPERTY ROLL NUMBER
- - - - - DENOTES LIMITS OF DRAINAGE AREA
- - - - - DENOTES EXISTING MUNICIPAL DRAIN

\*\*SEE SHEET 4 FOR BUILT UP RESIDENTIAL AREAS\*\*

DRAINAGE AREA AND LANDS AFFECTED

SCALE: 1:6000



THIS PLAN HAS BEEN REDUCED IN SIZE FOR PRESENTATION PURPOSES AND THEREFORE IT IS NOT TO THE SCALES INDICATED. A FULL SIZE SET OF DRAWINGS IS AVAILABLE FOR REVIEW AT THE TOWN OFFICE



5.				DESIGN	L.Z.
4.				CHECKED	A.M.G.
3.				DRAWN	A.A.H.
2.				CHECKED	R.C.S.
1.				DATE	JUNE 17, 2016
NO.	REVISION	DATE	BY	APP.	SCALE 1:6000

PROJECT NO.	14-425
SHEET NO.	2
OF	47
ESSELTINE DRAIN DRAINAGE AREA AND LANDS AFFECTED	



**BRUCE D. CROZIER ENGINEERING INC.**

**CONSULTING ENGINEER**

**99 QUEENS AVENUE, SUITE 1  
LEAMINGTON, ONTARIO N8H 3H1**

**(519)326-6161 FAX(519)326-6162**

**bdceng@bellnet.ca**

November 10, 2010

Erievue Acres Inc.  
1930 Seaclyff Drive  
Kingsville, Ontario  
N9Y 2N1

ATTENTION: Mr. Rob Hansen

Dear Rob

SUBJECT: Proposed Building Expansion  
at 1930 Seaclyff Drive  
In the Town of Kingsville  
Our File Reference BC-10-045

We have had an opportunity to attend the above noted site to investigate the ground coverage and the drainage system which exists at the site.

There is a total of 0.95 ha of existing buildings located on the site, it is proposed to build an additional 0.039 ha of buildings which would increase the total to 0.989 ha (2.44 acres) of buildings. The area of the total site is (30.45 acres) 12.32 ha which means the current and proposed building area will only be 8% of the total area of the site.

The site has a number of catchwater basins and piping throughout the built-up area, there appears to be two (2) main outlet tiles from the site to the Fleming Wigle Drain which is located on the property immediately to the east of the subject property.

The property is assessed into the Fleming Wigle Drain therefore the outlet pipes into the drain are correct.

It is our understanding that you intend to construct a small addition onto the existing building structures at the north end of your buildings. The total building expansion will be 0.039 ha made up as follows:

$$= 7.3 \times 35 + 5.5 \times 25.60$$

$$= 255.5 + 140.80$$

$$= 396.3 \text{ sq. metres}$$

$$= 0.039 \text{ ha}$$




The proposed addition is only a small fraction of the existing building coverage or of the size that could be developed on the site.

We would recommend that the addition be constructed without having to construct a stormwater management facility, however, the runoff from the roof area of the new building must drain towards the existing catchwater basins or additional catchwater basins be installed to make sure all of the roof rain water will be discharged to the existing outlet tiles from the site.

Trusting you will find the above satisfactory, however, if you have any questions please contact the writer accordingly, I remain,

Sincerely,

**BRUCE D. CROZIER ENGINEERING INC.**



Bruce D. Crozier, P. Eng.

BDC/mg



## Legend

- Essex Municipalities
- <all other values>
  - Kingsville
  - Street
  - Severance
  - Kingsville Assessment

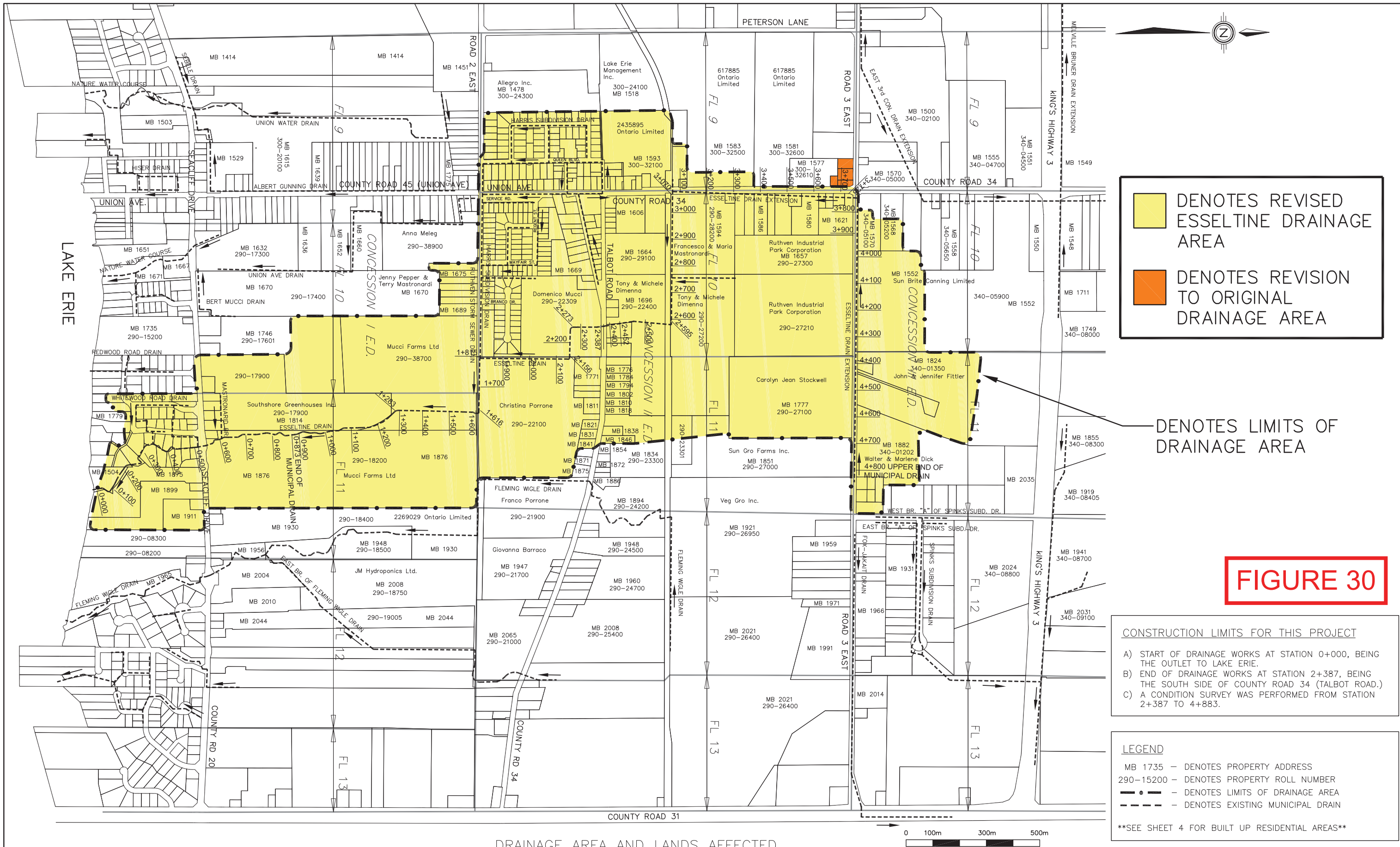
## FIGURE 29

Notes  
Enter Map Description

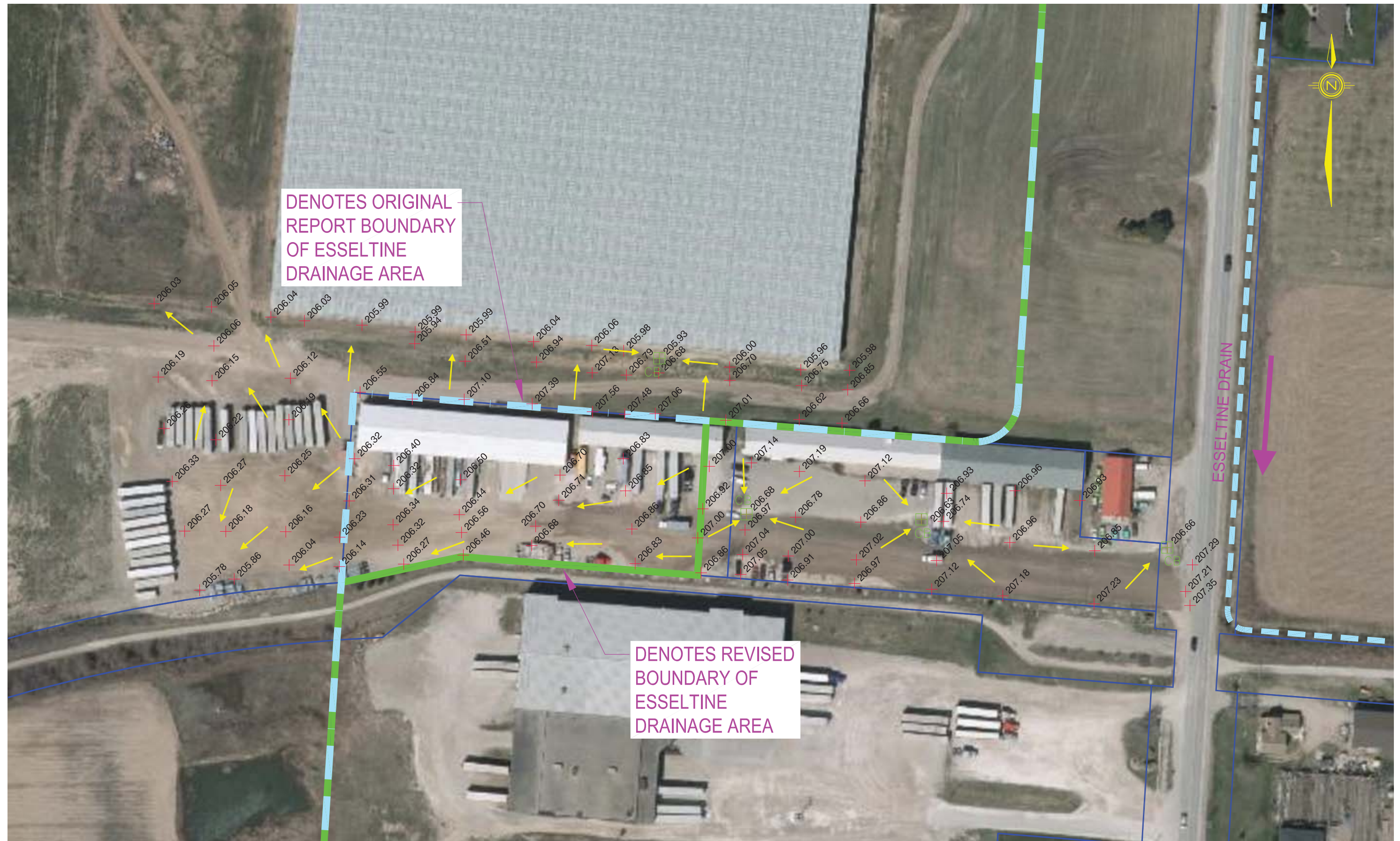
THIS MAP IS NOT TO BE USED FOR NAVIGATION  
Copyright the Corporation of the County of Essex, 2012. Data herein is provided by the Corporation of the County of Essex on an 'as is' basis. Assessment parcel provided by Teranet Enterprises Inc. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

0 33.34 66.7 Meters  
1: 2,000  2/28/2017















## **COURT OF REVISION**

### **MINUTES**

**Monday, November 6, 2017**

**7:00 PM**

**Unico Community Centre**

**37 Beech Street**

**Kingsville, ON N9Y 1A9**

Members of the Court: Nelson Santos  
Gord Queen  
Thomas Neufeld  
Larry Patterson  
Susanne Coghill

Members of Administration Jennifer Astrologo, Director of Corporate Services/Clerk  
Sandra Kitchen, Deputy Clerk-Council Services  
Director of Financial Services S. Zwiers  
Director of Municipal Services A. Plancke  
Public Works Manager S. Martinho  
Public Works Supervisor/Engineering Coordinator R. Mackie  
Drainage Superintendent K. Vegh  
CAO Peggy Van Mierlo-West

#### **A. OPENING COURT OF REVISION**

Chairman Santos opened the Court at 7:20 p.m.

#### **B. DISCLOSURE OF PECUNIARY INTEREST**

Chairman Santos reminded the members that any declaration is to be made prior to each item being discussed and to identify the nature of the conflict, if any, as the agenda items come forward.

### **C. PURPOSE OF THE MEETING**

The purpose of the Court of Revision is to hear from any owner who wishes to appeal his/her assessment as set out in the Municipal Drainage Report dated June 17, 2016 for the Esseltine Drain, Town of Kingsville--RC Spencer Associates Inc. Project No. 14-425.

*L. Zarlenga, P. Eng. and Shane Lafontaine of RC Spencer Associates Inc., and K. Vegh, Drainage Superintendent*

- i) Notice of Sitting of Court of Revision, dated October 16, 2017;
- ii) Excerpt of the Report Consideration Minutes, dated September 26, 2017;
- iii) By-law 93-2017, being a by-law to provide for the repair and improvement of the Esseltine Drain and the construction of the Richard Hicks Branch Drain and the Mucci-Hicks Branch Drain, provisionally adopted on September 26, 2017.

### **D. LIST OF APPEALS OF ASSESSEMENTS**

The following Notices of Appeal to Court of Revision filed with the Clerk of The Corporation of the Town of Kingsville will be heard:

- i) David Gulyas and Jacqueline Bruno (290-10200)--Grounds for Appeal--Their land has been assessed too high; majority of their land drains to the lake as they have lakefront property which slopes to lake.

Comments from Mr. Gulyas:

Mr. Gulyas indicated that he is in favour of the project as a whole but had a concern with respect to the amount of land affected and the apportionment (that it is not 80% of the lot affected, but rather 30-40%). Engineer Zarlenga indicated that there was an error made early in the formation of the report and an adjustment will be made (from approx. .298 to .109 hectares affected). Engineer Zarlenga confirmed that the assessment to that property will now be approximately \$500.00.

John Penner, 1592 County Road 34--He indicated that he has been assessed for a larger home by 'some four feet'. Chairman Santos explained that this Court of Revision is for discussion of the Esseltine Drain schedule of assessment and not property tax assessment. Director of Financial Services S. Zwiers will contact Mr. Penner to discuss his concern (not related to this Drain).

ii) Harry Keller and Guglielmina Keller (290-23200)--Grounds for appeal--their land has been assessed too high--assessed area affected of 0.69 acres is too large and should be 0.28 acres as established in the East Ruthven Drain assessment; and affected property has only recently been connected to Esseltine Drain over the past 4-5 years as a result of the construction of the East Ruthven Drain in 2012 and therefore has not contributed water into the Esseltine Drain to be held responsible for erosion damage downstream over the past 50-100 years.

Comments from Mr. Keller:

Mr. Keller explained the slope of the land (the land slopes upward at the back and the water cannot flow up the slope). Engineer Zarlenga indicated he will meet Mr. Keller at the site and review the assessment and elevations. Mr. Keller also wanted to ensure that his concern regarding the short length of time his property has been connected to the Esseltine Drain would also be considered. Mr. Zarlenga indicated he would also review that item.

iii) Kathy and Leo Probe (290-09200); Grounds for appeal--Land has been assessed too high; The fair market value of their property used to calculate the allowance for property for the drain was based on 2016 property values and might not be valid at this time; the allowance calculated for property used for the cable concrete flow channel was .023 hectares and should be approximately .028 hectares; allowance for trees was 1 tree under 25 cm and should be 7 trees under 25 cm; have not been advised how much of their property will be severed for the project.

Comments from Mr. Probe:

Mr. Probe indicated that he received an email with a cross section sketch on Friday, but that there are at least 7 trees that will be affected and that his property has a steel wall that was constructed to prevent erosion and they feel they should receive an allowance for that expense.

Engineer Zarlenga indicated that information was provided to Mr. Probe regarding tree identification along with a cross section showing elevations. Mr. Zarlenga will attend at the site specifically for the tree reassessment, and to explain what is going to happen on their property. He stated that the steel wall is non-existent in some places but that it will serve a purpose (the top of the steel wall will be cut off and the remaining wall will be left alone).

iv) Scott Shilson (290-09800)--Grounds for appeal--due consideration has not been given as to type of use of land; objects to the amount of allowances given for materials used and installed to repair and slow down substantial erosion.



Engineer Zarlenga indicated that Mr. Shilson is appealing an allowance and he would have to make his appeal through the Agriculture, Food and Rural Affairs Tribunal; that this Court of Revision is to review assessments.

v) Carolyn Stockwell (290-27100) Grounds for appeal--her land has been assessed too high; other land or road has been assessed too low; due consideration has not been given as to type of use of land; much of the cost is attributable to urban development in the southerly reaches of the watershed, and intensification of some agricultural uses in the northerly reaches. Those changes are not fully accounted for in the assessments.

Solicitor Paul Courey was in attendance representing Ms. Stockwell. Ms. Stockwell was also in attendance.

Comments from Solicitor Courey:

Mr. Courey stated that his client's appeal is more basic. He indicated that in his opinion this is not a drain improvement project--the Drain ends 873 metres before the lake, the ravine is eroding, and there is no language in the report that says there is a problem with the drain. Solicitor Courey's opinion is that the only assessment to the owners presently, should be as the drain presently exists (Station 0+873 northward). He suggested that the engineer "charge the drain with work done on the drain, and charge the ravine with work that is done on the ravine".

Mr. Zarlenga indicated that Ms. Stockwell's land does indeed drain to the Esseltine Drain; and that he was not aware of the other issue that Solicitor Courey spoke to this evening. Mr. Zarlenga will speak to Mrs. Stockwell and her solicitor and see if there is any methodology of making it suitable.

vi) 1382296 Ontario Limited (290-17601)--Grounds for Appeal--land has been assessed too high--no consideration has been provided for the existing storm water management ponds, and the restricted rate of flow from these ponds; section 22 Value of Benefit Liability is incongruent with the actual benefit received;

Comments:

Mr. George Dekker, Project Manager, Mucci Farms, was in attendance with Mr. Bert Mucci and asked to speak to all four of the related appeals for 290-17601, 290-18200, 290-38700, and 290-17900 at the same time. Chairman Santos then brought forward vii), viii) and ix) as follows:

vii) Mucci Farms Ltd. (290-18200)--Grounds for appeal--land has been assessed too high--No consideration has been provided for the existing SWM ponds and

the restricted rate of flow from these ponds; Section 22 Value of Benefit Assessment is incongruent with the actual benefit received;

viii) Mucci Farms Ltd. (290-38700)--Grounds for appeal--land has been assessed too high--no consideration has been provided for the existing SWM ponds, and the restricted rate of flow from these ponds; Section 22 Value of Benefit Assessment is incongruent with the actual benefit received;

ix) Southshore Greenhouses Ltd. (290-17900)--Grounds for appeal--land has been assessed too high; no consideration has been provided for the existing SWM pond and the restricted rate of flow from these ponds; Section 22 Value of Benefit assessment is incongruent with the actual benefit received;

Comments from Mr. Dekker:

Mr. Dekkar questioned the assessment calculations to the Mucci group of properties and the method of allocation of the Section 22 Value of Benefit Liability. He wants to make sure the Mucci properties are allocated on a fair basis and not necessarily on an equal basis.

vi) vii) viii) and ix) (Mucci group of properties)

Mr. Lafontaine explained that relative to Mr. Mucci's four properties the Section 22 benefit is 30 per cent of the project total cost and it was assessed to all adjacent properties fronting on the drain that have direct access to the storm water. Mr. Lafontaine indicated that Mr. Mucci wanted some consideration put into effect for the SWM ponds installed on these properties and a more detailed review will be required. Mr. Zarlenga indicated he would have discussions in regard to these areas and work together to find a solution.

Chairman Santos called for a recess at 8:25 p.m. and the Court reconvened at 8:35 p.m.

x) John Fittler and Jennifer Fittler (340-01350) Grounds for Appeal--their land has been assessed too high; other land or road has been assessed too low; due consideration has not been given as to type of use of land.

Comments from Mr. Fittler:

Mr. Fittler explained that he has been operating a no-till farming operation for the past 25 years. He presented an audio-visual presentation with handouts, indicating he had three main points to address.

Firstly, he summarized a 1989 drainage assessment paper entitled "Drainage Assessment Revisited" which speaks to fairness to all concerned and reads in

part "that the assessment of costs of a drainage project is not an exact science nor does it involve the application of specific formulas".

Secondly, he spoke about rate of flow and volume of water, stating that studies have been undertaken to compare conventional tillage and no-till for runoff and soil erosion that show that water runoff and soil erosion can be reduced by 40 to 80 per cent by leaving 0.5 to 0.9 tons/acre of crop residue on the surface compared to bare soil. He stated that he has spent money trying to protect the ditches from soil erosion and he feels he's being penalized. He stated that there is an elevation drop from the Bowling Alley to County Road 20; and there is something happening from that drop that is causing the accumulation of water. Finally, he presented a video of his 'walk' of the Esseltine Drain to show the slight runoff after various storm events at the top of the drain (his lands) vs. the bottom (rapids of fast-flowing water). He stated he is a corn, soy bean and wheat farmer and is not contributing to this volume of water. He asked Council to consider his presentation as set out in the handout material.

#### **CR10-2017**

Moved by Thomas Neufeld

Seconded by Gord Queen

That the Court receive the handout information provided by John and Jennifer Fittler.

**CARRIED**

Administration was asked to research the matter of no-till to explore how that reduces the flow, so that that information would be available as this matter goes forward.

xi) Jennifer and Jason Cope (290-09300) (Incomplete Appeal Documentation)--Grounds for appeal--land has been assessed too high; objects to drain and objects to removal of trees.

Mr. and Mrs. Cope were not in attendance at this Court of Revision.

#### **E. VERBAL APPEALS FROM LANDOWNERS**

1) Mrs. Christina Porrone, 1811 Talbot Road (792743 Ontario Inc.)--She stated that the assessment was too high. She asked why some people are paying more or less and that everyone should be treated the same. Mr. Zarlenga will arrange to speak to Mr. and Mrs. Porrone pertaining to their assessment.



2) Rob Hansen, Erieview Acres Inc., 1930 Seacliff Dr. indicated that his property drains 100 per cent to the Fleming Wagle Drain and to the Kiwanis Camp. Mr. Zarlenga stated he will review that assessment.

3) 1552843 Ontario Ltd., W. Branco (950 Seacliff) asked Mr. Zarlenga to meet on-site as there is an existing drain that cuts through the property.

There were no other verbal appeals.

#### **F. QUESTIONS FROM COURT OF REVISION MEMBERS**

There were no questions.

#### **G. QUESTIONS FROM LANDOWNERS**

Vicki Calcott, 1521 Brookview Dr., asked how the completed works will affect the Brookview and nearby lands in general, especially on the lake side of Seacliff, and asked how the works will affect the water table. Mr. Zarlenga indicated he would attend this particular site, provide some additional information to these residents, and provide the additional information in the report as well.

Kimberly Iaquina, 1519 Brookview Dr., stated that she has attended these meetings but has not spoken to anyone attending at the site.

Shirley Jensen, 1523 Brookview Dr., asked Engineer Zarlenga to attend the site at their residence as well.

George Dekker (RE: Mucci properties) asked for clarification regarding the allowances south of Seacliff. Mr. Zarlenga explained the discussions with the residents and the methodology of providing compensation for the loss of trees.

Ms. Porrone added that the ditch at her property fills in and the water flows over the road and asked why this flooding is occurring. Drainage Superintendent Vegh will investigate this item.

Engineer Zarlenga will review these and other matters and amend the Report and Schedules as and where required.

#### **H. COURT OF REVISION'S DECISION**

##### **CR11-2017**

Moved by Gord Queen

Seconded by Susanne Coghill

To adjourn the Court of Revision for a time sufficient to allow RC Spencer Associates Inc. time to recalculate the assessments and to allow the Clerk time to send notice of the Revised Schedule of Assessment to all affected parties at

that time giving notice of intention to reconvene the Court of Revision at a future date.

**CARRIED**

**I. CLOSE COURT OF REVISION**

**CR12-2017**

Moved by Gord Queen

Seconded by Larry Patterson

To Close the Court of Revision.

**CARRIED**

**J. ADJOURNMENT**

**CR13-2017**

Moved by Thomas Neufeld

Seconded by Larry Patterson

That the Court adjourn at 9:42 p.m.

**CARRIED**

---

MAYOR, Nelson Santos

---

CLERK, Jennifer Astrologo

# THE CORPORATION OF THE TOWN OF KINGSVILLE

## BY-LAW 93-2017

*Being a by-law to provide for the repair and improvement of the Esseltine Drain and the construction of the Richard Hicks Branch Drain and the Mucci-Hicks Branch Drain in the Town of Kingsville, in the County of Essex*

**WHEREAS** the Council of the Town of Kingsville, in the County of Essex, has procured a report under section 78 of the *Drainage Act* for the repair and improvement of the Esseltine Drain and construction of the Richard Hicks Branch Drain and Mucci-Hicks Branch Drain;

**AND WHEREAS** the report dated June 17<sup>th</sup>, 2016 has been authored by Lou Zarlenga, P. Eng. and the attached report forms part of this by-law;

**AND WHEREAS** \$4,019,599.00 is the amount to be contributed by the Town of Kingsville for the Esseltine Drain;

**AND WHEREAS** \$9,667.00 is the amount to be contributed by the Town of Kingsville for the Richard Hicks Branch Drain;

**AND WHEREAS** \$42,739.00 is the amount to be contributed by the Town of Kingsville for the Mucci-Hicks Branch Drain;

**AND WHEREAS** Council is of the opinion that the report of the area is desirable;

**THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF KINGSVILLE, PURSUANT TO THE DRAINAGE ACT ENACTS AS FOLLOWS:**

**1. AUTHORIZATION**

The attached report is adopted and the drainage works is authorized and shall be completed as specified in the report.

**2. BORROWING**

The Corporation of the Town of Kingsville may borrow on the credit of the Corporation the amount of \$4,072,005.00 being the amount necessary for the completion of the drainage works.

**3. DEBENTURES**

The Corporation may arrange for the issue of debenture(s) on its behalf for the amount borrowed less the total amount of:

- a) Grants received under section 85 of the *Drainage Act*;
- b) Monies paid as allowances;
- c) Commuted payments made in respect of lands and roads assessed with the municipality;
- d) Money paid under subsection 61(3) of the *Drainage Act*; and
- e) Money assessed in and payable by another municipality.

**4. PAYMENT**

Such debenture(s) shall be made payable within 2 (two), 5 (five) or 10 (ten) years (as determined by the Director of Financial Services or designate) from the date of the debenture(s) and shall bear interest at a rate not higher than 2% more than the municipal lending rates as posted by Infrastructure Ontario on the date of sale of such debenture(s).

- 1) A special equal annual rate sufficient to redeem the principal and interest on the debenture(s) shall be levied upon the lands and roads as shown in the schedule and shall be collected in the same manner and at the same as other taxes are collected in each year for 2 (two),



5 (five) or 10 (ten) years (as determined by the Director of Financial Services or designate) after the passing of this by-law.

2) For paying the amount \$4,072,005.00 being the amount assessed upon the lands and roads belonging to or controlled by the municipality a special rate sufficient to pay the amount assessed plus interest thereon shall be levied upon the whole rateable property in the Town of Kingsville in each year for 2 (two), 5 (five) or 10 (ten) years (as determined by the Director of Financial Services or designate) after the passing of this by-law to be collected in the same manner and at the same time as other taxes collected.

3) All assessments of \$100.00 or less are payable in the first year in which the assessments are imposed.

## **5. SCHEDULE OF ASSESSMENTS OF LAND AND ROADS**

ESSELTINE DRAIN  
SCHEDULE OF ASSESSMENT  
MUNICIPALITY OF KINGSVILLE  
PROJECT REFERENCE NUMBER 14-425

A) MUNICIPAL LANDS										(SECTION 21) VALUE OF BENEFIT LIABILITY	(SECTION 23) VALUE OF OUTLET LIABILITY	(SECTION 24) VALUE OF SPECIAL BENEFIT	(SECTION 25) VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME							
1	ROAD 3 E			5.99	2.424		TOWN OF KINGSVILLE			\$	\$ 42,878.00	\$	\$	\$ 42,878.00
2	COUNTY ROAD 45			3.47	1.404		COUNTY OF ESSEX			\$	\$ 24,838.00	\$	\$	\$ 24,838.00
3	COUNTY ROAD 34			8.65	3.501		COUNTY OF ESSEX			\$	\$ 57,788.00	\$	\$	\$ 57,788.00
4	NEAL STREET			0.23	0.092		TOWN OF KINGSVILLE			\$	\$ 1,573.00	\$	\$	\$ 1,573.00
5	ELGIN STREET			1.80	0.730		TOWN OF KINGSVILLE			\$	\$ 12,481.00	\$	\$	\$ 12,481.00
6	LEE ROAD			0.52	0.210		TOWN OF KINGSVILLE			\$	\$ 3,714.00	\$	\$	\$ 3,714.00
7	PEACH DRIVE			0.86	0.350		TOWN OF KINGSVILLE			\$	\$ 5,984.00	\$	\$	\$ 5,984.00
8	WOOD FERN AVENUE			1.96	0.800		TOWN OF KINGSVILLE			\$	\$ 13,207.00	\$	\$	\$ 13,207.00
9	WILLOW DRIVE			0.57	0.230		TOWN OF KINGSVILLE			\$	\$ 3,787.00	\$	\$	\$ 3,787.00
10	PRINCE STREET			0.50	0.204		TOWN OF KINGSVILLE			\$	\$ 3,358.00	\$	\$	\$ 3,358.00
11	QUEEN BOULEVARD			2.25	0.910		TOWN OF KINGSVILLE			\$	\$ 15,022.00	\$	\$	\$ 15,022.00
12	REGENT STREET			1.53	0.620		TOWN OF KINGSVILLE			\$	\$ 10,235.00	\$	\$	\$ 10,235.00
13	SERVICE ROAD			1.01	0.410		TOWN OF KINGSVILLE			\$	\$ 6,527.00	\$	\$	\$ 6,527.00
14	FAIRLEA CRESCENT			1.08	0.430		TOWN OF KINGSVILLE			\$	\$ 8,845.00	\$	\$	\$ 8,845.00
15	WATFORD STREET			0.91	0.370		TOWN OF KINGSVILLE			\$	\$ 5,890.00	\$	\$	\$ 5,890.00
16	NEVAH COURT			0.23	0.094		TOWN OF KINGSVILLE			\$	\$ 1,498.00	\$	\$	\$ 1,498.00
17	BRANCO DRIVE			0.72	0.290		TOWN OF KINGSVILLE			\$	\$ 4,445.00	\$	\$	\$ 4,445.00
18	HOAH CRESCENT			0.72	0.290		TOWN OF KINGSVILLE			\$	\$ 4,445.00	\$	\$	\$ 4,445.00
19	ROAD 2 EAST			3.67	1.485		TOWN OF KINGSVILLE			\$	\$ 4,818.00	\$	\$	\$ 4,818.00
20	COUNTY ROAD 20			3.55	1.437		COUNTY OF ESSEX			\$	\$ 18,489.00	\$	\$	\$ 18,489.00
21	GREENWOOD ROAD			1.30	0.526		TOWN OF KINGSVILLE			\$	\$ 15,931.00	\$	\$	\$ 15,931.00
22	WHITEWOOD ROAD			1.05	0.425		TOWN OF KINGSVILLE			\$	\$ 4,983.00	\$	\$	\$ 4,983.00
23	COTTONWOOD ROAD			0.50	0.202		TOWN OF KINGSVILLE			\$	\$ 4,008.00	\$	\$	\$ 4,008.00
Total Affected Lands										\$	\$ 1,909.00	\$	\$	\$ 1,909.00
Total Assessment on Municipal Lands										\$	\$ 71,218.00	\$	\$	\$ 71,218.00
										\$	\$ 273,598.00	\$	\$	\$ 273,598.00
										\$	\$	\$	\$	\$ 344,816.00

B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS											SECTION 221	SECTION 221	SECTION 221	SECTION 241	SECTION 241	TOTAL
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	VALUE OF BENEFIT LIABILITY	VALUE OF OUTLET LIABILITY	VALUE OF SPECIAL BENEFIT	VALUE OF SPECIAL BENEFIT	VALUE OF SPECIAL BENEFIT	VALUE OF SPECIAL BENEFIT	VALUE OF SPECIAL BENEFIT	ASSESSMENT	ASSESSMENT
24	440-04300	2 E.D.	9	12.57	3.49	1.412	STERLING ACRE FARMS LIMITED	\$ -	\$ 12,495.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 12,495.00	\$ -
25	340-05900	3 E.D.	10	65.78	23.00	9.308	SUN-BRITE CANNING LIMITED	\$ -	\$ 30,484.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 30,484.00	\$ -
26	340-01410	3 E.D.	PS 1/2 lot 11	0.52	0.52	0.210	BENJAMIN KNELSEN	\$ -	\$ 1,861.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,861.00	\$ -
27	340-01425	3 E.D.	PS 1/2 lot 11	1.25	1.25	0.508	KRISTOPHER JOHN KLASSEN & JENNIFER RUTH ELLWOOD	\$ -	\$ 4,474.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 4,474.00	\$ -
28	340-01000	3 E.D.	PS 1/2 lot 11	0.71	0.71	0.287	AGRIAM & HELENA FRIESEN	\$ -	\$ 2,541.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,541.00	\$ -
29	340-00900	3 E.D.	PS 1/2 lot 11	0.36	0.36	0.146	SARA KLASSEN	\$ -	\$ 1,288.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,288.00	\$ -
30	340-00800	3 E.D.	PS 1/2 lot 11	0.35	0.35	0.142	PETER & ELISABETH DYCK	\$ -	\$ 1,253.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,253.00	\$ -
31	340-00700	3 E.D.	PS 1/2 lot 11	0.47	0.47	0.190	AGANETHA GIESBRECHT	\$ -	\$ 1,682.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,682.00	\$ -
32	340-00600	3 E.D.	PS 1/2 lot 11	0.48	0.48	0.186	ANTONIA ALETTA EVERS	\$ -	\$ 1,646.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,646.00	\$ -
33	340-00500	3 E.D.	11	1.08	1.08	0.437	FAIRVIEW CEMETERY	\$ -	\$ 1,288.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,288.00	\$ -
34	300-32800	2 E.D.		0.54	0.54	0.219	MURRY O'BRIEN	\$ -	\$ 1,933.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,933.00	\$ -
35	300-32701	2 E.D.		0.61	0.61	0.247	JACOB FRIESEN	\$ -	\$ 2,183.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,183.00	\$ -
36	300-32700	2 E.D.	9	0.20	0.20	0.081	DONALD GARY & PAMELA MADHE ATKINSON	\$ -	\$ 718.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 718.00	\$ -
37	300-32601	2 E.D.	9	0.27	0.27	0.109	CHRISTINE ELIZABETH FRIDAY & ROBERT REES	\$ -	\$ 968.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 968.00	\$ -
38	300-32400	2 E.D.	9	0.23	0.23	0.093	ALFREDO DIMENNA	\$ -	\$ 2,317.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 2,317.00	\$ -
39	300-32102	2 E.D.	9	1.83	1.83	0.741	KENNETH HUCKS IN TRUST	\$ -	\$ 18,395.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 18,395.00	\$ -
40	300-32100	2 E.D.	9	14.85	14.85	6.010	435695 ONTARIO LIMITED	\$ -	\$ 58,471.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 58,471.00	\$ -
41	300-31900	2 E.D.	9	0.40	0.40	0.162	CANADA POST CORPORATION	\$ -	\$ 1,432.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,432.00	\$ -
42	300-31800	2 E.D.	9	0.29	0.29	0.117	TRUDY ALICE WOOD	\$ -	\$ 1,038.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,038.00	\$ -
43	300-31700	2 E.D.	9	0.14	0.14	0.057	MURRY ENNIS & ANETHA THIESSEN	\$ -	\$ 501.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 501.00	\$ -
44	300-31600	2 E.D.	9	0.44	0.44	0.178	RUTHVEN AUTO TOWING & REPAIRS LTD	\$ -	\$ 3,412.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,412.00	\$ -
45	300-31502	2 E.D.	9	0.07	0.07	0.028	THORBOURN WIGLE ESTATE	\$ -	\$ 83.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 83.00	\$ -
46	300-31501	2 E.D.	9	0.04	0.04	0.017	THORBOURN WIGLE ESTATE	\$ -	\$ 399.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 399.00	\$ -
47	300-31500	2 E.D.	9	0.34	0.34	0.138	TINA SALLOWS & ROGER PARENT	\$ -	\$ 3,245.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 3,245.00	\$ -
48	300-31400	183	PT LOT 8	0.25	0.25	0.101	ALAN EDWARD & IRENE MARIA FOX	\$ -	\$ 895.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 895.00	\$ -
49	300-31300	183	PT LOT 8	0.25	0.25	0.101	STEPHEN PATRICK & LESLIE ANN STEPHENSON	\$ -	\$ 895.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 895.00	\$ -
50	300-31205	183	PT LOTS 8 & 9 CON 2	0.42	0.42	0.170	JOSEPH & LORI BERESE	\$ -	\$ 1,503.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,503.00	\$ -
51	300-31200	183	PT LOTS 8 & 9 CON 2	0.39	0.39	0.158	JOHN RICHARD OLIVER & SHARON LOUISE PARENT	\$ -	\$ 1,396.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 1,396.00	\$ -
52	300-31100	1848	36	0.20	0.20	0.081	ALLAN JONATHAN & VIRGINIA ANN CAMPBELL	\$ -	\$ 692.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 692.00	\$ -
53	300-31000	1848	35	0.20	0.20	0.081	ERIC ALFRED & SUSANNE BERNADETTE THIESSEN	\$ -	\$ 692.00	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 692.00	\$ -



B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS											
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	(SECTION 24) VALUE OF OUTLET LIABILITY	(SECTION 24) VALUE OF SPECIAL BENEFIT	(SECTION 28) VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
54	300-30900	1448	34	0.21	0.21	0.085	MARY CLARE INGRATTA	\$ -	\$ 727.00	\$ -	\$ 727.00
55	300-30800	1448	33		0.21	0.085	BERNHARD EMMS & MARIA SCHROEDER	\$ -	\$ 727.00	\$ -	\$ 727.00
56	300-30700	1448	32	0.27	0.27	0.109	MARY-ELIZABETH SCHAUER	\$ -	\$ 934.00	\$ -	\$ 934.00
57	300-30600	1448	31	0.27	0.27	0.109	RAYMOND GORDON JR & GAIL CAROL ANN FOSTER	\$ -	\$ 934.00	\$ -	\$ 934.00
58	300-30500	1448	30	0.27	0.27	0.109	MANUEL & ERMILINDA FURTADO	\$ -	\$ 902.00	\$ -	\$ 902.00
59	300-30400	1448	29		0.21	0.085	JOHAN & SARA HILDEBRANDT	\$ -	\$ 701.00	\$ -	\$ 701.00
60	300-30300	1448	28		0.21	0.085	MARY ANN BECHARD	\$ -	\$ 701.00	\$ -	\$ 701.00
61	300-30200	1448	27	0.31	0.31	0.085	FRANK BRAUN & NELIMORA KNELSEN GUENTHER	\$ -	\$ 701.00	\$ -	\$ 701.00
62	300-30100	1448	26		0.21	0.085	HEINRICH & SARA HELDEBRAND	\$ -	\$ 701.00	\$ -	\$ 701.00
63	300-30000	1448	25		0.17	0.069	JOSE MEDEIROS & MARIA INES FURTADO	\$ -	\$ 568.00	\$ -	\$ 568.00
64	300-29900	1448	24		0.16	0.073	HEINRICH & MARGARETHA FEHR	\$ -	\$ 601.00	\$ -	\$ 601.00
65	300-29700	1448	23		0.38	0.154	JOSE VITORINO & TERESA TAVARES MEDEIROS	\$ -	\$ 1,269.00	\$ -	\$ 1,269.00
66	300-29600	1448	22	0.38	0.38	0.154	S MAUREEN RYAN	\$ -	\$ 1,269.00	\$ -	\$ 1,269.00
67	300-29500	1448	21	0.38	0.38	0.154	JOHN & AGNES PEREIRA	\$ -	\$ 1,269.00	\$ -	\$ 1,269.00
68	300-29401	123448	BLK H	0.02	0.02	0.008	KINGSVILLE TOWN	\$ -	\$ 21.00	\$ -	\$ 21.00
69	300-29400	1448	20		0.38	0.154	DAVID LINDSAY & JOANNE MILDRED GRAHAM	\$ -	\$ 1,224.00	\$ -	\$ 1,224.00
70	300-29329	1481	6	0.38	0.38	0.154	MARIA DOMENICA CAPUSSI & GIOVANNA DILAUDO	\$ -	\$ 1,224.00	\$ -	\$ 1,224.00
71	300-29328	1481	5	0.38	0.38	0.154	JOHN WALTER & BESSIE JANE UNRAU	\$ -	\$ 1,224.00	\$ -	\$ 1,224.00
72	300-29327	1481	4	0.38	0.38	0.154	VIRGILIO & MARIA PEREIRA	\$ -	\$ 1,224.00	\$ -	\$ 1,224.00
73	300-29326	1481	3	0.38	0.38	0.154	RANDY & MARY THELSEN	\$ -	\$ 1,224.00	\$ -	\$ 1,224.00
74	300-29325	1481	2	0.38	0.38	0.154	ROBERTO FORTUNA & MARIA JESUS SILVA PIMENTEL	\$ -	\$ 1,179.00	\$ -	\$ 1,179.00
75	300-29324	1481	1		0.43	0.174	STANLEY ANGUS A & SHEILA MARLENE BALTZER	\$ -	\$ 1,334.00	\$ -	\$ 1,334.00
76	300-29323	14105	24		0.35	0.142	GARRY DOUGLAS & DONNA LYNN JOHNSON	\$ -	\$ 1,086.00	\$ -	\$ 1,086.00
77	300-29322	14105	23	0.30	0.30	0.121	ANGELA MARIE SCHNEIDERBURGER	\$ -	\$ 931.00	\$ -	\$ 931.00
78	300-29321	14105	22	0.30	0.30	0.121	JOHN PAUL DOUGLAS & HELEN AFFLECK	\$ -	\$ 931.00	\$ -	\$ 931.00
79	300-29320	14105	21	0.30	0.30	0.121	ABRAHAM BICKER & SUSANA NEUDORF	\$ -	\$ 931.00	\$ -	\$ 931.00
80	300-29319	14105	20	0.30	0.30	0.121	NEL FEHR & TRACY LEE REIMER	\$ -	\$ 931.00	\$ -	\$ 931.00
81	300-29318	14105	19	0.30	0.30	0.121	VINCENZO & SANTINA MARCOVECCO	\$ -	\$ 931.00	\$ -	\$ 931.00
82	300-29317	14105	18		0.30	0.121	JACOB & AGATHA SAWATZKY	\$ -	\$ 931.00	\$ -	\$ 931.00
83	300-29316	14105	17		0.31	0.125	ROGER DAVID RUSSELLO	\$ -	\$ 999.00	\$ -	\$ 999.00

B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS												
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT OWNED	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 221 VALUE OF BENEFIT LIABILITY	SECTION 221 VALUE OF OUTLET LIABILITY	SECTION 241 VALUE OF SPECIAL BENEFIT	SECTION 241 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
84	300-29315	M105	18	0.24	0.24	0.097	JOHN S & BARBARA F BAKER	\$ -	\$ 773.00	\$ -	\$ -	\$ 773.00
85	300-29314	M105	15	0.24	0.24	0.097	NICK & ROSINA TOTARO	\$ -	\$ 773.00	\$ -	\$ -	\$ 773.00
86	300-29313	M105	14	0.24	0.24	0.097	JOSEPH & ODETTA PEREIRA	\$ -	\$ 773.00	\$ -	\$ -	\$ 773.00
87	300-29312	M105	13	0.24	0.24	0.097	ISAAC & AMY NEUFELD	\$ -	\$ 773.00	\$ -	\$ -	\$ 773.00
88	300-29311	M105	12	0.42	0.42	0.170	DARRELL J & JULIE A SCRATCH	\$ -	\$ 1,353.00	\$ -	\$ -	\$ 1,353.00
89	300-29310	M105	11	0.41	0.41	0.166	PEDRO & MARGARETHA KHELEN	\$ -	\$ 1,321.00	\$ -	\$ -	\$ 1,321.00
90	300-29309	M105	10	0.22	0.22	0.089	RUDY & HELEN HEDY SPITSE	\$ -	\$ 709.00	\$ -	\$ -	\$ 709.00
91	300-29308	M105	9 & P/Lot 15	0.28	0.28	0.113	TODD & MARTHA JOAN JENNER	\$ -	\$ 902.00	\$ -	\$ -	\$ 902.00
92	300-29307	M105	8	0.26	0.26	0.105	MARION & MARIA WALL	\$ -	\$ 837.00	\$ -	\$ -	\$ 837.00
93	300-29306	M105	7	0.26	0.26	0.105	PETER & JUSTINA BERGEN	\$ -	\$ 837.00	\$ -	\$ -	\$ 837.00
94	300-29305	M105	6	0.26	0.26	0.105	KIRSTYN LAUREL FARNSWORTH	\$ -	\$ 837.00	\$ -	\$ -	\$ 837.00
95	300-29304	M105	5	0.26	0.26	0.105	FRANK ANTHONY QUATRINI	\$ -	\$ 837.00	\$ -	\$ -	\$ 837.00
96	300-29303	M105	4	0.27	0.27	0.109	MARY MARGARET RUSSELO	\$ -	\$ 870.00	\$ -	\$ -	\$ 870.00
97	300-29302	M105	3	0.32	0.32	0.130	DAVID ALAN & TAMMIE BARBARA MILLS	\$ -	\$ 1,031.00	\$ -	\$ -	\$ 1,031.00
98	300-29301	M105	2	0.23	0.23	0.093	JACOB GOERTZEN & ANNA GIESBRECHT NEUFELD	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
99	300-29300	M105	1	0.23	0.23	0.093	PHILIP GERHARD & LYDIA LOUISE MAUM	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
100	300-29200	M48	19	0.23	0.23	0.093	TRACEY YOUNG	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
101	300-29100	M48	18	0.23	0.23	0.093	KENNETH ROSS & SUSAN ILENE COSFORD	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
102	300-29000	M48	17	0.23	0.23	0.093	GERARDO & ANNA NEUFELD	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
103	300-28900	M48	16	0.39	0.39	0.156	VICTOR MANUEL & MARIA NATALIA PEREIRA	\$ -	\$ 1,256.00	\$ -	\$ -	\$ 1,256.00
104	300-28800	M48	P/Lot 15	0.36	0.36	0.148	CAROLYN WENZLER	\$ -	\$ 1,160.00	\$ -	\$ -	\$ 1,160.00
105	300-28700	M48	14	0.22	0.22	0.089	MAXIMINO SANTOS & MARIA OLYMPIA MATEUS	\$ -	\$ 735.00	\$ -	\$ -	\$ 735.00
106	300-28600	M48	13	0.22	0.22	0.089	JOE M. JOHANNES & JANNY GRIETA VANDENBERG	\$ -	\$ 735.00	\$ -	\$ -	\$ 735.00
107	300-28500	M48	12	0.29	0.29	0.117	ARMANDO PALLOTTA	\$ -	\$ 969.00	\$ -	\$ -	\$ 969.00
108	300-28400	M48	11	0.29	0.29	0.117	JUAN BOSCHMAN & ANNA FEHR	\$ -	\$ 969.00	\$ -	\$ -	\$ 969.00
109	300-28300	M48	10	0.25	0.25	0.101	MEIRAM KRAHN PENNER & MARIA DYCK	\$ -	\$ 865.00	\$ -	\$ -	\$ 865.00
110	300-28200	M48	9	0.25	0.25	0.101	ISAAC HANIM & HELENA FEHR	\$ -	\$ 865.00	\$ -	\$ -	\$ 865.00
111	300-28100	M48	8	0.25	0.25	0.101	DAVID CARL & ROSALINA CABRAL	\$ -	\$ 865.00	\$ -	\$ -	\$ 865.00
112	300-28000	M48	7	0.22	0.22	0.089	JOHN & WILHELMINA VANDERBEEK	\$ -	\$ 761.00	\$ -	\$ -	\$ 761.00
113	300-27900	M48	6	0.21	0.21	0.085	CHENG HUY & NGOP TAUNG	\$ -	\$ 727.00	\$ -	\$ -	\$ 727.00

B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS										
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	HECTARES AFFTD	OWNERS NAME	SECTION 231 VALUE OF BENEFIT LIABILITY	SECTION 231 VALUE OF SPECIAL BENEFIT	SECTION 231 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
114	300-27800	0448	5	0.21	0.085	RAYDAL ERLE & MOREEN ANN WASH	\$ -	\$ 727.00	\$ -	\$ 727.00
115	300-27700	0446	4	0.21	0.085	HARRIS LOWELL BICKFORD & DAINE LOURSE MC KNIGHT	\$ -	\$ 727.00	\$ -	\$ 727.00
116	300-27600	0446	3	0.21	0.085	ANTONIO & CHARLYN FAYE MARIE AGOSTA	\$ -	\$ 727.00	\$ -	\$ 727.00
117	300-27500	0448	2	0.22	0.089	JOE & CONNIE CACILIUS	\$ -	\$ 781.00	\$ -	\$ 781.00
118	300-27400	0448	1	0.23	0.093	GARY PATRICK & FERNANDA ARLETTA GILLIS	\$ -	\$ 798.00	\$ -	\$ 798.00
119	300-27300	083	PT LOT 4	0.31	0.125	GEOFFREY DOUGLAS & DEBRA LYNNIE DUNMORE	\$ -	\$ 1,073.00	\$ -	\$ 1,073.00
120	300-27200	083	PT LOT 4	0.31	0.125	ROBERT ARTHUR SHORTT & DEBRA LYNNIE DUNMORE	\$ -	\$ 1,073.00	\$ -	\$ 1,073.00
121	300-27100	083	PT LOT 8 PT LOT 7	0.34	0.138	DIEDRICH & SARA KIELSEN	\$ -	\$ 1,178.00	\$ -	\$ 1,178.00
122	300-27000	083	PT LOT 6 PT LOT 7	0.18	0.085	SARA KIELSEN	\$ -	\$ 554.00	\$ -	\$ 554.00
123	300-26900	083	PT LOT 7	0.21	0.085	ROGER OLIVER JR PARENT	\$ -	\$ 727.00	\$ -	\$ 727.00
124	300-26800	083	PT LOT 6 PT 7	0.29	0.117	KAREN SUE BROWN	\$ -	\$ 1,003.00	\$ -	\$ 1,003.00
125	300-26700	083	PT LOT 4 PT 5	0.31	0.125	PETER KLASSEN & JUSTINA OURING	\$ -	\$ 1,073.00	\$ -	\$ 1,073.00
126	300-26600	083	PT LOT 4	0.31	0.125	DONALD GREGORY & HEATHER ANN DUNMORE	\$ -	\$ 1,073.00	\$ -	\$ 1,073.00
127	300-26500	083	PT LOT 3	0.34	0.154	LARRY NEIL & ANN JOYCE DUNMORE	\$ -	\$ 1,315.00	\$ -	\$ 1,315.00
128	300-26400	083	PT LOT 3	0.06	0.024	AMANDA KATHLEEN GRAY	\$ -	\$ 208.00	\$ -	\$ 208.00
129	300-26300	083	PT LOT 3 W/5 MAIN	0.17	0.17	PAUL WAYNE WIGLE & STACY LEE DESCHAMPS	\$ -	\$ 588.00	\$ -	\$ 588.00
130	300-26200	083	PT LOT 3	0.17	0.17	EVA STEIN	\$ -	\$ 588.00	\$ -	\$ 588.00
131	300-26100	083	PT LOT 3	0.16	0.085	MARVIN DAVID & HELENA KLASSEN	\$ -	\$ 554.00	\$ -	\$ 554.00
132	300-26000	2 E D	9	0.53	0.214	UNITED CHURCH OF CANADA	\$ -	\$ 1,222.00	\$ -	\$ 1,222.00
133	300-25900	083	PT LOT 1 PT 2	0.10	0.040	UNITED CHURCH OF CANADA	\$ -	\$ 111.00	\$ -	\$ 111.00
134	300-25800	083	PT LOT 1 PT 2	0.20	0.081	KELLY ANN BLAKE	\$ -	\$ 668.00	\$ -	\$ 668.00
135	300-25700	083	PT LOTS 1 & 2 W/5	0.28	0.113	MARCOVECCIO CONSTRUCTION LTD	\$ -	\$ 935.00	\$ -	\$ 935.00
136	300-25600	083	PT LOT 2	0.19	0.077	MARCOVECCIO CONSTRUCTION LTD	\$ -	\$ 835.00	\$ -	\$ 835.00
137	300-25500	083	PT LOT 1 PT 2	0.22	0.089	MARCOVECCIO HOLDINGS INC	\$ -	\$ 735.00	\$ -	\$ 735.00
138	300-25400	2 E D	9	0.37	0.37	ADAM JOSEPH WILHELM & MICHELLE LEE WARWENHOVEN	\$ -	\$ 1,238.00	\$ -	\$ 1,238.00
139	300-25300	2 E D	9	0.25	0.101	ROBERT STEPHEN & ROSE DALE HAINES	\$ -	\$ 835.00	\$ -	\$ 835.00
140	300-25200	2 E D	9	0.19	0.077	JACOB GIRARD & CHARLOTTE MILUS	\$ -	\$ 612.00	\$ -	\$ 612.00
141	300-25100	2 E D	9	0.19	0.077	COREY WILLIAM & TAMMY MICHELLE LECLARE	\$ -	\$ 612.00	\$ -	\$ 612.00
142	300-25000	2 E D	9	0.19	0.077	CVT ABORIGINAL HOUSING SUPPORT	\$ -	\$ 612.00	\$ -	\$ 612.00
143	300-24900	2 E D	9	0.19	0.077	MITSURU YAMAMOTO	\$ -	\$ 612.00	\$ -	\$ 612.00



B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS										
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 21 VALUE OF BENEFIT LIABILITY	SECTION 21 VALUE OF OUTLET LIABILITY	SECTION 21 VALUE OF SPECIAL BENEFIT	SECTION 21 VALUE OF SPECIAL ASSESSMENT
144	300-24000	2 E.D.	9	0.19	0.077	JOHN REID & BARBARA ANN POTTER	\$ -	\$ 612.00	\$ -	\$ 612.00
145	300-24000	2 E.D.	9	0.19	0.077	GERALD EDWIN & DANE STOCKTON	\$ -	\$ 612.00	\$ -	\$ 612.00
146	300-24700	2 E.D.	9	0.19	0.077	DAVID ENNS & MARIA KNEISEN FRIESEN	\$ -	\$ 612.00	\$ -	\$ 612.00
147	300-24000	2 E.D.	9	0.19	0.077	MORTY RAE LANGLOIS	\$ -	\$ 612.00	\$ -	\$ 612.00
148	300-24500	2 E.D.	9	0.28	0.113	ROSEMARY & JOHN V PEDERSEN	\$ -	\$ 869.00	\$ -	\$ 869.00
149	300-24400	2 E.D.	9	0.28	0.113	ABRAM & ANNA GIESBRECHT	\$ -	\$ 869.00	\$ -	\$ 869.00
150	300-00030	2 E.D.	9	2.50	0.360	CONSERVATION AUTHORITY ESSEX	\$ -	\$ 2,134.00	\$ -	\$ 2,134.00
151	290-38900	1 E.D.	10	1.20	0.486	CAROL ANNE & CATHY LYNN HARRISON	\$ -	\$ 3,579.00	\$ -	\$ 3,579.00
152	290-38706	1 E.D.	10	0.88	0.356	MICHELE DI VINCENTO & MICHELLE HILL	\$ -	\$ 2,625.00	\$ -	\$ 2,625.00
153	290-38705	1 E.D.	10	0.88	0.356	CHRISTOPHER KENNETH & MICHELLE RAE WEBSTER	\$ -	\$ 2,625.00	\$ -	\$ 2,625.00
154	290-38704	1 E.D.	10	0.87	0.352	WICTOR MANUEL & MARIA NATALIA PEREIRA	\$ -	\$ 2,595.00	\$ -	\$ 2,595.00
155	290-38703	1 E.D.	10	0.88	0.356	MARIA CONCEICAO & SILVESTRE FREITAS GOMTARDE	\$ -	\$ 2,625.00	\$ -	\$ 2,625.00
156	290-38702	1 E.D.	10	0.87	0.352	TONINO INGRATTA	\$ -	\$ 2,595.00	\$ -	\$ 2,595.00
157	290-38701	1 E.D.	10	1.59	0.643	PETER & MARGARETHA NEUFELD	\$ -	\$ 744.00	\$ -	\$ 744.00
158	290-38650	2 E.D.	10	0.24	0.097	STEVEN RONALD & VIKTORIA ANDREEVNA BARTEL	\$ -	\$ 775.00	\$ -	\$ 775.00
159	290-38630	2 E.D.	10	0.25	0.101	MARK HAROLD & MARIANNE HOTZ WESTERHOFF	\$ -	\$ 775.00	\$ -	\$ 775.00
160	290-38620	2 E.D.	10	0.25	0.101	HENRICH KROEGER & SUSANA FRIESEN	\$ -	\$ 682.00	\$ -	\$ 682.00
161	290-38610	2 E.D.	10	0.22	0.089	PETER & HELEN ELAINE STRAVATO	\$ -	\$ 682.00	\$ -	\$ 682.00
162	290-38600	2 E.D.	10	0.22	0.089	JOHAN & HELENA FEUR	\$ -	\$ 682.00	\$ -	\$ 682.00
163	290-38500	1601	21	0.91	0.366	BENJAMIN WIEBE & TINA FRIESEN REDECOP	\$ -	\$ 2,823.00	\$ -	\$ 2,823.00
164	290-38400	1601	22	0.18	0.073	DAVID WALL & ELIZABETH FRIESEN BRAUN	\$ -	\$ 558.00	\$ -	\$ 558.00
165	290-38300	1601	23	0.18	0.073	DAVID WALL & ELIZABETH FRIESEN BRAUN	\$ -	\$ 558.00	\$ -	\$ 558.00
166	290-38200	1601	24	0.18	0.073	DAVID LOPEZ & JILL ANNETTE GEDDES	\$ -	\$ 580.00	\$ -	\$ 580.00
167	290-38100	1601	25	0.18	0.073	CARLOS SANTOS	\$ -	\$ 580.00	\$ -	\$ 580.00
168	290-38000	1601	26	0.18	0.073	TONINO & GLORIA ELLEN DI MENNA	\$ -	\$ 580.00	\$ -	\$ 580.00
169	290-37900	1601	27	0.18	0.073	MARION & MARGARETHA WALL NEUFELD	\$ -	\$ 580.00	\$ -	\$ 580.00
170	290-37800	1601	28	0.18	0.073	MIRIAM MEUSTAETER FRIESEN & HELENA WEBER BOSCHMAN	\$ -	\$ 580.00	\$ -	\$ 580.00
171	290-37700	1601	29	0.18	0.073	CLIFFORD JOSEPH & DOREEN ELAINE NEUTS	\$ -	\$ 580.00	\$ -	\$ 580.00
172	290-37600	1601	30	0.18	0.073	KEVIN EARL & LORE JEAN DAVID	\$ -	\$ 601.00	\$ -	\$ 601.00
173	290-37500	1601	57	0.19	0.077	DALE ANDREW & TANYA KAY DILLEN	\$ -	\$ 612.00	\$ -	\$ 612.00

## B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS

ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT OWNED	ACRES AFFTD	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 221 VALUE OF BENEFIT LIABILITY	SECTION 221 VALUE OF OUTLET LIABILITY	SECTION 241 VALUE OF SPECIAL BENEFIT	SECTION 241 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
174	290-37400	1601	59	0.19	0.19	0.077	JASON WALL	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
175	290-37500	1601	59	0.18	0.18	0.073	HEINRICH FRIESEN BERGEN	\$ -	\$ 580.00	\$ -	\$ -	\$ 580.00
176	290-37200	1601	60	0.18	0.18	0.073	GERARDO RODRIGUEZ HERMANDEZ & KIM DENISE DERODRIGUEZ	\$ -	\$ 540.00	\$ -	\$ -	\$ 540.00
177	290-37100	1601	61	0.19	0.19	0.077	PETER BLOKKER	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
178	290-37000	1601	62	0.19	0.19	0.077	ELSIE KUBINEC	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
179	290-36900	1601	63 Pt Lx 64	0.29	0.29	0.117	MURRAY HARTFORD	\$ -	\$ 934.00	\$ -	\$ -	\$ 934.00
180	290-36800	1601	65 Pt Lx 64	0.28	0.28	0.113	DENNIS LEE & MARY THERESA BROWN	\$ -	\$ 902.00	\$ -	\$ -	\$ 902.00
181	290-36700	1601	66	0.18	0.18	0.073	PETER ZACHARIAS & ELIZABETH ZACHARIAS BERGEN	\$ -	\$ 580.00	\$ -	\$ -	\$ 580.00
182	290-36600	1601	67	0.19	0.19	0.077	HELENA & VICTOR DUTRA ANDRADE	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
183	290-36500	1601	68	0.19	0.19	0.077	PAULINO & ELENA MARCOVECHHO	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
184	290-36400	1601	31	0.23	0.23	0.093	FREDERICK ALLAN & SANDRA ANN GRANT	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
185	290-36300	1601	32	0.23	0.23	0.093	LAMBERT ROLIN & LORIE ANNE WYBENGA	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
186	290-36200	1601	33	0.23	0.23	0.093	CORY ANDREW & HEATHER JENNIFER ANN LANIGAN	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
187	290-36100	1601	34	0.23	0.23	0.093	VINCENZO & MARIA MASTRONARDI	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
188	290-36000	1601	35	0.23	0.23	0.093	VELMA JANE NOVAK	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
189	290-35900	1601	36	0.23	0.23	0.093	DOMENICO ANTONIO & ANTONETTA MASSARUSSO	\$ -	\$ 768.00	\$ -	\$ -	\$ 768.00
190	290-35800	1601	37	0.25	0.25	0.101	EMILIO MASSARUSSO	\$ -	\$ 835.00	\$ -	\$ -	\$ 835.00
191	290-35700	1601	BLK C	1.28	1.28	0.518	KINGSVILLE TOWN	\$ -	\$ 1,425.00	\$ -	\$ -	\$ 1,425.00
192	290-35600	1601	38	0.19	0.19	0.077	ROBERT BRUCE MYLES & KAREN MARIE SCHILLER	\$ -	\$ 635.00	\$ -	\$ -	\$ 635.00
193	290-35500	1601	39	0.19	0.19	0.077	ETELVIRO SOARES & FATIMA FERNANDES FREITAS	\$ -	\$ 635.00	\$ -	\$ -	\$ 635.00
194	290-35400	1601	40	0.19	0.19	0.077	CHARLES GORDON & DONNA LOUISE GIRTY	\$ -	\$ 635.00	\$ -	\$ -	\$ 635.00
195	290-35300	1601	41	0.19	0.19	0.077	JOSEPH MICHAEL & ELIZABETH BERESH	\$ -	\$ 635.00	\$ -	\$ -	\$ 635.00
196	290-35200	1601	42	0.19	0.19	0.077	MARIO & THERESA CAPPELLI	\$ -	\$ 635.00	\$ -	\$ -	\$ 635.00
197	290-35100	1601	43	0.18	0.18	0.073	LEE FRANCIS & BRENDIA GAY MILLER	\$ -	\$ 601.00	\$ -	\$ -	\$ 601.00
198	290-35000	1601	44	0.19	0.19	0.077	GUILLERMO & ELIZABETH WIEBE	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
199	290-34900	1601	45	0.19	0.19	0.077	MATTHEW JAMES MCRAE	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
200	290-34800	1601	46	0.18	0.18	0.077	JOSE VICENTE & AGUIDA PACHECO	\$ -	\$ 580.00	\$ -	\$ -	\$ 580.00
201	290-34700	1601	47	0.18	0.18	0.073	CYNTHIA DENISE WARE	\$ -	\$ 612.00	\$ -	\$ -	\$ 612.00
202	290-34600	1601	48	0.19	0.19	0.077	BARBARA GREVE	\$ -	\$ 580.00	\$ -	\$ -	\$ 580.00
203	290-34500	1601	49	0.18	0.18	0.073	KATHARINA & ANHIA REIMER	\$ -	\$ 580.00	\$ -	\$ -	\$ 580.00

## B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS

ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT OWNED	ACRES AFFTD	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	(SECTION 74) VALUE OF BENEFIT LIABILITY	(SECTION 73) VALUE OF OUTLET LIABILITY	(SECTION 74) VALUE OF SPECIAL BENEFIT	(SECTION 74) VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
204	290-34400	1601	50		0.18	0.073	DAVID ALVIN & MARY ELIZABETH TOEWS	\$ -	\$ 580.00	-	\$ -	\$ 580.00
205	290-34300	1601	51		0.18	0.073	WILHELM & KATHARINA DYCK	\$ -	\$ 580.00	-	\$ -	\$ 580.00
206	290-34200	1601	52	0.18	0.18	0.073	SHELDON VICTOR WEIKS	\$ -	\$ 580.00	-	\$ -	\$ 580.00
207	290-34100	1601	53	0.18	0.18	0.073	BERNHARD & ANNA FROESE	\$ -	\$ 580.00	-	\$ -	\$ 580.00
208	290-34000	1601	54	0.18	0.18	0.073	RUDOLF & ELIZABETH BAUMANN	\$ -	\$ 580.00	-	\$ -	\$ 580.00
209	290-33900	1601	55	0.18	0.18	0.073	FRANK CAPPELLI	\$ -	\$ 580.00	-	\$ -	\$ 580.00
210	290-33800	1601	56		0.21	0.085	ANITA ASSUMTA MATTIA	\$ -	\$ 678.00	-	\$ -	\$ 678.00
211	290-33700	1601	20		0.24	0.097	JENNIFER LYNN SMITH	\$ -	\$ 744.00	-	\$ -	\$ 744.00
212	290-33600	1601	19	0.22	0.22	0.089	JOHAN FEUR & MARGARETHA FRIESEN	\$ -	\$ 682.00	-	\$ -	\$ 682.00
213	290-33500	1601	18	0.22	0.22	0.089	MICHAEL STEVEN & SANDRA ELIZABETH STEIN	\$ -	\$ 682.00	-	\$ -	\$ 682.00
214	290-33400	1601	17	0.22	0.22	0.089	WILHELM & KATHARINA HEBERT	\$ -	\$ 682.00	-	\$ -	\$ 682.00
215	290-33300	1601	16	0.22	0.22	0.089	JOHN & ALICE FRIESEN	\$ -	\$ 682.00	-	\$ -	\$ 682.00
216	290-33200	1601	15	0.22	0.22	0.089	TREVOR MATTHEW BROWN & SHERI LYN REEMIE	\$ -	\$ 682.00	-	\$ -	\$ 682.00
217	290-33100	1601	14	0.22	0.22	0.089	ARTHUR JOHN & HEDWIG TIESSEN	\$ -	\$ 682.00	-	\$ -	\$ 682.00
218	290-33000	1601	13	0.21	0.21	0.085	HENRICH REIMER & MARGARETHA FRIESEN	\$ -	\$ 651.00	-	\$ -	\$ 651.00
219	290-32900	1601	12	0.21	0.21	0.085	JEREMY FLOYD & MINDY LEE COLENUIT	\$ -	\$ 651.00	-	\$ -	\$ 651.00
220	290-32800	1601	11		0.20	0.081	ANNA MARIA VALERI & ROSE SPIDALIERI	\$ -	\$ 620.00	-	\$ -	\$ 620.00
221	290-32700	1601	10	0.18	0.18	0.073	DAVID & JUSTINA FEHR	\$ -	\$ 556.00	-	\$ -	\$ 556.00
222	290-32600	1601	9	0.18	0.18	0.073	KENNETH CARLYLE BRUNER	\$ -	\$ 558.00	-	\$ -	\$ 558.00
223	290-32500	1601	8	0.18	0.18	0.073	DAVID MARTEN FRIESEN	\$ -	\$ 550.00	-	\$ -	\$ 550.00
224	290-32400	1601	7	0.18	0.18	0.073	ABRAHAM WALL	\$ -	\$ 580.00	-	\$ -	\$ 580.00
225	290-32300	1601	6	0.18	0.18	0.073	BENJAMIN & AGATHA BOSCHMAN	\$ -	\$ 580.00	-	\$ -	\$ 580.00
226	290-32200	1601	5	0.18	0.18	0.073	RAYMOND MOISE KENNETTE	\$ -	\$ 580.00	-	\$ -	\$ 580.00
227	290-32100	1601	4	0.18	0.18	0.073	ABRAHAM & KATHERINA DYCK	\$ -	\$ 580.00	-	\$ -	\$ 580.00
228	290-32000	1601	3	0.18	0.18	0.073	ERICOLINO DI MENNA & VIOERICA JEFFERY	\$ -	\$ 580.00	-	\$ -	\$ 580.00
229	290-31902	2 E.D.	11	0.51	0.51	0.208	782743 ONTARIO INC	\$ -	\$ 1,086.00	-	\$ -	\$ 1,086.00
230	290-31900	1601	2	0.18	0.18	0.073	JOAO & ISALINA REGO	\$ -	\$ 580.00	-	\$ -	\$ 580.00
231	290-31800	1601	1	0.35	0.35	0.142	MILDRED BERTY HALL	\$ -	\$ 1,188.00	-	\$ -	\$ 1,188.00
232	290-31700	2 E.D.	10	0.68	0.68	0.275	EVA HARNIS & JACOB HARNIS-DYCK	\$ -	\$ 2,271.00	-	\$ -	\$ 2,271.00
233	290-31600	M182	PT LOTS 1 & 2	0.13	0.13	0.053	SELMA SUMARAH	\$ -	\$ 450.00	-	\$ -	\$ 450.00



B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS												
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT OWNED	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 221 VALUE OF BENEFIT LIABILITY	SECTION 221 VALUE OF OUTLET LIABILITY	SECTION 241 VALUE OF SPECIAL BENEFIT	SECTION 241 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
234	290-31000	M182	Pl Lot 2		0.60	0.743	JAMES MARTENS FRIESEN	\$ -	\$ 2,076.00	\$ -	\$ -	\$ 2,076.00
235	290-31000	M182	Pl Lot 2		0.74	0.299	T G & SON MARKETING LTD	\$ -	\$ 2,560.00	\$ -	\$ -	\$ 2,560.00
236	290-31000	M182	Pl Lot 2		0.36	0.146	BRENDA LEE TAGGART	\$ -	\$ 1,245.00	\$ -	\$ -	\$ 1,245.00
237	290-31000	M182	Pl Lot 3		0.19	0.077	SARAH ANNE WYBENGA & SCOTT CAMPBELL INGLIS	\$ -	\$ 657.00	\$ -	\$ -	\$ 657.00
238	290-31100	M182	Lot 4 PT Lot 3		0.72	0.291	DONALD STEWART & MARGARET JEAN DUNMORE	\$ -	\$ 2,491.00	\$ -	\$ -	\$ 2,491.00
239	290-31001	M182	Pl Lot 5	0.43	0.36	0.146	PETER & ELIZABETH FRIESEN	\$ -	\$ 1,245.00	\$ -	\$ -	\$ 1,245.00
240	290-31000	M182	Lot 6 Pl Lot 5		0.44	0.178	ANDREW KROSLAK & ASHLEY CHAVIN	\$ -	\$ 1,522.00	\$ -	\$ -	\$ 1,522.00
241	290-30900	M182	Pl Lot 7 Lot 5		0.51	0.206	JOHN & MARIA FORTES	\$ -	\$ 1,764.00	\$ -	\$ -	\$ 1,764.00
242	290-30700	M182	Lot 15 Pl Lot 14		0.24	0.097	IRI RHARD NEUFELD & HELENA DRIEDGER FRIESEN	\$ -	\$ 830.00	\$ -	\$ -	\$ 830.00
243	290-30600	M182	Lot 13 Pl Lot 14		0.15	0.061	SHAWN EDWARD & LISA MARLENE GALE	\$ -	\$ 519.00	\$ -	\$ -	\$ 519.00
244	290-30500	M182	12		0.27	0.109	JONATHAN GEORGE BADAQA	\$ -	\$ 934.00	\$ -	\$ -	\$ 934.00
245	290-30400	M182	11		0.18	0.073	CARLOS MANUEL CORDEIRO	\$ -	\$ 623.00	\$ -	\$ -	\$ 623.00
246	290-30300	M182	10		0.20	0.081	PERRY THOMAS & LUCIA FATIMA KENNEY	\$ -	\$ 692.00	\$ -	\$ -	\$ 692.00
247	290-30200	M182	9		0.19	0.077	SHAWNA LYNN & MARGARET JEAN MACKENZIE	\$ -	\$ 657.00	\$ -	\$ -	\$ 657.00
248	290-30100	M182	8		0.19	0.077	GARY STEWART & SHEILA ANNE DUNMORE	\$ -	\$ 657.00	\$ -	\$ -	\$ 657.00
249	290-30000	M182	7		0.23	0.093	JAMES EDWARD & JUDY JEFFREY	\$ -	\$ 796.00	\$ -	\$ -	\$ 796.00
250	290-29900	M182	6		0.25	0.101	PETER & AGNETHA PEINER	\$ -	\$ 865.00	\$ -	\$ -	\$ 865.00
251	290-29800	M182	5		0.27	0.109	ANDREW ORR & CAROL ANN CARRUTHERS	\$ -	\$ 934.00	\$ -	\$ -	\$ 934.00
252	290-29400	M182	3	1.32	0.534	0.534	TONY & MICHELLE ANNETTE DIMENNA	\$ -	\$ 9,895.00	\$ -	\$ -	\$ 9,895.00
253	290-29200	M182	5 & 6		0.30	0.121	GORDON JACOB & HEATHER MARILYN EPP	\$ -	\$ 1,038.00	\$ -	\$ -	\$ 1,038.00
254	290-29100	M182	8 TO 14 PT	8.56	3.464	3.464	TRUSTEES OF CORNERSTONE CUMMULIN	\$ -	\$ 20,424.00	\$ -	\$ -	\$ 20,424.00
255	290-29000	M182	7		0.20	0.081	HUMBERTO PAVAO	\$ -	\$ 716.00	\$ -	\$ -	\$ 716.00
256	290-28900	M182	6 Pl Lot 5		0.22	0.089	MASQUALE & JO ANNE ISABELLE MATTIA	\$ -	\$ 787.00	\$ -	\$ -	\$ 787.00
257	290-28600	M182	PT LOT 4 / 5		0.19	0.077	BRENZE & MARJORIE ANN POSTMA	\$ -	\$ 680.00	\$ -	\$ -	\$ 680.00
258	290-28700	M182	Pl Lot 4		0.15	0.061	JAMES BISHOP & ADELAIDA LAGANG TAGA-OC	\$ -	\$ 537.00	\$ -	\$ -	\$ 537.00
259	290-28500	M182	Pl Lot 3 / 4		0.18	0.073	ROBERT & GWENDOLYN ULICH	\$ -	\$ 644.00	\$ -	\$ -	\$ 644.00
260	290-28500	M182	Pl Lots 2 & 3		0.35	0.142	DWAYNE LARRY & KIM IRENE TEINNEY	\$ -	\$ 1,253.00	\$ -	\$ -	\$ 1,253.00
261	290-28100	2 E D	10	0.33	0.134	0.134	JOHN PENNER	\$ -	\$ 1,181.00	\$ -	\$ -	\$ 1,181.00
262	290-28000	2 E D	10	1.40	0.567	0.567	NICHELENA POLICELLA	\$ -	\$ 5,011.00	\$ -	\$ -	\$ 5,011.00
263	290-27900	2 E D	10	1.40	0.567	0.567	MAURINO SOARES & BETTY JEAN FREITAS	\$ -	\$ 5,011.00	\$ -	\$ -	\$ 5,011.00

## B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS

ENTRY NO.	TAX ROLL NO.	COM. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 22 VALUE OF BENEFIT LIABILITY	SECTION 23 VALUE OF OUTLET LIABILITY	SECTION 24 VALUE OF SPECIAL BENEFIT	SECTION 28 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
264	290-27800	2 E.D.	10	1.91	1.91	0.773	FRANCESCO & MARIA MASTRONARDI	\$ -	\$ 8,836.00	\$ -	\$ -	\$ 8,836.00
265	290-27710	2 E.D.	10	1.06	1.06	0.429	TONY & LINDA MASTRONARDI	\$ -	\$ 3,794.00	\$ -	\$ -	\$ 3,794.00
266	290-27600	2 E.D.	10		0.50	0.202	JACOB & ANNA FEHR	\$ -	\$ 1,789.00	\$ -	\$ -	\$ 1,789.00
267	290-27420	2 E.D.	10	0.35	0.35	0.142	DENNIS & LILLY RENVE	\$ -	\$ 1,253.00	\$ -	\$ -	\$ 1,253.00
268	290-27410	2 E.D.	10	0.39	0.39	0.158	DENNIS & LILLY RENVE	\$ -	\$ 1,398.00	\$ -	\$ -	\$ 1,398.00
269	290-27400	2 E.D.	10	0.47	0.47	0.180	MICHAEL JONATHAN DEL CAMPIO	\$ -	\$ 1,682.00	\$ -	\$ -	\$ 1,682.00
270	290-23500	2 E.D.	11	0.94	0.94	0.380	ABRAHAM & HELENA PENNER	\$ -	\$ 3,364.00	\$ -	\$ -	\$ 3,364.00
271	290-23400	2 E.D.	11	0.66	0.66	0.267	ROY WILLIAM HALL	\$ -	\$ 2,382.00	\$ -	\$ -	\$ 2,382.00
272	290-23201	2 E.D.	11	0.69	0.69	0.279	RICHARD HENRY ENNIS	\$ -	\$ 2,470.00	\$ -	\$ -	\$ 2,470.00
273	290-23200	2 E.D.	11	0.69	0.69	0.279	HARRY GERO & GUQUELMAH KELLER	\$ -	\$ 2,470.00	\$ -	\$ -	\$ 2,470.00
274	290-23100	2 E.D.	11	0.73	0.73	0.295	DANIEL FAGUNDE CABRAL	\$ -	\$ 2,613.00	\$ -	\$ -	\$ 2,613.00
275	290-23000	2 E.D.	11	0.69	0.69	0.279	JEREMY MARTIN CHOBRDA	\$ -	\$ 2,470.00	\$ -	\$ -	\$ 2,470.00
276	290-22900	2 E.D.	11	0.69	0.69	0.279	NELSON DUTRA & KIMBERLY ELIZABETH ANDRADE	\$ -	\$ 2,470.00	\$ -	\$ -	\$ 2,470.00
277	290-22800	2 E.D.	11	0.69	0.69	0.279	JOHAN & JUSTINA GIESBRECHT	\$ -	\$ 2,470.00	\$ -	\$ -	\$ 2,470.00
278	290-22700	2 E.D.	11	0.69	0.69	0.279	ROBERT J PAUL GRAHAM	\$ -	\$ 2,470.00	\$ -	\$ -	\$ 2,470.00
279	290-22600	2 E.D.	10	0.40	0.40	0.162	JOHAN & ANNA HILDEBRAND	\$ -	\$ 1,432.00	\$ -	\$ -	\$ 1,432.00
280	290-22500	2 E.D.	10	0.34	0.34	0.138	RICHARD WAYNE & WINIFRED JEAN NEAL	\$ -	\$ 1,217.00	\$ -	\$ -	\$ 1,217.00
281	290-22420	2 E.D.	10	1.17	1.17	0.473	TONY & MICHELLE ANNETTE OMENIA	\$ -	\$ 4,187.00	\$ -	\$ -	\$ 4,187.00
282	290-22410	2 E.D.	10	1.26	1.26	0.510	DINO & VERA DIEMENNA	\$ -	\$ 4,510.00	\$ -	\$ -	\$ 4,510.00
283	290-22334	12M565	26	0.30	0.30	0.120	DOMENICO MUCCI	\$ 1,330.00	\$ 153.00	\$ -	\$ -	\$ 1,483.00
284	290-22333	12M565	25	2.01	2.01	0.813	DOMENICO MUCCI	\$ 9,020.00	\$ 1,039.00	\$ -	\$ -	\$ 10,059.00
285	290-22332	12M565	23	0.21	0.21	0.084	1552843 ONTARIO LTD	\$ -	\$ 645.00	\$ -	\$ -	\$ 645.00
286	290-22331	12M565	22	0.20	0.20	0.082	CHARLIE & NICOLE EVA ABDEL MASSIH	\$ -	\$ 631.00	\$ -	\$ -	\$ 631.00
287	290-22330	12M565	21	0.36	0.36	0.145	DONALD FURTADO & DIANE DASILVA GUADROS	\$ -	\$ 1,113.00	\$ -	\$ -	\$ 1,113.00
288	290-22329	12M565	20	0.28	0.28	0.112	DAVID THIESSEN & MARIA BARTSCH REIMER	\$ -	\$ 894.00	\$ -	\$ -	\$ 894.00
289	290-22328	12M565	19	0.38	0.38	0.158	BRIAN EDWIN & DIANE STOCKTON	\$ -	\$ 1,238.00	\$ -	\$ -	\$ 1,238.00
290	290-22327	12M565	18	0.20	0.20	0.082	JASON WILSON & MILKA ELENA PIEPER	\$ -	\$ 656.00	\$ -	\$ -	\$ 656.00
291	290-22326	12M565	17	0.21	0.21	0.084	LUIS & NELLA MONZ	\$ -	\$ 670.00	\$ -	\$ -	\$ 670.00
292	290-22325	12M565	16	0.22	0.22	0.088	1552843 ONTARIO LTD	\$ -	\$ 697.00	\$ -	\$ -	\$ 697.00
293	290-22324	12M565	15	0.20	0.20	0.079	1552843 ONTARIO LTD	\$ -	\$ 629.00	\$ -	\$ -	\$ 629.00

## B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS

ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT OWNED	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 221 VALUE OF BENEFIT LIABILITY	SECTION 221 VALUE OF OUTLET LIABILITY	SECTION 241 VALUE OF SPECIAL BENEFIT	SECTION 241 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
294	290-222323	1214585	14	0.20	0.20	0.079	1522843 ONTARIO LTD	\$ -	\$ 629.00	\$ -	\$ -	\$ 629.00
295	290-222322	1214585	13	0.21	0.21	0.065	ADAM HERBERT & SANDRA ISABEL PILLON	\$ -	\$ 677.00	\$ -	\$ -	\$ 677.00
296	290-222321	1214585	12	0.24	0.24	0.097	1522843 ONTARIO LTD	\$ -	\$ 774.00	\$ -	\$ -	\$ 774.00
297	290-222320	1214585	11	0.23	0.23	0.092	1522843 ONTARIO LTD	\$ -	\$ 732.00	\$ -	\$ -	\$ 732.00
298	290-222319	1214585	10	0.30	0.30	0.122	1522843 ONTARIO LTD	\$ -	\$ 968.00	\$ -	\$ -	\$ 968.00
299	290-222318	1214585	9	0.34	0.34	0.137	SUSY BEAUCHAMPEL	\$ -	\$ 1,090.00	\$ -	\$ -	\$ 1,090.00
300	290-222317	1214585	8	0.34	0.34	0.136	1522843 ONTARIO LTD	\$ -	\$ 1,084.00	\$ -	\$ -	\$ 1,084.00
301	290-222316	1214585	7	0.30	0.30	0.121	DOMENICO MAUCI	\$ -	\$ 925.00	\$ -	\$ -	\$ 925.00
302	290-222315	1214585	6	0.20	0.20	0.080	MICHAEL DAB & DEANNA ETHEL MATHES	\$ -	\$ 614.00	\$ -	\$ -	\$ 614.00
303	290-222314	1214585	5	0.24	0.24	0.095	LOUIS CARLOS & REBECCA ANNE RODRIGUES	\$ -	\$ 730.00	\$ -	\$ -	\$ 730.00
304	290-222313	1214585	4	0.21	0.21	0.085	KEVIN & JENNY MELISSA CARDOSO	\$ -	\$ 652.00	\$ -	\$ -	\$ 652.00
305	290-222312	1214585	3	0.20	0.20	0.079	STEPHEN & MICHELLE LYNNE MARCOVECCIO	\$ -	\$ 608.00	\$ -	\$ -	\$ 608.00
306	290-222311	1214585	2	0.20	0.20	0.079	KEITH & SHARON BOEHME	\$ -	\$ 606.00	\$ -	\$ -	\$ 606.00
307	290-222310	1214585	1	0.22	0.22	0.088	1522843 ONTARIO LTD	\$ -	\$ 671.00	\$ -	\$ -	\$ 671.00
308	290-222308	2 E.D.	9 & 10	0.25	0.25	0.102	EVA KBAHN	\$ -	\$ 874.00	\$ -	\$ -	\$ 874.00
309	290-222306	2 E.D.	10	0.82	0.82	0.251	RUTHVEN MONTESSORI ACAD. INC.	\$ -	\$ 2,145.00	\$ -	\$ -	\$ 2,145.00
310	290-222300	2 E.D.	11	2.55	2.55	1.032	817812 ONTARIO LIMITED	\$ -	\$ 19,115.00	\$ -	\$ -	\$ 19,115.00
311	290-22102	2 E.D.	11	0.60	0.60	0.243	782743 ONTARIO INC. - FRANCO PORRONE	\$ -	\$ 2,078.00	\$ -	\$ -	\$ 2,078.00
312	290-22101	2 E.D.	11	0.92	0.92	0.371	FRANCO & CRISTINA PORRONE	\$ -	\$ 3,174.00	\$ -	\$ -	\$ 3,174.00
313	290-22050	2 E.D.	11	0.56	0.56	0.228	MARY PORRONE	\$ -	\$ 1,948.00	\$ -	\$ -	\$ 1,948.00
314	290-22025	2 E.D.	11	0.17	0.17	0.069	JOHN GEORGE & MADELINE MUNRO	\$ -	\$ 540.00	\$ -	\$ -	\$ 540.00
315	290-22001	2 E.D.	11	0.17	0.17	0.069	JUAN LOPEZ & ELISABETH DYCK	\$ -	\$ 560.00	\$ -	\$ -	\$ 560.00
316	290-18350	1 E.D.	11	0.50	0.50	0.202	ERENWY ACRES INC	\$ -	\$ 1,074.00	\$ -	\$ -	\$ 1,074.00
317	290-18300	1 E.D.	11	0.23	0.23	0.093	MAXINE ELIZABETH & JOSEPH ROGER KNIGHT	\$ -	\$ 454.00	\$ -	\$ -	\$ 454.00
318	290-18000	1 E.D.	11	0.34	0.34	0.139	NEIL & ANJANETTE MACFARLANE	\$ 1,542.00	\$ 738.00	\$ -	\$ -	\$ 2,280.00
319	290-17950	1 E.D.	11	0.69	0.69	0.278	WILL BERNHARD & HELENA WEBE	\$ -	\$ 1,475.00	\$ -	\$ -	\$ 1,475.00
320	290-17850	1 E.D.	11	0.56	0.56	0.227	ANTONIO & ELENA DIMENNA	\$ -	\$ 1,203.00	\$ -	\$ -	\$ 1,203.00
321	290-17600	1 E.D.	10 & 11	0.51	0.51	0.208	FRANK GAETANO MASTRONARDI	\$ -	\$ 1,102.00	\$ -	\$ -	\$ 1,102.00
322	290-17700	1 E.D.	10	0.71	0.71	0.287	GERARDO & VENERANDA MASTRONARDI	\$ -	\$ 1,525.00	\$ -	\$ -	\$ 1,525.00
323	290-17900	1 E.D.	11	0.73	0.73	0.294	RICHARD THIESSEN & ANNA GUENTHER	\$ -	\$ 1,472.00	\$ -	\$ -	\$ 1,472.00



RC Spencer Associates

B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS												
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 23 VALUE OF BENEFIT LIABILITY	SECTION 23 VALUE OF OUTLET LIABILITY	SECTION 24 VALUE OF SPECIAL BENEFIT	SECTION 25 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
354	290-10000	1 E.D.	11	0.65	0.65	0.261	STEVEN ROBERT MARCHAND & FELICIA RICO	\$ 2,864.00	\$ 1,155.00	\$ 500.00	\$ -	\$ 4,550.00
355	290-09900	1 E.D.	11	0.85	0.85	0.344	DAVID WALTER & SUSAN LYNN/ANNETTE WHITE	\$ 3,811.00	\$ 1,621.00	\$ 500.00	\$ -	\$ 5,932.00
356	290-09800	M19	7	0.98	0.98	0.358	SCOTT ARNOLD SHILSON	\$ 4,416.00	\$ 1,878.00	\$ 500.00	\$ -	\$ 6,794.00
357	290-09700	M19	6	0.43	0.43	0.172	DAVID ANDREW DANN	\$ 1,907.00	\$ 811.00	\$ 500.00	\$ -	\$ 3,218.00
358	290-09600	M19	5	0.42	0.42	0.168	JIN ZHU	\$ 1,864.00	\$ 793.00	\$ 500.00	\$ -	\$ 3,157.00
359	290-09500	M19	4	0.51	0.51	0.207	GEORFFREY BROOK GARDNER & JENNIFER ISOBEL FRASER	\$ 2,291.00	\$ 1,035.00	\$ 500.00	\$ -	\$ 3,826.00
360	290-09400	M19	3	0.40	0.40	0.160	JOH LYNN BALTZER	\$ 1,773.00	\$ 601.00	\$ 500.00	\$ -	\$ 3,074.00
361	290-09300	M19	2	0.35	0.35	0.142	JASON VERN & JENNIFER SUSAN S COPE	\$ 1,571.00	\$ 710.00	\$ 500.00	\$ -	\$ 2,781.00
362	290-09200	M19	1	0.31	0.31	0.127	LEO & KATHY PROBE	\$ 1,404.00	\$ 634.00	\$ 500.00	\$ -	\$ 2,538.00
363	290-09100	1 E.D.	11	1.07	1.07	0.434	CONNIE-JEAN LATAM	\$ 4,816.00	\$ 2,048.00	\$ 500.00	\$ -	\$ 7,364.00
364	290-09000	1 E.D.	11	0.61	0.61	0.248	DEBORAH LOH & EDMOND JULIEN ROLLIER	\$ 2,750.00	\$ 1,170.00	\$ 500.00	\$ -	\$ 4,420.00
365	290-08900	1 E.D.	11	0.47	0.47	0.190	GREGORY & VICKI CALCOTT	\$ 2,110.00	\$ 954.00	\$ 500.00	\$ -	\$ 3,564.00
366	290-08800	1 E.D.	11	0.44	0.44	0.178	JAMES ERNEST & SHIRLEY ANNE JENSEN	\$ 1,975.00	\$ 853.00	\$ 500.00	\$ -	\$ 3,368.00
367	290-08700	1 E.D.	11	0.37	0.37	0.150	PHYLLIS MARIE HICKS	\$ 1,664.00	\$ 251.00	\$ 500.00	\$ -	\$ 2,415.00
368	290-08600	1 E.D.	11	0.34	0.34	0.138	RICHARD CLARE & PHYLLIS MARIE HICKS	\$ 1,520.00	\$ 691.00	\$ 500.00	\$ -	\$ 2,720.00
369	290-08500	1 E.D.	11	0.51	0.51	0.205	STANLEY LAWRENCE GEVAERT	\$ -	\$ 1,025.00	\$ -	\$ -	\$ 1,025.00
370	290-08400	1 E.D.	11	0.36	0.36	0.146	ENRICO HENRY MASTRONARDI	\$ -	\$ 776.00	\$ -	\$ -	\$ 776.00
371	290-08300	1 E.D.	11	0.49	0.49	0.196	ALBERT MASTRONARDI	\$ -	\$ 1,052.00	\$ -	\$ -	\$ 1,052.00
Total Affected Lands						179.49						
Total Assessment on Privately Owned Non-Agricultural Lands (Not Grantable)								\$ 58,364.00	\$ 639,884.00	\$ 8,000.00	\$ -	\$ 646,248.00

C) PRIVATELY OWNED - AGRICULTURAL LANDS (GRANTABLE)												
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	(SECTION 22) VALUE OF BENEFIT LIABILITY	(SECTION 23) VALUE OF OUTLET LIABILITY	(SECTION 24) VALUE OF SPECIAL BENEFIT	(SECTION 25) VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
372	340-00300	3 E.D.	PW1/2 lot 10	4.45	2.89	1.048	GIORGIO & ANNA COLASANTI	\$ -	\$ 3,090.00	\$ -	\$ -	\$ 3,090.00
373	340-00100	3 E.D.	PW1/2 lot 10	4.50	2.92	1.182	PIETRO & ITALIA COLASANTI	\$ -	\$ 3,405.00	\$ -	\$ -	\$ 3,405.00
374	340-01400	3 E.D.	PS1/2 lot 11	31.25	31.25	12.647	JOHN DAVID & JENNIFER LYNNETTE FITTLER	\$ -	\$ 42,105.00	\$ -	\$ -	\$ 42,105.00
375	340-01300	3 E.D.	PS1/2 lot 11	18.19	8.80	2.023	JOHN DAVID & JENNIFER LYNNETTE FITTLER	\$ -	\$ 9,007.00	\$ -	\$ -	\$ 9,007.00
376	340-01200	3 E.D.	PS1/2 lot 11	27.64	14.00	5.666	WALTER RICHARD & MARLENE ELIZABETH ANNI HOCH DICK	\$ -	\$ 11,780.00	\$ -	\$ -	\$ 11,780.00

## C) PRIVATELY OWNED - AGRICULTURAL LANDS (GRANTABLE)

ENTRY NO.	TAX ROLL NO.	COW, OR PLAN NO.	LOT OR PART OF LOT OWNED	ACRES AFFTD	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	SECTION 241 VALUE OF BENEFIT LIABILITY	SECTION 241 VALUE OF OUTLET LIABILITY	SECTION 241 VALUE OF SPECIAL BENEFIT	SECTION 241 VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
377	300-32500	2 E D	9	43.26	7.12	2.883	817885 ONTARIO LIMITED	\$ -	\$ 8,923.00	\$ -	\$ -	\$ 8,923.00
378	300-32700	2 E D	9	1.89	1.89	0.765	EXCALIBUR PLASTICS LTD	\$ -	\$ 19,032.00	\$ -	\$ -	\$ 19,032.00
379	290-38700	1 E D	10 & 11	47.78	47.78	19.336	MUCCI FARMS LTD	\$ 214,417.00	\$ 324,756.00	\$ -	\$ -	\$ 539,173.00
380	290-30800	182	8 P1 L24 7/9	3.30	3.30	1.335	ERCOLE DIMENNA	\$ -	\$ 26,724.00	\$ -	\$ -	\$ 26,724.00
381	290-28400	2 E D	10	3.81	3.81	1.542	DANNY & JOHNNY R VESPA	\$ -	\$ 6,409.00	\$ -	\$ -	\$ 6,409.00
382	290-28300	2 E D	10	2.68	2.68	1.085	GIOVANNI & FRANCO VESPA	\$ -	\$ 6,744.00	\$ -	\$ -	\$ 6,744.00
383	290-28200	2 E D	10	17.60	17.60	7.123	FRANCESCO & MARIA MASTRONARDI	\$ -	\$ 20,997.00	\$ -	\$ -	\$ 20,997.00
384	290-27700	2 E D	10	2.27	2.27	0.919	ISAAC & HELENA NEUFELD	\$ -	\$ 6,400.00	\$ -	\$ -	\$ 6,400.00
385	290-27500	2 E D	10	3.48	3.48	1.408	BERNARD WIEBE & ELIZABETH WIEBE FRIESEN	\$ -	\$ 30,351.00	\$ -	\$ -	\$ 30,351.00
386	290-27350	2 E D	10	3.73	3.73	1.510	MUCCIPAC LTD	\$ -	\$ 35,581.00	\$ -	\$ -	\$ 35,581.00
387	290-27300	2 E D	10 & 11	16.00	16.00	6.475	RUTHVEN INDUSTRIAL PARK CORPORATION	\$ -	\$ 54,913.00	\$ -	\$ -	\$ 54,913.00
388	290-27210	2 E D	10 & 11	33.60	33.60	13.598	RUTHVEN INDUSTRIAL PARK CORPORATION	\$ -	\$ 40,065.00	\$ -	\$ -	\$ 40,065.00
389	290-27200	2 E D	10 & 11	30.08	30.08	12.165	TONY & MICHELE ANNETTE DIMENNA	\$ -	\$ 35,861.00	\$ -	\$ -	\$ 35,861.00
390	290-27100	2 E D	11	35.00	35.00	14.164	CAROLYN JEAN STOCKWELL	\$ -	\$ 39,646.00	\$ -	\$ -	\$ 39,646.00
391	290-27000	2 E D	11	25.53	4.30	1.729	SUN GRO FARMS INC	\$ -	\$ 2,563.00	\$ -	\$ -	\$ 2,563.00
392	290-23301	2 E D	11	3.45	1.74	0.703	871174 ONTARIO LIMITED	\$ -	\$ 1,037.00	\$ -	\$ -	\$ 1,037.00
393	290-23300	2 E D	11	10.94	4.62	1.870	ERIC & CINDY ZIMMER	\$ -	\$ 12,331.00	\$ -	\$ -	\$ 12,331.00
394	290-22400	2 E D	10 & 11	20.78	20.78	8.410	TONY & MICHELE ANNETTE DIMENNA	\$ -	\$ 82,591.00	\$ -	\$ -	\$ 82,591.00
395	290-22309	2 E D	10	21.37	21.37	8.648	DOMENICO MUCCI	\$ 95,900.00	\$ 21,838.00	\$ 64,900.00	\$ -	\$ 182,638.00
396	290-22100	2 E D	11	42.44	42.44	17.175	CRISTINA PORRONE	\$ 190,453.00	\$ 50,489.00	\$ 98,400.00	\$ -	\$ 339,342.00
397	290-18400	1 E D	11	30.45	6.99	2.465	2289029 ONTARIO LIMITED	\$ -	\$ 29,805.00	\$ -	\$ -	\$ 29,805.00
398	290-18200	1 E D	11	72.49	72.49	29.336	MUCCI FARMS LTD	\$ 375,305.00	\$ 493,320.00	\$ 6,600.00	\$ -	\$ 875,225.00
399	290-17900	1 E D	11	32.20	32.20	13.031	SOUTHSORE GREENHOUSES INC	\$ 144,500.00	\$ 219,918.00	\$ 8,000.00	\$ -	\$ 372,418.00
400	290-17601	1 E D	10	24.48	14.79	5.985	1382298 ONTARIO LIMITED	\$ -	\$ 103,369.00	\$ -	\$ -	\$ 103,369.00
401	290-08401	1 E D	11	9.38	9.38	3.796	2402784 ONTARIO INC	\$ 42,094.00	\$ 40,234.00	\$ 21,200.00	\$ -	\$ 103,528.00
402	290-08400	1 E D	11	8.14	8.14	3.294	ENRICO HENRY & ANNA MASTRONARDI	\$ -	\$ 38,852.00	\$ -	\$ -	\$ 38,852.00
403	290-08301	1 E D	11	3.81	3.81	1.542	M & A MASTRONARDI FARMS LTD	\$ -	\$ 25,107.00	\$ -	\$ -	\$ 25,107.00
404	290-08300	1 E D	11	6.93	6.93	2.805	FORNIA CAPUSI	\$ -	\$ 4,409.00	\$ -	\$ -	\$ 4,409.00
Total Affected Lands							513.16	207.873				
Total Assessment on Privately Owned Agricultural Lands (Grantable)							\$ 1,612,445.00	\$ 1,451,776.00	\$ 199,100.00	\$ -	\$ -	\$ 3,063,321.00



**RICHARD HICKS BRANCH DRAIN  
GENERAL AGREEMENT  
MUNICIPALITY OF KINGSVILLE  
PROJECT REFERENCE NUMBER 14-425**

B) PRIVATELY OWNED - NON-AGRICULTURAL LANDS												
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFECTED	HECTARES AFFECTED	OWNERS NAME	(SECTION 22) VALUE OF BENEFIT LIABILITY	(SECTION 23) VALUE OF OUTLET LIABILITY	(SECTION 24) VALUE OF SPECIAL BENEFIT	(SECTION 25) VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
1	290-08700	I.E.D.	11	0.37	0.06	0.024	PHYLLIS MARIE HICKS	\$ 270.00	\$ 229.00	\$ -	\$ -	\$ 505.00
2	290-08600	I.E.D.	11	0.34	0.08	0.024	RICHARD CLARE & PHYLLIS MARIE HICKS	\$ 270.00	\$ 600.00	\$ -	\$ -	\$ 964.00
3	290-08500	I.E.D.	11	0.51	0.51	0.208	STANLEY LAWRENCE GEVAERT	\$ 2,348.00	\$ 5,849.00	\$ -	\$ -	\$ 8,197.00
Total Affected Lands					0.63	0.255						
Total Assessment on Privately Owned Non-Agricultural Lands (Not Grantable)								\$ 2,900.00	\$ 6,767.00	\$ -	\$ -	\$ 9,667.00

**SUMMARY FOR TOTAL LANDS AFFECTED**

A) Municipal Lands	0.00 Acres	0.000 Hectares
B) Non-Agricultural Lands	0.53 Acres	0.215 Hectares
C) Agricultural Lands	0.00 Acres	0.000 Hectares
Total Lands Affected	0.53 Acres	0.215 Hectares
f Hectare = 2.471 Acres		

\*NOTE: Assessment Values have been rounded to the nearest whole dollar for presentation purposes.

MUCCI-HICKS BRANCH DRAIN  
SCHEDULE OF ASSESSMENT  
MUNICIPALITY OF KINGSVILLE  
PROJECT REFERENCE NUMBER 14-425

C ) PRIVATELY OWNED - AGRICULTURAL LANDS (GRANTABLE)												
ENTRY NO.	TAX ROLL NO.	CON. OR PLAN NO.	LOT OR PART OF LOT	ACRES OWNED	ACRES AFFTD	HECTARES AFFTD	OWNERS NAME	(SECTION 22) VALUE OF BENEFIT LIABILITY	(SECTION 23) VALUE OF OUTLET LIABILITY	(SECTION 24) VALUE OF SPECIAL BENEFIT	(SECTION 26) VALUE OF SPECIAL ASSESSMENT	TOTAL ASSESSMENT
1	290-18200	1 E.D.	11	72.49	1.04	0.421	MUCCI FARMS LTD	\$ 12,822.00	\$ 29,917.00	\$ -	\$ -	\$ 42,739.00
Total Affected Lands					1.04	0.421						
Total Assessment on Privately Owned Agricultural Lands (Grantable)								\$ 12,822.00	\$ 29,917.00	\$ -	\$ -	\$ 41,739.00

SUMMARY FOR TOTAL LANDS AFFECTED

A) Municipal Lands	0.00 Acres	0.000 Hectares
B) Non Agricultural Lands	0.00 Acres	0.000 Hectares
C) Agricultural Lands	1.04 Acres	0.421 Hectares
Total Lands Affected:	1.04 Acres	0.421 Hectares
1 Hectare = 2.471 Acres		

\*NOTE: Assessment Values have been rounded to the nearest whole dollar for presentation purposes.

6. CITATION

This by-law comes into force on the passing thereof and may be cited as the "Repair and Improvement of the Esseltine Drain" by-law.

READ A FIRST AND SECOND TIME AND PROVISIONALLY ADOPTED  
THIS 26<sup>th</sup> DAY OF SEPTEMBER, 2017.

  
\_\_\_\_\_  
MAYOR, Nelson Santos

  
\_\_\_\_\_  
CLERK, Jennifer Astrologo

READ A THIRD TIME AND FINALLY PASSED ON THIS    DAY OF  
2017.

\_\_\_\_\_  
MAYOR, Nelson Santos

\_\_\_\_\_  
CLERK, Jennifer Astrologo