



**TOWN OF KINGSVILLE
REGULAR MEETING OF COUNCIL
REVISED AGENDA**

Monday, July 14, 2025, 6:00 PM

Unico Community Centre

37 Beech Street

Kingsville, ON N9Y 1A9

View Livestream at the time of the proceedings at
<https://www.kingsville.ca/livestream>

For information pertaining to this agenda or to arrange for any additional accessibility needs please contact the Clerk at atoole@kingsville.ca

Pages

A. Call to Order

B. Land Acknowledgement

We acknowledge the Three Fires Confederacy (Ojibwe, Potawatomie and Odawa) and the Traditional ancestral, unceded territory of Caldwell First Nation; the original people of Point Pelee, Pelee Island and its surrounding waters. We recognize and respect the First Nations who are stewards of the land and waters of Turtle Island and who have embraced this stewardship since time immemorial. We would also like to acknowledge all the moccasins who have walked lands of Turtle Island.

C. Moment of Silent Reflection and National Anthem

D. Mayor's Welcome and Remarks

E. Amendments to the Agenda

F. Disclosure of Pecuniary Interest

When a member of Council has any pecuniary interest, direct or indirect, in any matter which is the subject of consideration at this Meeting of Council (or that was the subject of consideration at the previous Meeting of Council at which the member was not in attendance), the member shall disclose the pecuniary interest and its general nature, prior to any consideration of the matter.

G. Report Out of Closed Session

Council entered into Closed Session pursuant to Section 239 of the Municipal Act, 2001, on June 16, 2025, at 6:36 p.m. to discuss the following item:

Item I - Local Impact of Bill 17, Protect Ontario by Building Faster and Smarter Act, 2025, heard under Section 239(2)(f) being advice that is subject to solicitor-client privilege, including communications necessary for that purpose; and, Section 239(2)(b) being personal matters about an identifiable individual, including municipal employees. There is nothing further to report.

Council entered into Closed Session pursuant to Section 239 of the Municipal Act, 2001, on July 7, 2025, at 6:00 p.m. to discuss the following item:

Item I - Media Relations Training heard under Section 239(3.1) being educating or training members of the council, a local board or committee. There is nothing further to report.

H. Delegations

I. Presentations

1. Senior of the Year Award - Linda Lynch

J. Reports - Planning and Development Services

1. Proposed Telus Communications Tower – 1834 Talbot Road

1

Recommended Action

That Council **confirms** that there are no further comments or concerns on behalf of the Municipality related to the telecommunications proposal; And that Administration **be directed** to forward a copy of the support resolution to the applicant for the purposes of their federal application as part of the standard Letter of Undertaking with the municipality.

2. 2025 Kingsville Roof Repairs Tender Award

81

Recommended Action

That the 2025 Kingsville Roof Repairs Tender (Contract #25-103) **be awarded** to Kingsville Roofing in the amount of \$347,000 (excluding HST) and the Mayor and Clerk **be authorized** to execute the requisite agreement;

And that Capital Accounts 01-178-360-72501 and 01-178-360-72502 **be combined** to facilitate:

- a. Lions Hall interior renovations.
- b. Lions Hall roof and HVAC replacements.
- c. Partial roof rehabilitation of Kingsville Arena Pavilion.
- d. Partial roof rehabilitation of the Ruthven Library/Daycare.

- *3. Jasperson Drive Traffic Signals – Tender Award

84

Recommended Action

That the Tender for Jasperson Drive Traffic Signal Installations **be awarded** to Field Electrical Contractors Inc. in the amount of \$304,517 (excluding HST) and the Mayor and Clerk **be authorized** to execute the requisite agreement.

- *4. Application for Demolition of Listed Heritage Property 2014 Road 3 East 87

K. Reports - Finance and Corporate Services

1. Accessibility Advisory Committee Update 96

L. Reports - CAO's Office

1. Municipal Accommodation Tax 100

Recommended Action

That Council **directs** Administration to communicate to Tourism Windsor Essex Pelee Island (TWEPI) that the Town of Kingsville will not implement a Municipal Accommodation Tax at this time.

M. Consent Agenda

1. Accessibility Advisory Committee Minutes - April 9, 2025 103
2. Accessibility Advisory Committee Minutes - April 25, 2025 107
3. BIA Board of Management Minutes - May 13, 2025 109
4. Fantasy of Lights Committee Minutes - May 20, 2025 116
5. Committee of Adjustment & Appeals Minutes - May 20, 2025 119
6. Heritage Advisory Committee Minutes - June 3, 2025 124
7. Regular Council Meeting Minutes - June 2, 2025 129
8. Regular Council Meeting Minutes - June 16, 2025 131

N. Correspondence

1. Letter from Kingsville BIA Board of Management 139

O. Notices of Motion

1. Deputy Mayor DeYong - Opposition to Bill 17, Protect Ontario by Building Faster Act, 2025

Deputy Mayor DeYong may move or cause to have moved the following:

For Decision of Council:

Whereas on May 12, 2025, the Government of Ontario (hereafter, the "Province"), enacted Bill 17, also known as the Protect Ontario by Building Faster and Smarter Act, 2025 (hereafter, the "Act"), which will defer Development Charge (hereafter, "DC" or "DCs") revenues and increase collection efforts and costs;

And whereas the DCs collected from developers are necessary to help municipalities fund the capital costs of infrastructure and services required to support new housing;

Now therefore be it resolved that The Council of the Corporation of the Town of Kingsville:

Requests that the Province of Ontario provide municipalities with clarity on how they should fund the capital costs of infrastructure and services required to support new growth, given the impacts to overall DC revenue;

Wishes it to be known that the constant change to the Province's planning and development framework is creating uncertainty and is ultimately reducing the construction of housing; and,

Directs the Clerk to forward a copy of this resolution to the Honourable Doug Ford, Premier of Ontario, Honourable Rob Flack, Minister of Municipal Affairs and Housing, Anthony Leardi, MPP, Essex, Lisa Gretzky, MPP Windsor West, Andrew Dowie, MPP Windsor-Tecumseh, Trevor Jones, MPP Chatham-Kent-Leamington, AMCTO, AMO and all Ontario Municipalities.

2. Councillor Neufeld - Vacant Commercial Storefronts in Kingsville

Councillor Neufeld may move or cause to have moved the following:

For Decision of Council:

Whereas vibrant main streets are essential to the economic and social health of our communities;

And whereas vacant commercial storefronts negatively impact the downtown core's vitality, local employment, and the ultimate success of small businesses; and,

And whereas some property owners may deliberately keep storefronts vacant for speculative purposes.

Now therefore be it resolved that The Council of the Corporation of the Town of Kingsville ("Council") **directs** Administration to bring a report forward to Council in the 4th (fourth) quarter of 2025, for implementation on January 1, 2026, regarding the feasibility of implementing a vacant storefront fee for commercial properties, which report shall include:

- criteria for defining a vacant storefront;
- potential fee structures;

- exemptions for properties under active renovation, or facing demonstrable hardship;
- enforcement, monitoring, and reporting mechanisms;
- consultation with the Kingsville Business Important Area ("BIA"); and,
- a defined boundary of Spruce Street to Queen Street and Beech Street to Mill Street.

P. Unfinished Business and Announcements

Q. By-laws

140

Recommended Action

That the following By-law be given a third reading and finally pass:

31-2025 - Being a By-law to provide for a new maintenance schedule for the Linden Beach Relief Drain at a total estimated cost of \$12,000 in the Town of Kingsville, in the County of Essex;

And that the following By-laws be given three readings and finally pass:

44-2025 - Being a By-law to Appoint a Member to the Communities in Bloom Committee and Migration Festival Committee;

45-2025 - Being a By-law to confirm the proceedings of the Council of the Corporation of the Town of Kingsville at its July 14, 2025, Regular Meeting of Council.

R. Closed Session

Recommended Action

That Council enter into Closed Session at XX:XX p.m. pursuant to Section 239(2) of the Municipal Act, 2001, to discuss the following items:

Item I - Ferry Service Update to be heard under Section 239(2)(f), being advice that is subject to solicitor-client privilege, and Section 239(2)(k), being a position, plan, procedure, criteria, or instruction to be applied to negotiations; and,

Item II - Legal Updates on Ruthven Sewer Capacity and Interim Control By-law to be heard under Section 239(2)(f), being advice that is subject to solicitor-client privilege, and Section 239(2)(e) being litigation or potential litigation, including matters before administrative tribunals, affecting the municipality.

S. Adjournment

Recommended Action

That Council adjourns this Regular Meeting at p.m.



Date: July 14, 2025

To: Mayor and Council

Author: Colin Kelly, Planner

RE: Proposed Telus Communications Tower – 1834 Talbot Road

RECOMMENDED ACTION

That Council **confirms** that there are no further comments or concerns on behalf of the Municipality related to the telecommunications proposal, and;

That Administration **be directed** to forward a copy of the support resolution to the applicant for the purposes of their federal application as part of the standard Letter of Undertaking with the municipality.

BACKGROUND

Land Solutions Inc., on behalf of Telus Communications Inc. (Telus), has submitted an application with the authorization of the registered owner of the subject lands to construct a new 45m Lattice Tripole Telecommunications Facility. The proposed location is on a portion of land located at 1834 Talbot Road, as shown on Appendix A.

In accordance with federal regulations and the Town's "Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities" guidelines (Appendix B), public consultation is required for the construction of telecommunications towers. A public information session was held at the Kingsville Arena Complex on April 16th, 2025 from 5-7pm. Public notices were mailed to the 38 registered property owners and within 120m of the subject property on March 12, 2025. Included in the notices were a copy of the site plan and the specifications for the proposed telecommunications tower.

DISCUSSION

Infrastructure exists within any municipality to support the community (e.g. hydro poles, transformer stations, transformers, fibre optics, telephone boxes, etc.). Efforts are made to minimize the impact or choose a location of least impact, but to be useful, services must be located where they are needed and used. From a planning perspective it is why both the Zoning By-law and Official Plan outline that public utilities and services can be located in all areas regardless of zoning or designation. Telecommunications facilities, for example, are exempt from approvals under the Planning Act as they are a required

service. This is, in part, because service infrastructure must be located in the area most in need of services. The Town has developed a procedure for reviewing applications for telecommunications that does provide guidance for siting of facilities and encourage high design standards, and provides an opportunity for public consultation and input for the review and consideration of telecommunications facilities within Kingsville. However, the final approval authority lies with Industry Canada.

Within this context, the request submitted to the Town is not for approval of the proposed tower, but rather to determine if appropriate public consultation has been undertaken, and that the provisions of the Town's policy have been addressed. If Council agrees that this has been completed, then Council issues a statement of concurrence to the applicant. If Council does that believe that all provisions of the policy have been address, this will be required to be communicated to the applicant.

Design

The following was provided by the applicant in an information package submitted at the time of application, and provided in the public notice:

- 1. Description of proposed Installation:** The design is a 45m Lattice Tripole Telecommunications Tower within a lease facility. An 8' x 12' Prefabricated Equipment shelter to house equipment necessary for the operation of the telecommunications facility is also proposed.
- 2. Location:** The Tower is proposed on the north side of Talbot Road, on a property known municipally as 1834 Talbot Road.

The tower is proposed to be situated in a fenced enclosure approximately 150m from the Talbot Road and would not require a new access.

The Town of Kingsville "Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities" outlines the following goals:

- To facilitate cooperation between the proponent and the Town of Kingsville in effort to allow for the siting of facilities which balance the demand for service and the impact on the community.
- To provide guidance and direction for the appropriate siting of facilities to locations which meet the following criteria in order of priority of land use:

- 1. sites co-located on existing structures in non-residential areas;*

Comment: The report from Telus notes that there are no suitable co-locate opportunities within 1km of the proposed location. The proposed tower is located on lands zoned Agriculture (A1), and is set back on the property from adjacent residential uses. In response to comments received at the PIC, Administration did ask the proponent to consider locating the

telecommunications tower on a Water Tower approximately 1 km to the east on County Road 31, but were advised that the change in location would negatively impact reception and coverage (see Appendix C).

The applicant assessed the alternative location, and determined that locating the tower at the proposed location would significantly improve connectivity for approximately 74% of affected customers; whereas locating the tower at the water tower would improve connectivity for approximately 11% of affected customers because the water tower is too far from the core area experiencing coverage problems.

2. *sites outside of the sight lines of Lake Erie and Jack Miner Bird Sanctuary;*

Comment: The proposed tower is not near Jack Miner and is not within the site line of Lake Erie.

3. *sites outside of planned settlement areas;*

Comment: The property is located outside the edge of the current settlement area.

4. *sites owned by the municipality;*

Comment: This proposed tower is located on private property through a lease agreement.

5. *sites co-located on existing structures in non-agricultural areas;*

Comment: The tower is proposed on a new structure in an Agricultural Zone.

6. *sites co-located on existing structures in settlement and residential areas;*

Comment: Site is not co-located and is outside of the settlement area (see Item 1 above).

7. *new structures on land owned by private land owners.*

Comment: This is a new structure on private land (see Item 4 above).

- To provide high design standards which recognize local considerations for natural heritage features and local aesthetics including:

1. *the placement, style and colour of all elements of the facility which blend with the surrounding environment;*

Comment: The design is a 45m (48m to top of lightning rod) lattice tri-pole tower facility and an equipment shelter within a fenced compound on the premises. Twelve (12) initial panel-style antennas measuring approximately 2.6m x 0.5m, will be installed at the top of the tower.

2. *the protection of the existing natural environment;*

Comment: Telecommunication Towers are regulated by Federal Regulations and the protection of the natural environment will be coordinated by the federal process. There are no natural environment areas near the proposed location.

3. *the enhancement of the natural landscape with plantings and visual screens;*

Comment: The applicant is encouraged to provide additional landscaping for screening and to enhance the surround landscape.

4. *maintaining appropriate setbacks from property lines and adjacent public uses (schools, community centers, day cares, etc.)*

Comment: There are no concerns in this regard.

5. *maintaining safe vehicular access and site lines onto public roads.*

Comment: There are no concerns with the existing access. Traffic volume to and from the site are not significant enough to create an impact.

- To provide an opportunity for public consultation and input through the approved procedure for the review and consideration of telecommunication and broadcasting facilities within the Town of Kingsville.

Comment: The applicant has provided information to the surrounding public based on the prescribed requirements. Telecommunication facilities are exempt from approval under the *Planning Act* as they are a required service. From a land use standpoint, the provision of all infrastructure is supported in Provincial Policy and the Town's Official Plan.

The location of telecommunications infrastructure is not always ideal as it is difficult to provide a service to an area of need without actually being in that area. Wireless communication has become the predominant form of personal communication as the cost of wired service becomes greater. The proposed tower will provide improved service to this area of Kingsville. Placing the tower further from the area to be serviced tends to be counterproductive. The applicant

has provided rationale for the preferred location.

- To recognize the final approval authority of Industry Canada for the consideration of radio-communication, telecommunication and broadcasting facilities.

Comment: The approval authority for telecommunication towers is Innovation, Science and Economic Development Canada (ISED), formerly Industry Canada. The applicant noted that the equipment operates at least 10 times lower than Health Canada's Safety Code 6 limits.

Upon Council's direction, a letter would be provided to the applicant which will include a Statement of Concurrence provided Council is satisfied that adequate public consultation was conducted.

FINANCIAL CONSIDERATIONS

There are no major financial considerations to the Town. Infrastructure updates benefit the community.

ENVIRONMENTAL CONSIDERATIONS

Telecommunication Towers are regulated by Federal Regulations and the protection of the natural environment will be coordinated by the federal process.

CONSULTATIONS

1. Public Information Centre

Notice of the Public Information Session held on April 16th 2025 were mailed by the applicant on March 12th, 2025 to 38 property owners and neighbouring residents within 120m of the proposed location of the telecommunications tower.

A Public Information Centre was held on April 16, 2025. The PIC was attended by 17 community members. The applicants received 8 completed questionnaires. All stakeholders received a formal response from the applicant. Comments provided by residents are provided in the Municipal Concurrence Request Package (Appendix C).

A petition was provided to the applicant during the public information centre, as shown in Appendix D.

2. Technical Advisory Committee

The Technical Advisory Committee had no technical objections to the proposed tower.

3. County of Essex (see Appendix E)

Please be advised that the County has reviewed the aforementioned application, and the comments provide engineering-related related only. This application has not been reviewed from a planning perspective. The subject lands have frontage on County Road No. 34. The Applicant will be required to comply with the following County Road regulations:

This road was formerly King's Highway 3 until it was downloaded to the County of Essex. MTO procedures will be applied.

Based on the location of the proposed tower, the County would be supportive of the proposal. Permits are necessary for any changes to existing structures and entrances or the construction of new structures and entrances.

Any other works within the County right-of-way will require permits and approvals and are to be obtained from the County of Essex.

PREPARED BY:

Colin Kelly

Colin Kelly
Planner

REVIEWED BY:

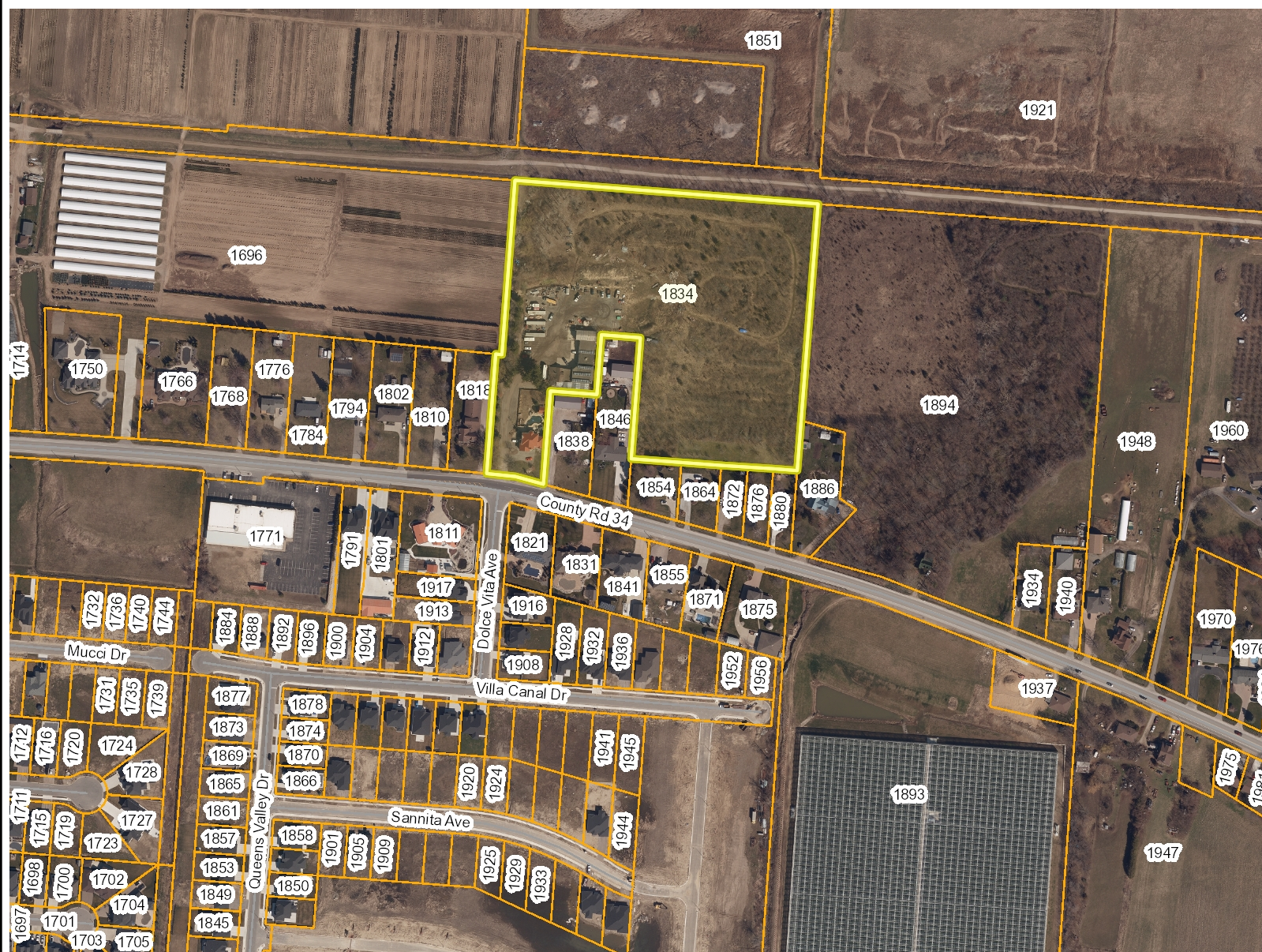


Richard J.H. Wyma
Director of Planning and Development



John Norton
CAO

1834 Talbot Road (County Road 34)



Legend

Essex Municipalities

<all other values>

Kingsville

Street

Kingsville Assessment

Notes

Location Map

THIS MAP IS NOT TO BE USED FOR NAVIGATION


Copyright the Corporation of the County of Essex, 2012. Data herein is provided by the Corporation of the County of Essex on an 'as is' basis. Assessment parcel provided by Teranet Enterprises Inc. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

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1: 4,552



11/20/2024

	PLANNING SERVICES POLICY FOR DEVELOPMENT AND/OR REDEVELOPMENT OF COMMUNICATION & BROADCASTING FACILITIES		S.O.P. #PS013
			Issued: March 16, 2009
			Reviewed/ Revised: January 23/19
			Total Pages: 4
Prepared By: R. Brown	Reviewed By: Administration	Approved By: Administration	

Purpose:

To establish standard procedures which will enable the Municipality:

- To effectively participate in the review and public consultation process for the consideration of telecommunication and broadcasting facilities; &
- To formulate municipal comments based on acceptable goals and standards.

Goals:

- To facilitate cooperation between the proponent and the Town of Kingsville in effort to allow for the siting of facilities which balance the demand for service and the impact on the community.
- To provide guidance and direction for the appropriate siting of facilities to locations which meet the following criteria in order of priority of land use:
 1. sites co-located on existing structures in non-residential areas;
 2. sites outside of the sight lines of Lake Erie and Jack Miner Bird Sanctuary;
 3. sites outside of planned settlement areas;
 4. sites owned by the municipality;
 5. sites co-located on existing structures in non-agricultural areas;
 6. sites co-located on existing structures in settlement and residential areas; &
 7. new structures on land owned by private land owners.
- To provide high design standards which recognize local considerations for natural heritage features and local aesthetics including:
 1. the placement, style and colour of all elements of the facility which blend with the surrounding environment;
 2. the protection of the existing natural environment;
 3. the enhancement of the natural landscape with plantings and visual screens;
 4. maintaining appropriate setbacks from property lines and adjacent public uses (schools, community centres, day cares, etc.)
 5. maintaining safe vehicular access and site lines onto public roads
- To provide an opportunity for public consultation and input through the approved procedure for the review and consideration of telecommunication and broadcasting facilities within the Town of Kingsville.
- To recognize the final approval authority of Industry Canada for the consideration of radio-communication, telecommunication and broadcasting facilities.

Procedure

Phase 1 – Pre-consultation and Submission Requirements

1. Inquiries with respect to new communication towers or modifications to existing towers where municipal consultation is required shall be directed to the Planning Department for pre-consultation.
2. Proponents will be provided with the following from the Planning Department during pre-consultation:
 - a. A copy of the approved *Communication and Broadcasting Facility Policy*;
 - b. *Site Plan Application, Fee Schedule, Information and Drawing Submission Requirements*; &
 - c. List of Agencies to be consulted by the proponent during public consultation process.
 - ☐ County of Essex – Engineering Department
 - ☐ Essex Region Conservation Authority
 - ☐ Wind Power & Renewable Energy Proponents
 - ☐ Ministry of Transportation (within 400 metres of Provincial Highway)
 - ☐ Transport Canada
 - ☐ Clerk of any abutting municipality within 120 metres of proposed facility
 - ☐ Other: _____
3. Upon submission of the required materials by the proponent, the Planner will undertake the following:
 - a. Forward the application to the Planning Management Review Group for review and provide preliminary site analysis and comments to proponent;
 - b. Generate and provide circulation list to proponent for distribution of information package;
 - c. Provide proponent with the date of next scheduled Public Open House of the Planning Advisory Committee.
4. Proponents shall deliver via regular pre-paid post to every address listed on the circulation list, the notification package containing the information detailed in Industry Canada's written *Public Consultation Process – Public Notification Package*, no less than 30 days prior to the date of the Public Open House to be hosted by the Planning Advisory Committee;
5. Receive *Letter of Undertaking* from the proponent to construct facility in accordance with the information provided and in consideration of the comments received from the Planning Management Review Committee and members of the public at the Public Open House;
6. Presentation of the following to Council:
 - i. Summary report including public comments;
 - ii. Letter of Undertaking by proponent;
7. Forward Council Resolution of Support to advise proponent:
 - i. Whether in the opinion of the municipality, sufficient public consultation was conducted;
 - ii. Whether the siting, design or any anticipated impacts by the community will support the recommendation.
8. Upon issuance of appropriate licencing by Industry Canada, the proponent shall submit the necessary building permit application, fee and information requirements to the Building Department prior to the commencement of construction.

SUBMISSION REQUIREMENTS

1. Completed Site Plan Application, including authorization of land owner.
2. A site plan drawn to scale showing the extent of the subject property, site grading, the location of existing property lines, existing or proposed buildings, fences, buffering, existing and proposed landscaping, access, parking, and the type and height of the proposed tower structure. Any significant vegetation on a particular site should be inventoried on the plan. The site plan shall be formatted to print onto 11 x 17 landscape paper.

3. Two sets of stamped engineered drawings to identify the tower design. In the case of roof-mounted towers, a structural engineer's report may also be required to address the structural effects on the existing building.
4. A key map showing the location of the tower installation and nearby residential dwellings and/or residential zones.
5. A statement from the Proponent (carrier) to indicate the need for the proposed tower height.
6. Written documentation from the Proponent (carrier) outlining the steps taken by the Proponent to investigate all non-tower and co-location options and why a tower option is the only viable alternative.
7. A cheque payable to the Town of Kingsville in the amount as set out in the Municipal Fees Schedule for the processing of Site Plan Applications.

Phase 2 – Public Review Process

A. Exemptions to Public Consultation

1. For freestanding towers, which meet the following criteria, public consultation is **not** required:

- Maintenance of existing radio apparatus including the antennae system, transmission line, mast, tower or other antennae-supporting structure;
 - Addition or modification of an antennae system (including improving the structural integrity of its integral mast to facilitate sharing), the transmission line, antenna supporting structure or other radio apparatus to existing infrastructure, a building, water tower, etc., provided the addition or modification does not result in an overall height increase above the existing structure of 25% of the original structure's height.
 - Maintenance of an antennae system's painting or lighting in order to comply with Transport Canada's requirements
 - Installation for a limited duration (not more than 3 months) of an antennae system used for a special event or to support local, provincial, territorial or national emergency operations during the emergency and is removed within 3 months after the emergency or special event.
2. In cases where no public consultation is required, the application shall be brought forward to the Planning Management Review Committee within 2 weeks of receiving all required submissions from the Proponent. Upon review by the Planning Management Review Committee, the request shall be presented to Council together with the Letter of Undertaking and a recommendation regarding a resolution of support.

B. Public Consultation Required

For proposed towers or alterations to existing towers that do not meet the above-noted exemption criteria, the proponent shall give notice by regular mail to all owners of properties within a radius of 120 metres of the subject property.

In addition to the requirements of Industry Canada's *Public Notification Package*, the notice shall include the following information:

- Key map showing the proposed location of the tower on the subject site;
- physical details of the tower including its height, colour, type, design,
- sample photo or illustration of the proposed tower;
- the date, time and location of the public open house as established by the Planning Department, &
- the name and telephone number of a contact person employed by the Proponent, as well as a Municipal contact person.

If issues of concern are raised through the consultation process, they will be discussed at the Public Open House in order to seek a mutual resolution. If necessary, representatives from Industry Canada may be consulted to assist with the resolution.

Where Towers are proposed to be constructed in excess of 100 metres in height, notice will be published in local newspaper(s) that in the opinion of the Planning Department is of sufficiently general circulation in the area of the proposed facility, in addition to the provision of the Public Notification Package to all property owners within 300 metres of the subject property.

Letter of Undertaking

The proponent will be required to provide the municipality with a standard Letter of Undertaking with respect to the installation of the proposed facility. The Letter of Undertaking will confirm the proponent's intention to address any changes necessary to address reasonable and relevant concerns of the municipality and the public and include a site plan acceptable to the municipality.

Resolution of Support

Subsequent to the review of the Planning Management Review Group and the Public Open House (if required), the Planning Department will prepare a summary report to Council. The report will include a summary of matters acknowledged by the Planning Management Review Group, concerns received at the Public Open House and the standard Letter of Undertaking.

Upon Council's direction, a letter will be provided to the proponent stating that the proponent is required to enter into the standard Letter of Undertaking with the municipality. The letter shall also include a resolution of support, provided Council is satisfied that adequate public consultation was conducted and that land use impacts have been addressed.

It is expected that applications for the review of telecommunication and broadcasting facilities shall be concluded within 120 days of receipt of a complete application, including submission of all materials required by this policy.

C. REVISIONS/AMENDMENTS

No.	Date	Revision	Revision By
1	Oct 31/16	Transfer to new format	R. Brown
2	Jun 26/19	Update name/numbering	R. Brown
3	January 23/19	Remove height exemption	R. Brown

Colin Kelly, Town Planner

Town of Kingsville
2021 Division Road North
Kingsville ON, N9Y 2Y9
ckelly@kingsville.ca

Dear Colin Kelly,

LandSolutions Inc., on behalf of TELUS Communications Inc. (TELUS), has completed the public consultation process for the following telecommunications proposal and is pleased to submit to you this Municipal Concurrence Request Package for your review.

TELUS File:	ON002959
PID:	75146-0072 (LT)
Property Address:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates:	Lat: 42.05460 Long: -82.66136

LandSolutions Inc., on behalf of TELUS, in compliance with the Town of Kingsville's' Telecommunication Policy 2017: Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities, is proposing a new 45m (48m to top of lightning rod) Lattice-Tripole Telecommunications Facility to be placed at 1834 Talbot Road, in the northwestern corner of the property. As per Town of Kingsville protocols, the Municipality Staff, Councillors, MP, ISED, and affected stakeholders within a 120m radius from subject property have been consulted via a mailed public notification on March 12, 2025.

Below is a brief summary of the consultation process that was followed for this file:

- The process met the public consultation requirements of the Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities.
- Public notification packages were provided in both French and English.
- Public notices were mailed to 38 property owners and neighbouring residents within 120m of the subject property on March 12, 2025. Addresses were provided by the Town of Kingsville (see attached)
- Detailed notification packages were emailed to the Town of Kingsville, the local Councillors, Member of Parliament, and ISED.
- A Public Open House information session was held on April 16, 2025 at the Kingsville Arena from 5-7pm to provide residents and community members an opportunity to learn more about the project and voice any concerns.
 - 17 community members attended.
 - 8 completed questionnaires.
 - 2 stakeholders were not within the notification radius – 1 from Kingsville, 1 from Leamington.
 - Two Representatives from the Town attended; Colin Kelly (Town Planner) & Sherri Lowrie (Councillor), 2 TELUS staff, 1 LandSolutions staff, and 1 representative from Roehampton Communications Inc.
 - The main concern raised was interest in an alternate site location. TELUS investigated this option; however, it does not meet coverage requirements. Supporting technical data is attached.
- The public comment period was open until April 23, 2025.
- 10 Stakeholders provided comments 8 against the proposal and 2 in support. All stakeholders received a formal response from LandSolutions (see consultation log and responses attached).
- No further comments or questions have been received on this file after April 23, 2025.

Following the end of the public comment period on April 23, 2025, LandSolutions is submitting to the Town of Kingsville, this consultation summary including all stakeholder feedback and responses to the same.

LandSolutions will continue to engage with Stakeholders if any further comments are received, we will provide copies of the engagement to the Municipality for your records.

LandSolutions' site acquisition process, along with federal and municipal guidelines, have led us to the conclusion that the proposed facility is in a suitable location with consideration having been given to current and proposed land uses. When complete, the facility will provide improved wireless coverage and capacity for high-speed and reliable telecommunications services, including improved access to emergency services.

LandSolutions Inc. on behalf of TELUS, is requesting a Letter of Concurrence from the Town of Kingsville at this time.

Sincerely,
LandSolutions Inc. for TELUS Communications Inc.

A handwritten signature in blue ink, appearing to read 'Levi Hayworth', with a long horizontal stroke extending to the right.

Levi Hayworth
Municipal Affairs & Stakeholder Engagement Specialist
LandSolutions Inc.
1420, 333 11th Avenue SW
Calgary, Alberta, T2R 1L9
T: (403) 930-4667 Ext. 2664
E: comments@landsolutions.ca

For your consideration we have taken the liberty of providing the following information within the Concurrence request package for your review.

1. Drawings
2. Survey
3. Photo Simulations
4. Certificate of Title
5. Letter of Authorization
6. Consultation radius (120m radius from subject property as per Kingsville's Policy)
7. Stakeholder addresses
8. Copy of Public Consultation Notification
9. Consultation Tracker
10. Received Stakeholder feedback
11. Copies of Response to Stakeholders feedback
12. TELUS Justification on Alternate site

Re: Alernate Site

TELUS File: ON002959
PID: 75146-0072 (LT)
Property Address: 1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates: Lat: 42.05460 Long: -82.66136

Please find attached the enhanced, customer-experience-focused coverage maps. These show the areas ("bins") where TELUS customers are currently experiencing poor mobile connectivity. Each of these bins represents real, ongoing service issues affecting residents and businesses alike.

After extensive analysis, we've found that placing a mobile tower at our proposed location would significantly improve connectivity for approximately 74% of affected customers. In comparison, the alternative location at the Water Tower would only address the needs of about 11% of customers. This is primarily because the Water Tower is too far from the core area, experiencing coverage problems.

We understand that some members of the community have expressed concerns about radio frequency (RF) emissions. It's important to note that all TELUS equipment operates well within Health Canada's Safety Code 6 limits, which are among the most stringent in the world. The actual RF exposure levels from TELUS mobile towers are typically at least ten times lower than these conservative safety thresholds. Moreover, better coverage leads to lower overall RF exposure for individuals, as their mobile devices can operate at lower power when connected to a nearby site.

By approving this site, the community will receive the following

- Improved public safety by ensuring reliable access to 911 and emergency services
- Better service for local residents and businesses, especially in a world increasingly dependent on digital connectivity
- A future-ready network capable of supporting smart city initiatives, healthcare access, and economic development.

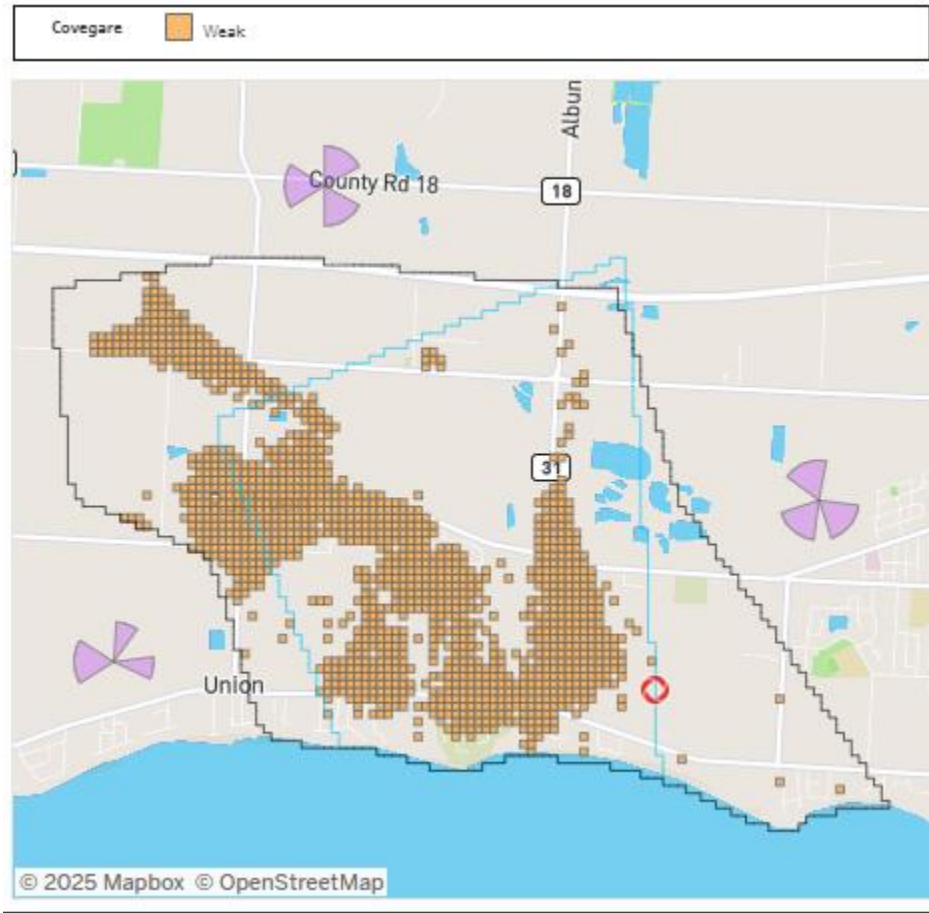
We welcome the opportunity to work with the Town of Kingsville and the community to ensure that this project meets both technical and public interest standards.

Sincerely,
LandSolutions Inc. for TELUS Communications Inc.

A handwritten signature in blue ink, appearing to read 'Levi Hayworth', with a stylized flourish extending to the right.

Levi Hayworth
Municipal Affairs & Stakeholder Engagement Specialist
LandSolutions Inc.

Current Coverage:

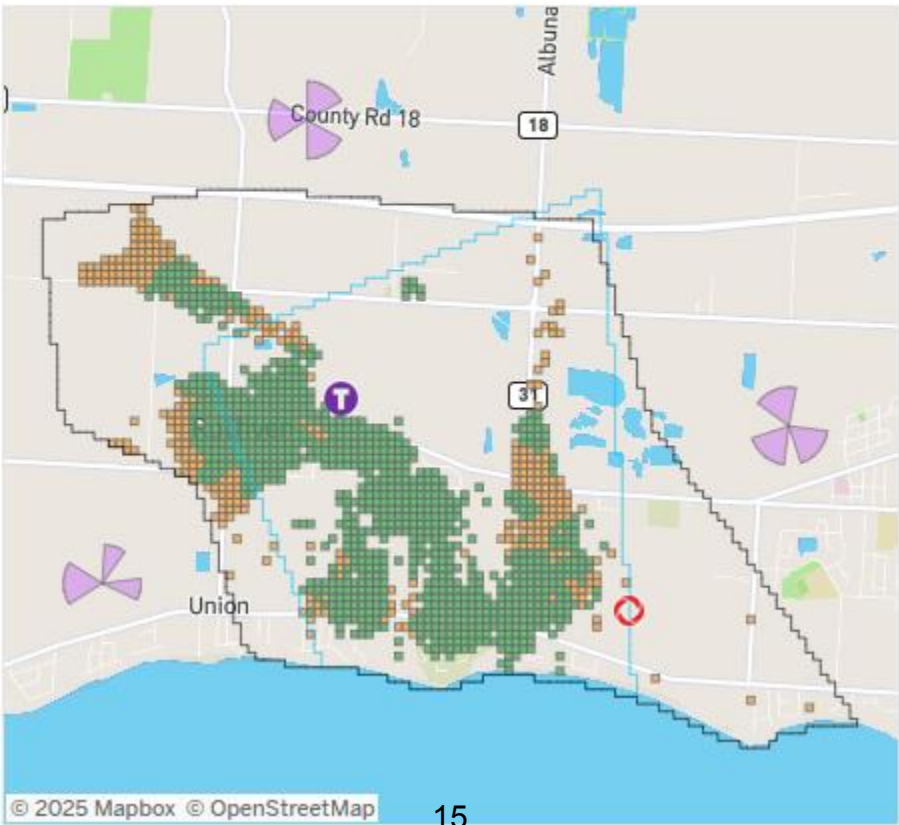


1834 Talbot Rd, Ruthven, ON N0P 2G0

Proposed Tower Location:

	# quadbins	% quadbins	Area Km2	Pop Cove	IMSI Cove	RSRP Gain
Target Area	951	74%	3.06	944	71,325	12.6

Coverage: Improved Weak



Water Tower Location:

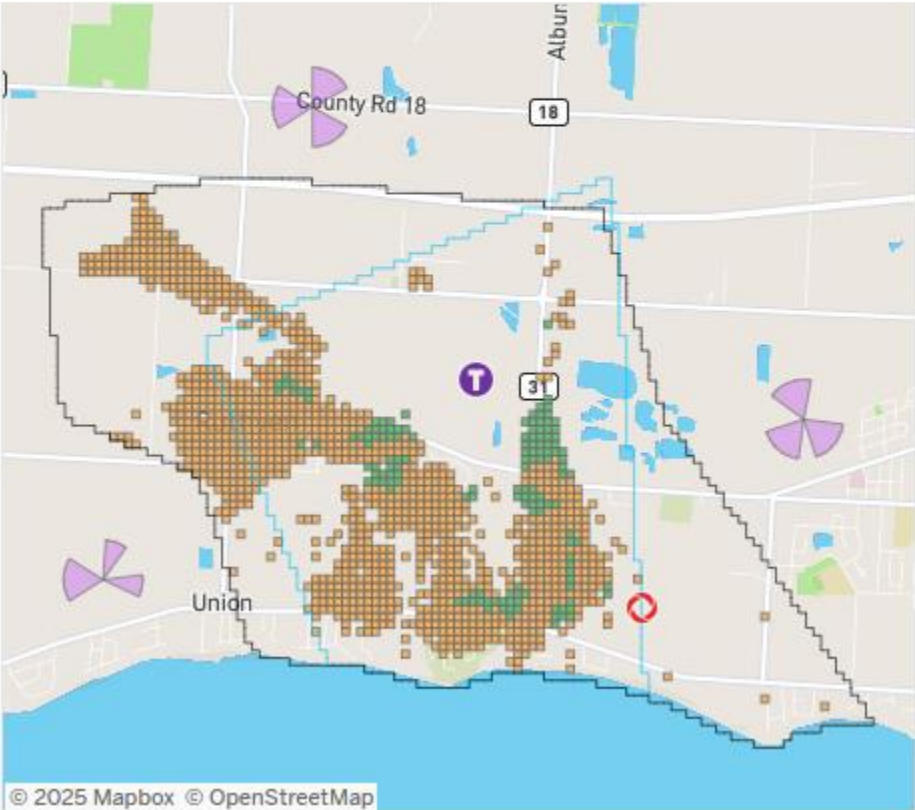
3942+56 Kingsville, ON

	# quadbins	% quadbins	Area Km2	Pop Cove	IMSI Cove	RSRP Gain
Target Area	143	11%	0.46	0	10,725	10.4

Coverage

Improved

Weak



Consultation Summary - ON002959_Kingsville_Talbot								
Design: 45m Lattice Tripole (48m to top of lightning rod)			Coordinates: Lat: 42.05460 Long: -82.66136 Legal: PT LT 11 CON 2 EASTERN DIVISION GOSFIELD PT 2 12R7560, PT 1 12R8513 EXCEPT PT 2 12R8513; S/T R1512287; KINGSVILLE			Civic Address: 1834 Talbot Road, Kingsville, Ontario, N0P 2G0		
Notification Radius: 120m radius from subject property			Number of Notifications Sent: 38			Deadline for Comments: April 23, 2025		
Topic	Name	Contact	Date	End of Response Period	Comments / Notes			
Pre-Consultation			18-Nov-24					
Public Notification Sent			12-Mar-25	April 23,2025				
Newspaper Ad.	N/A							
LUA & Other Groups								
VIP	Name Contact Details	Date Sent	Response Received	Concerns	Acknowledged	Responded	End of Counter Response Period	Comments / Notes
LUA	Colin Kelly, Town Planner Town of Kingsville 2021 Division Road North Kingsville ON, N9Y 2Y9 ckelly@kingsville.ca	13-Mar-25						
Local Elected Official Councillor	Tony Gaffan, Councillor Town of Kingsville 2021 Division Road North Kingsville ON, N9Y 2Y9 tgaffan@kingsville.ca	13-Mar-25						
ISED Southwestern Ontario District Office	Innovation, Science and Economic Development Canada Southwestern Ontario District Office 4475 North Service Road, Suite100 Burlington ON, L7L 4X7 spectrumsodo-spectrebdsoo@ised- isde.gc.ca	13-Mar-25						
Community Association								
MP	Chris Lewis, MP 7B-35 Victoria Avenue Essex, ON, N8M 1M4 Chris.lewis@parl.gc.ca	13-Mar-25						
MPP	Anthony Leardi MPP 310 Thomas Road Amherstburg ON, N9V 2Y9 Anthony.leardi@pc.ola.org	13-Mar-25						
Public Feedback								
Name & Address	Phone & Email	Response Received	Concerns	Acknowledged	Responded	End of Counter Response Period	Comments / Notes	
Landlord Eric and Cindy Zimmer 1834 Talbot Road Ruthven, Ontario, N0P 2G0	519-325-8698 eric@ezautobody.ca							
LandSolutions Inc. 333 - 11 Avenue SW, Suite 1420 Calgary, Alberta T2R 1L9								
PAUL & CAROLE-ANN ABBOTT 73 SATINWOOD CRES LEAMINGTON, ON N8H 4P1								
SHAWN ROBERT & DIANA REAUME 1917 DOLCE VITA AVE KINGSVILLE, ON N9Y 0G5	519-985-9519 shawn_reaume@hotmail.com	16-Apr-25	TELUS users and currently have no issues with coverage, proximity to residences, suggestion to move site to Landfill	24-Apr	24-Apr-25	15-May-25		
JACOB & HELEN NEUFELD 1791 TALBOT RD KINGSVILLE, ON N9Y 2E4								
STOWE TAMMY MARIE SCHROETER STEVEN JAMES OTTO 1841 TALBOT RD KINGSVILLE, ON N9Y 2E4								
JAMES & KAREN PEARCE 1872 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4		16-Apr-25	location, not in my back yard and health concerns	24-Apr	24-Apr-25	15-May-25		
WANG PENG 1912 DOLCE VITA AVE KINGSVILLE, ON N9Y 2E4								
PORRONE CRISTINA BOX 359 1811 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4								
HAROLD JACOB & CAROL ANN WIENS 1880 TALBOT RD KINGSVILLE, ON N9Y 2E4								
PORRONE MARY 1801 TALBOT RD KINGSVILLE, ON N9Y 2E4								
BULL MARKET FARMS INC 2633 ALBUNA TOWNLINE LEAMINGTON, ON N8H 3V5								
CHOBORDA JEREMY MARTIN 1794 COUNTY RD 34 E KINGSVILLE, ON N9Y 2E4								
CORBEIL STEPHANIE MARIE DIANE TAGGART BRANDON CASEY 1928 VILLACANAL DR KINGSVILLE, ON N9Y 0G5	226-246-9284 brandontaggart1@gmail.com	4-Apr-25	supports the tower	4-Apr	4-Apr-25	25-Apr-25		
MUCCI FARMS LTD 1876 SEACLIFF DR KINGSVILLE, ON N9Y 2N1								

SARAH MARIE & NEIL FOTHERINGHAM BOX 335 RUTHVEN, ON N0P 2G0							
GEORGE JOHN MUNRO MADELEINE 1831 TALBOT RD RR1 KINGSVILLE, ON N9Y 2E4							
HIELDEBRANDT HELEN 547 HWY 77 LEAMINGTON, ON N8H 3V8							
KALIFAHE JACOB 1936 VILLACANAL DR KINGSVILLE, ON N9Y 0G5							
LOCK THOMAS FREITAS-LOCK STEPHANIE 1916 DOLCE VITA AVE KINGSVILLE, ON N9Y 0G5	519-999-1905 sfreitas86@gmail.com	16-Apr-25	Proximity to residential, confusion on process/consultation, suggestion to move to Landfill	24-Apr	24-Apr-25	15-May-25	Stakeholder not familiar with process and felt the project was already approved/moving forward regardless of community input.
WORD OF LIFE COMMUNITY CHURCH OF STAPLES 69 CLARK ST W LEAMINGTON, ON N8H 1E6							
CABRAL DANIEL FAGUNDE 1802 COUNTY RD 34 RR 1 KINGSVILLE, ON N9Y 2E4							
RAM NATH & ESHA CHODHA 1821 TALBOT RD RR# 1 KINGSVILLE, ON N9Y 2E4							
DIMENNA TONY DIMENNA MICHELE ANNETTE PO BOX 68 1700 TALBOT ST W RUTHVEN, ON N0P 2G0	519-796-4197 ruthvennursery@copeco.net	14-Apr-25	Proximity to future residential development	14-Apr	14-Apr-25	5-May-25	The area in question is not with the Towns settlement area and currently has a ban on development due to environmental issues.
ENNS RICHARD HENRY 1818 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
FOX NOBLE EDWIN PO BOX 35 RUTHVEN, ON N0P 2G0							
MARIA & KATHARINA GIESBRECHT 1854 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
HORNE LAURIE SUSAN KLASSEN WILLIAM JOHN 1886 TALBOT RD KINGSVILLE, ON N9Y 2E4							
HARRY GERD & GUGLIELMINA KELLER 1810 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4	519-796-5576 carpenter1810@hotmail.com	16-Apr-25	Proximity to residential, health concerns for local bees	24-Apr	24-Apr-25	15-May-25	
LOESEN FARMS INC PO BOX 249, 1851 ROAD 3 E RUTHVEN, ON N0P 2G0	519-890-9502	March 26, 2025	Asking if Tower could be place on their land		26-Mar-25		Phone call from neighbour to the north in support of the tower and asking if tower could be moved to their land
MENG GUOJIANG 1916 VILLACANAL DR KINGSVILLE, ON N9Y 0G5							
STERLING ACRE FARMS LIMITED 100 OUELLETTE AVE SUITE 1004 WINDSOR, ON N9A 6T3							
TEICHROEB PETER DOSTER MELISSA LYNN 1932 VILLACANAL DR KINGSVILLE, ON N9Y 0G5							
WEST ERIC STEVEN WEST ANNA 1871 TALBOT RD, RR1 KINGSVILLE, ON N9Y 2E4	519-325-0556 eric@futurhockey.com	16-Apr-25	Health concern for children, proximity to residential, suggested landfill location.	24-Apr	24-Apr-25	15-May-25	
GIULIANO & CATHERINE PORRONE 1855 TALBOT RD KINGSVILLE, ON N9Y 2E4							
NOC DEVELOPMENTS 1318 BARKLEY AVE WINDSOR, ON N8P 0E8							
NELDA & GUIDO PORRONE 1875 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
ABRAM & HELENA PENNER 1846 TALBOT RD RR 1 KINGSVILLE, ON N9Y 2E4							
Darwin Balde 1776 Talbot Rd Ruthven, ON N0P 2G0	226-788-7919 dawwinbm23@hotmail.com	16-Apr-25	Proximity to residential	24-Apr	24-Apr-25	15-May-25	Stakeholder is not within notification radius but a resident of Kingsville
Frank Coppola 30 Carter Ave Leamington	519-324-5366 papcoppola1@hotmail.com	16-Apr-25	Safety concerns, proximity to residential, environmental (bees)	24-Apr-25	24-Apr-25	15-May-25	*stakeholder is not a resident of Kingsville, just a concerned community member (From neighbouring town of Leamington)

TELUS ON002959 Consultation Radius
120m radius from subject property as per Town of Kingsville Policy 2017







SIGN-IN SHEET

ON002959

Public Open House & Information Session

April 16, 2025

This information **will not** be used for marketing purposes

* indicates stakeholders who completed questionnaire

	NAME	ADDRESS
* 1	Karen Pearce	1872 talbot west Kingsville ONT
2	Anne Daniels	1802 County Rd 34
3	Dan Cabral	1802 County Rd 34.
* 4	HARRY KELLER	1810 County Rd 34.
* 5	Mina Keller	1810 County Rd. 34
* 6	Frank Coppock	30 Carter Ave.
* 7	Eric West	1871 Talbot
8	Anna West	1871 Talbot
9	Tom Lock	1916 Dolce Vita Ave
* 10	Steph Lock	1916 Dolce Vita Ave
11	Nelson Andrade	1784 Talbot Rd
12	Branouy Fram	1784 Talbot Rd
13	Diana Reaume	1917 Dolce Vita Ave
* 14	Shawn Reaume	1917 Dolce Vita Ave.



SIGN-IN SHEET

ON002959

Public Open House & Information Session

April 16, 2025

This information will not be used for marketing purposes

	NAME	ADDRESS
15	TOMY Dioneana	1766 TALBOT RD. RUTHVEN
* 16	Darwin Bards	1876 Talbot Kd Ruthven.
17	Fino Porrone	1801 Talbot Rd Kingsville
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		

From: Comments <comments@landsolutions.ca>
Sent on: Friday, April 4, 2025 7:45:47 PM
To: brandontaggart1@gmail.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Taggart 04 04 2025

Hi Brandon,

Thank you for taking the time to share your support regarding the proposed TELUS telecommunications facility at 1834 Talbot Road, Kingsville, ON (TELUS ON002959).

If you would like any additional information we invite you the Open House held on April 16, 2025 from 5-7pm,

Kingsville Arena Complex – Room B

1741 Jasperson Dr
Kingsville ON, N9Y 3J4

TELUS is committed to working with the community and operating in accordance with **ISED Canada's Client Procedures Circular CPC-2-0-03**. As part of this consultation, stakeholders are invited to submit any additional written comments **within 21 days** of this correspondence.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca

Comment Sheet – ON002959

Send by Fax to (403) 290-0050 or email at comments@landsolutions.ca
or Mail to TELUS c/o LandSolutions Inc.

Suite 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9

Proposed TELUS Telecommunications Facility
1834 Talbot Road, Kingsville, Ontario, N0P 2G0

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why?

Our Property (West) of proposed tower, is
going to be residential subdivision.

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments:

4. Other comments (please attach pages if more space is needed):

I would suggest the North/East corner
of that proposed property

This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. Please write legibly. Thank you.

Name:

Tony DIMENNA

Address:

11096 TALBOT Rd. WEST. Ruthven

Postal Code:

N0P 2G0.

Phone:

519-796-4197

Email:

ruthvennursery@cageco.net

To Whom It May Concern,

LandSolutions Inc., on behalf of TELUS Communications Inc. (TELUS) is pleased to share with you this site proposal information package for your review, with information for nearby landowners about the proposed telecommunications facility at the location listed below:

TELUS File:	ON002959
PID:	75146-0072 (LT)
Property Address:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates:	Lat: 42.05460 Long: -82.66136

Location and Site Context

TELUS is proposing to construct a 45m (48m to top of lightning rod) lattice tri-pole telecommunications tower and supporting equipment shelter at this location. The proposed tower will be located within the northeast corner of an existing yard where a commercial auto business is ran, E-Z Auto body. To the west north and east of the proposed site is agricultural farmland. The residential residence is 110m to the south.

Proposed Facility Map

Due to a variety of circumstances, including the distance between the existing towers and growing number of wireless users in the area, TELUS produced a search area for a needed telecommunications facility. As a result, TELUS has secured a site as indicated on the map below. TELUS Radio Engineering Department selected this site as an appropriate location to improve wireless service for users in the area.

Google Earth Satellite Image of the Proposed Site



From: Comments <comments@landsolutions.ca>
Sent on: Monday, April 14, 2025 6:51:57 PM
To: ruthvennursery@cogeco.net
Subject: ON002959 TELUS Telecommunications Facility at 1834 Talbot Road, Kingsville, ON_Stakeholder Response_Tony Dimenna 14 04 2025

1696 Talbot Rd. West Ruthven, ON

Dear Mr. Tony Dimenna,

Thank you for taking the time to share your concerns regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and value the feedback of community members like yourself.

We understand that your primary concern is the proximity of the proposed facility to potential residential developments to the west. While no formal submissions have been made regarding the development of the neighbouring agricultural land at this time, we acknowledge the possibility of future residential growth in this area.

TELUS is committed to meeting the growing network demands in Kingsville, especially as new developments and coverage needs emerge. As such, new infrastructure is necessary to support both existing and future residential and business needs. The proposed site at 1834 Talbot Road was carefully selected to address coverage gaps and improve network reliability for current and future residents and businesses in Kingsville. We are actively reviewing all community feedback.

You are also warmly invited to attend our upcoming Open House Information Session:

Date: Wednesday, April 16, 2025

Time: 5:00 p.m. – 7:00 p.m.

Location: Kingsville Arena, Room B

1741 Jasperson Drive

Kingsville, ON N9Y 3J4

This session will provide an opportunity to meet TELUS representatives, learn more about the project, and have your questions answered directly. We encourage your participation and look forward to connecting with you in person.

Should you have any further questions or wish to submit additional comments, please do not hesitate to contact us.

Thank you once again for your valuable feedback. TELUS remains committed to working with the community and operating in accordance with ISED Canada's *Client Procedures Circular CPC-2-0-03*. As part of this consultation process, stakeholders are invited to submit any additional written comments within 21 days of this correspondence.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca

Comment Sheet – ON002959

Send by Fax to (403) 290-0050 or email at comments@landsolutions.ca
or Mail to TELUS c/o LandSolutions Inc.
Suite 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9

Proposed TELUS Telecommunications Facility
1834 Talbot Road, Kingsville, Ontario, N0P 2G0

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? Proximity much too close to residence.

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Other comments (please attach pages if more space is needed):

We oppose the potential health risks, property value impacts,
& environmental concerns the proposed cell tower poses on
the community & residences in close proximity (within 400 m).
Alternative solutions such as using existing infrastructure or other technologies should
be explored instead.

This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. Please write legibly. Thank you.

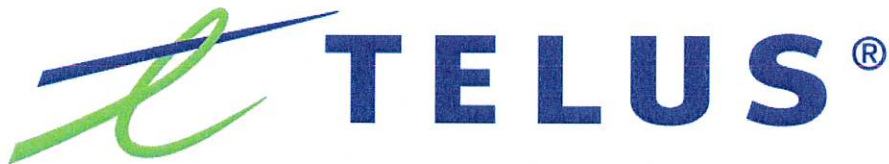
Name: Diana Beaume

Address: 1917 Dolce Vita Ave. Kingsville, ON

Postal Code: N94 0G5

Phone: 647-504-3422

Email: d-april-310@hotmail.com



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? We are Telus users & have NO ISSUES with
coverage in our area

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☐ No

Comments: The design is fine. The location is NOT.
Proximity to residential neighbourhood unacceptable

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments: _____

5. Other comments:

Please see neighbourhood proposal to relocate to
the waste/landfill facility instead.

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Shawn Reaume

Address:

1917 Duke Vita Ave

Kingsville, ON N94 0G5

Phone:

519-985-9519

Email:

shawn_reaume@hotmail.com

From: Comments <comments@landsolutions.ca>

Sent on: Thursday, April 24, 2025 3:16:54 PM

To: shawn_reaume@hotmail.com

Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Shawn Reaume 24 04 2025

Dear Mr. Shawn Reaume,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concern about the proposed location's proximity to residential areas and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increased wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water tower or landfill—may provide a technically viable and community-supported solution.

Should you have any further questions or wish to submit additional comments, please don't hesitate to contact us.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's *Client Procedures Circular CPC-2-0-03*. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca

Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☐ No

If no, why? close to residential areas, there are
surrounding areas with more industrial like
features more suitable for this tower.

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☐ No

Comments: do we have a choice?

4. Do you feel that the community consultation process was effective and informative?

☐ Yes

☒ No

Comments: community consultation was done
after the fact, after decisions were made.

5. Other comments:

move to transfer station,

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Steph Lock

Address:

1914 Dolce Vita Ave

Kingsville, ON N9Y 0G5

Phone:

519-999-1905

Email:

sfreitas86@gmail.com

From: Comments <comments@landsolutions.ca>
Sent on: Thursday, April 24, 2025 4:10:03 PM
To: sfreitas86@gmail.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Steph Lock 24 04 2025

Dear Steph Lock,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concerns regarding the proposed location's proximity to residential areas, and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

TELUS adheres to all federal safety regulations, including Health Canada's Safety Code 6, which sets strict limits on radiofrequency (RF) exposure. Our facilities operate well below these limits, ensuring the safety of the public, including children. Independent scientific research continues to affirm that wireless infrastructure complying with these standards is safe.

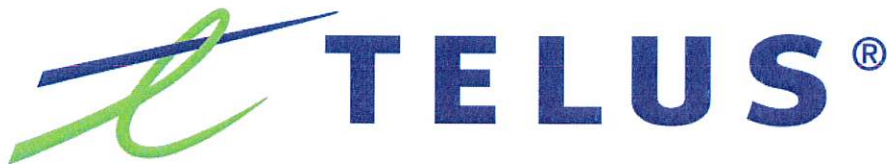
This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increasing wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water towers or landfill—may provide a technically viable and community-supported solution.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? IN MY BACKYARD. TOO CLOSE TO RESIDENTIAL
COMMUNITY. HAVE AN APIARY WITHIN 70m and
RF is hazardous for the survival of Bees

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments: Yes we had a good discussion
We agreed to disagree

5. Other comments:

The tower should be located at the old
landfill site or on the tower

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

HARRY KELLER

Address:

1810 County Rd 34

Phone:

519-796-5576

Email:

carpenter1810@hotmail.com



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? Right in my backyard.

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments: _____

5. Other comments:

The tower should be located at the
old town landfill

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Mina Keller

Address:

1810 County Rd. 34

Kingsville, Ont. N9Y 2E4

Phone:

519-566-3555

Email: _____

From: Levi Hayworth <lhayworth@landsolutions.ca>

Sent on: Thursday, April 24, 2025 3:34:53 PM

To: carpenter1810@hotmail.com

Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Harry Keller 24 04 2025

Dear Mr. Harry Keller,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We also appreciate your attendance at the recent open house and your participation in the community engagement process. Your involvement is vital in ensuring the development reflects the needs and values of the community.

We understand your concerns about the proposed location's proximity to residential areas, as well as your suggestion to consider alternative sites such as the Kingsville landfill. TELUS carefully evaluates a range of factors when selecting a location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

This location was identified to address existing service gaps and improve network reliability for residents and businesses in Kingsville—needs that continue to grow alongside increasing wireless usage. That said, we are actively reviewing all community feedback, including your input, to assess whether alternative sites—such as the water tower or landfill—may offer a technically viable and publicly supported solution.

In addition, we acknowledge your concerns about potential environmental impacts, particularly regarding local bee populations. TELUS is committed to environmental stewardship, and as part of our planning process, we conduct environmental assessments as required to identify and mitigate potential effects on local ecosystems and wildlife. We will ensure that environmental best practices are followed throughout the planning and development phases of this project.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Should you have further questions or wish to provide additional feedback, please do not hesitate to contact us.

Sincerely,

LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca

Questionnaire

Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? way to close to children

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: Move to less populated area
→ landfill, 3rd concession or more NORTH/Hwy 1
→ Water tower @ Albina, put tower near it. Secure gated
access. Town property → give money
to the town & invest in something for the children

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments:

5. Other comments:

If landfill train can hold the water tower,
it can surely hold a cell tower.

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Eric West

Address:

1871 Talbot

Phone:

519-325-0556

Email:

Eric@Futurhockey.com

From: Comments <comments@landsolutions.ca>
Sent on: Thursday, April 24, 2025 4:03:13 PM
To: eric@futura hockey.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Eric West 24 04 2025

Dear Mr. Eric West,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concerns regarding the proposed location's proximity to residential areas, particularly in relation to the health and safety of children, and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

TELUS adheres to all federal safety regulations, including Health Canada's Safety Code 6, which sets strict limits on radiofrequency (RF) exposure. Our facilities operate well below these limits, ensuring the safety of the public, including children. Independent scientific research continues to affirm that wireless infrastructure complying with these standards is safe.

This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increasing wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water towers or landfill—may provide a technically viable and community-supported solution.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca



Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☐ Yes

☒ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? too close to both of my residential
properties 1876 & 1776 Talbot Rd

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☐ Yes

☒ No

Comments: One of my neighbours informed and
not the company

5. Other comments:

I would prefer a different location to
the old land field site.

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Darwin Baide

Address:

1776 Talbot Rd Ruthven ON N0P 2S0

1876 Talbot Rd Ruthven ON

Phone:

226 788 7919

Email:

darwinbm23@hotmail.com.

From: Comments <comments@landsolutions.ca>
Sent on: Thursday, April 24, 2025 3:26:23 PM
To: darwinbm23@hotmail.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Darwin Baide 24 04 2025

Dear Darwin Baide,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your engagement in this process and your interest in ensuring that the development aligns with the needs and values of the community.

We understand your concern about the proposed location's proximity to residential areas and your suggestion to explore alternative locations such as the Kingsville landfill site. Please know that TELUS carefully evaluates a variety of factors when selecting a proposed facility location, including technical requirements for coverage, property availability, land-use compatibility, and proximity to users.

This site was identified based on the need to address network gaps and improve service reliability for residents and businesses in Kingsville—needs that continue to grow with increased wireless use. That said, we are actively reviewing community feedback, including yours, to determine whether alternative sites—such as water tower or landfill—may provide a technically viable and community-supported solution.

Should you have any further questions or wish to submit additional comments, please don't hesitate to contact us.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada's *Client Procedures Circular CPC-2-0-03*. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

Thank you again for your engagement. If you have further questions or concerns, please don't hesitate to reach out.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca

Questionnaire
Public Open House Information Session

1. ☒ Are you a cellular telephone or wireless internet user?

☒ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? safety issues. EMF. not good
for Humanity

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: Keep it Further away from Residents
and Residential areas

4. Do you feel that the community consultation process was effective and informative?

☒ Yes

☐ No

Comments: Need more safety data research
and statistics on long term effects on
People.

5. Other comments:

Im not in affected area but a concerned
citizen. Also concerned about bees and polinators.

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name:

Frank Coppola

Address:

30 Carter Ave. Leamington

Phone:

519-324-5366

Email:

papacoppola1@hotmail.com

From: Levi Hayworth <lhayworth@landsolutions.ca>
Sent on: Thursday, April 24, 2025 3:45:15 PM
To: papacoppola1@hotmail.com
Subject: ON002959 TELUS Telecommunications Tower 1834 Talbot Road_Stakeholder Response_Frank Coppola 24 04 2025

Dear Frank Coppola,

Thank you for taking the time to share your feedback regarding the proposed TELUS telecommunications facility at 1834 Talbot Road in Kingsville. We appreciate your participation in the engagement process and your commitment to ensuring that this development reflects the needs and values of the Kingsville community.

We understand and acknowledge your concerns regarding the proximity of the proposed site to residential areas, your suggestion to explore alternative locations such as the Kingsville landfill, and your questions about the long-term health effects of radiofrequency (RF) exposure. Additionally, we recognize your concern about potential environmental impacts—particularly regarding local bee populations.

TELUS carefully considers a variety of factors when identifying a site for infrastructure, including technical requirements for coverage, land-use compatibility, property availability, and proximity to users. This location was selected based on the need to address existing coverage gaps and enhance network reliability for residents and businesses in Kingsville—needs that continue to grow with increased wireless demand. That said, we are actively reviewing all community feedback, including yours, to evaluate whether alternative sites—such as the Kingsville water tower or landfill—may provide a technically feasible and community-supported solution.

In regard to health concerns, TELUS facilities are designed and operated in full compliance with **Health Canada’s Safety Code 6**, which sets science-based limits for safe human exposure to RF energy. These guidelines are among the most stringent in the world and are supported by international health authorities, including the World Health Organization. TELUS facilities operate well below these established safety limits.

We also share your concern for local ecosystems and pollinator species such as bees. TELUS is committed to environmental stewardship. As part of our planning process, we conduct environmental assessments as required and follow environmental best practices to identify, avoid, and mitigate any potential impacts on wildlife, including pollinators.

TELUS remains committed to collaborating with the Kingsville community and operating in accordance with Innovation, Science and Economic Development (ISED) Canada’s Client Procedures Circular CPC-2-0-03. As part of this consultation process, stakeholders are invited to submit written comments within 21 days of this letter.

If you have any further questions or comments, please do not hesitate to contact us.

Sincerely,
LandSolutions, on behalf of TELUS

Levi Hayworth
Municipal Affairs & Stakeholder Engagement
comments@landsolutions.ca

Questionnaire
Public Open House Information Session

1. Are you a cellular telephone or wireless internet user?

☐ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☒ No

If no, why? in the wrong spots

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☒ No

Comments: _____

4. Do you feel that the community consultation process was effective and informative?

☐ Yes

☒ No

Comments: _____

5. Other comments:

Dont want the things in my backyard
in my back cause health problems for ever

We would like to keep you informed about the status of this proposal. Please provide your name and address so that we can stay in touch with you. This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. **Please write legible or we may not be able to keep you informed.** Preferred method of communication is email. Thank you.

Name: _____

Karen Pearce

Address: _____

1872 14th Road West Kingsville
W9Y3E4

Phone: _____

Email: _____

To Whom It May Concern,

LandSolutions Inc., on behalf of TELUS Communications Inc. (TELUS) is pleased to share with you this site proposal information package for your review, with information for nearby landowners about the proposed telecommunications facility at the location listed below:

TELUS File:	ON002959
PID:	75146-0072 (LT)
Property Address:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordinates:	Lat: 42.05460 Long: -82.66136

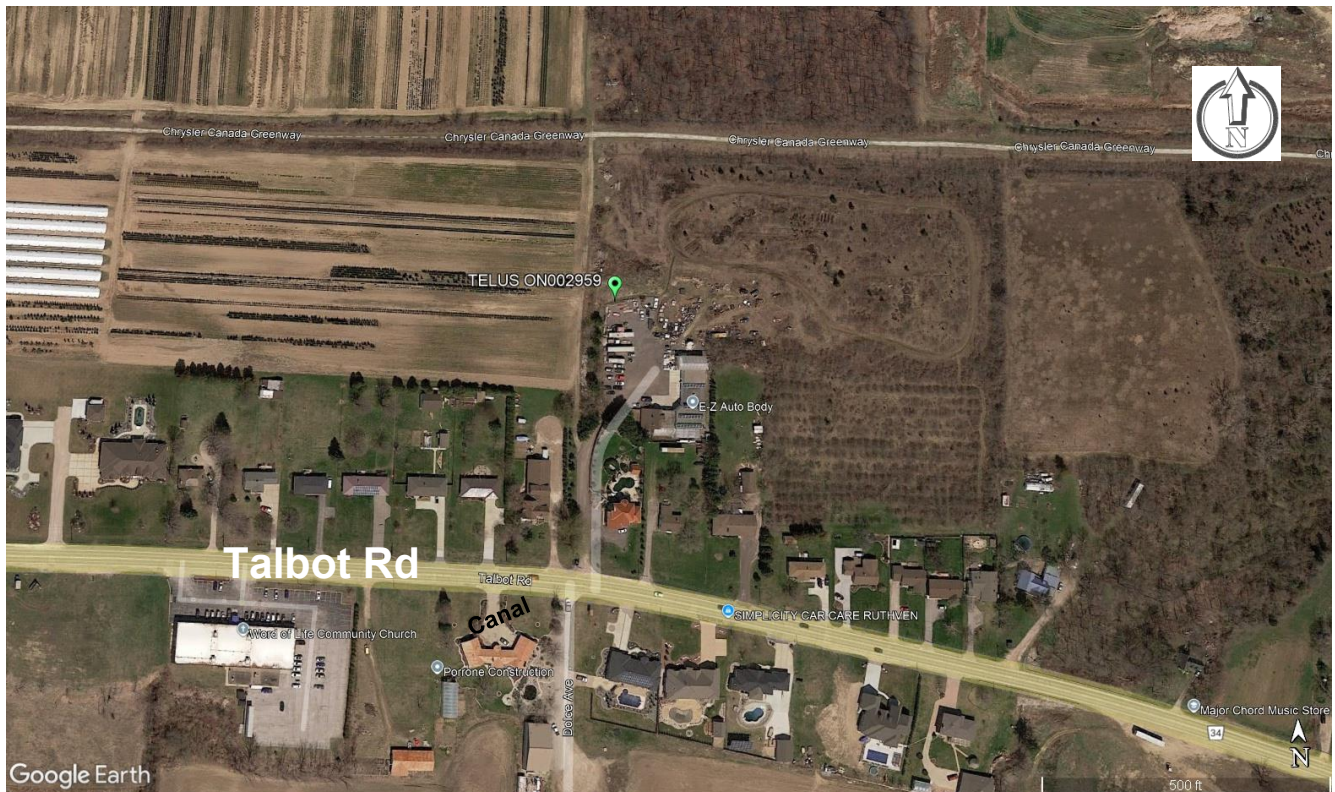
Location and Site Context

TELUS is proposing to construct a 45m (48m to top of lightning rod) lattice tri-pole telecommunications tower and supporting equipment shelter at this location. The proposed tower will be located within the northeast corner of an existing yard where a commercial auto business is ran, E-Z Auto body. To the west north and east of the proposed site is agricultural farmland. The residential residence is 110m to the south.

Proposed Facility Map

Due to a variety of circumstances, including the distance between the existing towers and growing number of wireless users in the area, TELUS produced a search area for a needed telecommunications facility. As a result, TELUS has secured a site as indicated on the map below. TELUS Radio Engineering Department selected this site as an appropriate location to improve wireless service for users in the area.

Google Earth Satellite Image of the Proposed Site



Site Selection and Co-Location

Among the factors considered during the site selection process are expected usage patterns of wireless service, local terrain, interaction with existing radio base stations, and line of sight requirements for high quality communication. Each site that is investigated must go through an internal review by radio frequency, transmission and civil engineering groups in order to qualify.

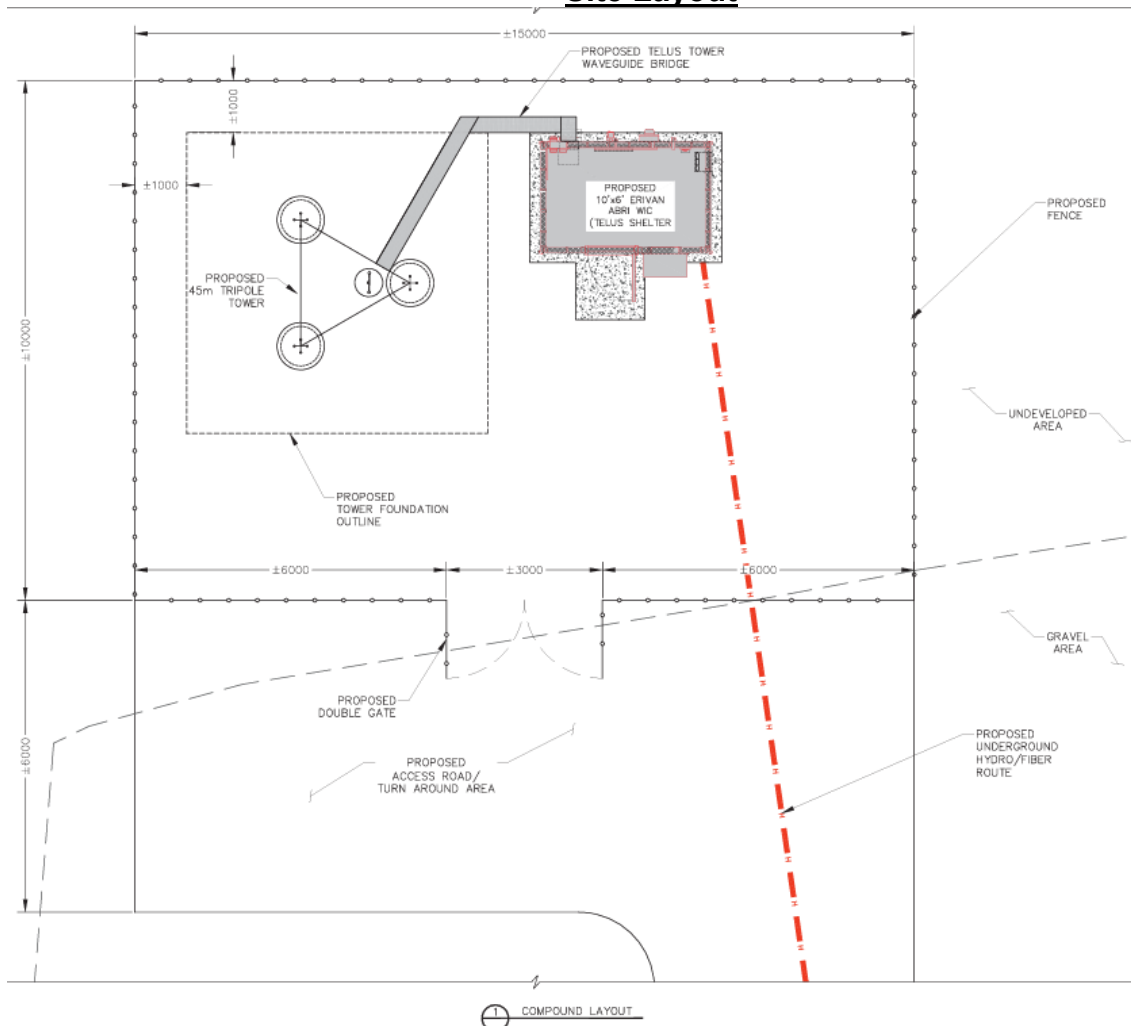
Before building a new antenna-supporting structure, Innovation, Science and Economic Development Canada (ISED) requires that the proponent (TELUS) first explore the following options:

- consider sharing an existing antenna system, modifying or replacing a structure if necessary.
- locate, analyze and attempt to use any feasible existing infrastructure such as rooftops, water towers etc.

During the site selection process for this proposed facility, TELUS determined that there are no suitable co-locate opportunities within 1 km of the proposed location.

In addition, TELUS will welcome future tower sharing opportunities on this proposed tower as per ISED's guidelines. At the time of this notification, TELUS anticipates having space available for future sharing proponents below 25m on the tower. TELUS will respond to a request to share in a timely fashion and will negotiate in good faith to facilitate sharing where feasible following standard collocation procedures.

Site Layout



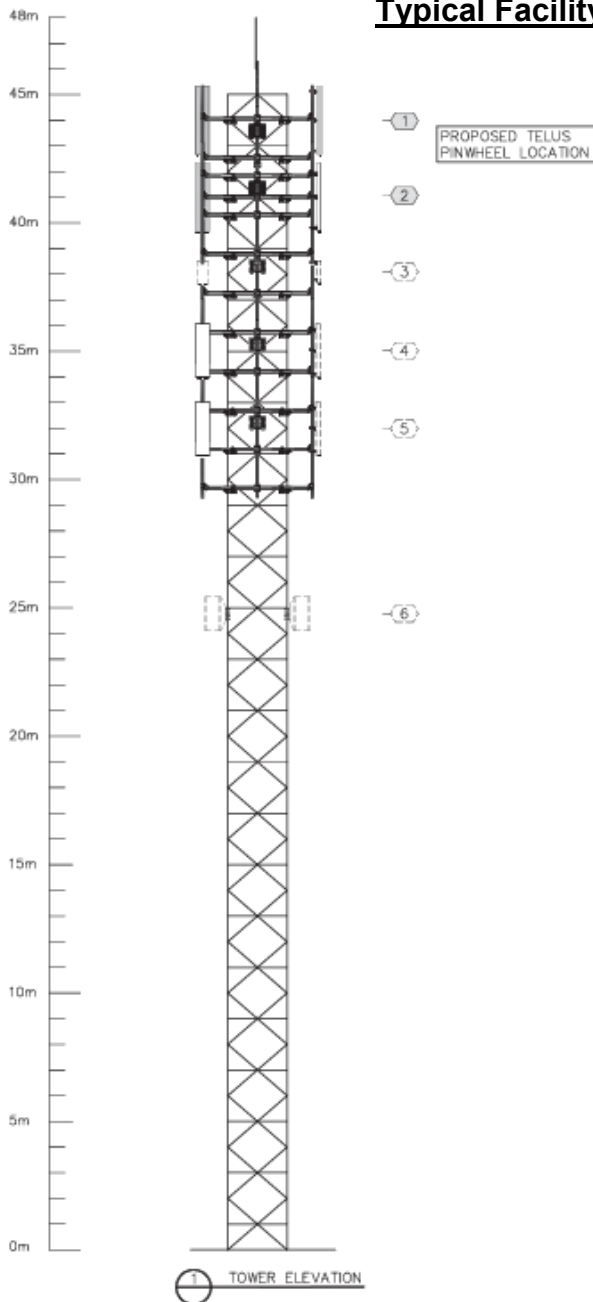
Site Access

For construction and maintenance, access will be from the existing property access from Talbot Rd and through the parking lot of E-Z Auto Body.

Site Information

The design is a 45m (48m to top of lightning rod) lattice tri-pole tower facility within a fenced premise, as shown on the above drawing. TELUS proposes to install an equipment shelter within the fenced portion of the premises. The shelter will house equipment necessary for the operation of the telecommunications facility. The shelter will be armed with a 24-hour alarm system to ensure protection from vandalism and to warn for environmental concerns such as flooding or fire. Twelve (12) initial panel-style antennas measuring approximately 2.6m x 0.5m, will be installed at the top of the tower.

Typical Facility Profile and Photo Simulations



Construction and Maintenance

The construction period will last four to six weeks and once completed the facility will remain unoccupied. The only traffic generated at this site will be for routine monthly maintenance visits.

LandSolutions Inc., on behalf of TELUS, attests that the installation will respect good engineering practices including structural adequacy.

Aeronautical Approvals

All necessary Transport Canada and NAV Canada approvals and lighting requirements will be obtained by TELUS and provided upon request. Currently, TELUS does not expect Transport Canada to require tower lighting (top) due to the height and location of the proposed facility.

Environmental Health Standards / Safety Code 6 Guidelines

ISED requires that the installation and modification of antenna systems be done in a manner that complies with appropriate environmental legislation. This includes the Impact Assessment Act (IAA), formerly the Canadian Environmental Assessment Act (CEAA) and local environmental assessment requirements where required by the IAA.

LandSolutions Inc., on behalf of TELUS, attests that the radio antenna system described in this notification does not qualify as a Designated Project under the IAA, formerly CEAA and is excluded from environmental assessment.

ISED manages the radio communications spectrum in Canada. Among other requirements, ISED requires telecommunications facilities to comply with guidelines established by Health Canada in order to protect people who live or work near these facilities.

These Health Canada safety guidelines are outlined in their 'Safety Code 6' document and are among the most stringent in the world. All TELUS facilities meet or exceed these standards. LandSolutions Inc., on behalf of TELUS, attests that the radio installation described in this notification package will be installed and operated on an ongoing basis to comply with Health Canada's Safety Code 6, as may be amended from time to time, for the protection of the public, including any combined effects of nearby installations within the local radio environment.

Map of Notification Area of 120m Radius from Subject Property

Approximate radius shown below, notification radius determined by Telecommunication Policy 2017 Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities





Public Consultation

LandSolutions Inc., on behalf of TELUS is following the Town of Kingsville's "*Telecommunication Policy 2017 Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities*" which requires notification of landowners within a radius of 120m from subject property and an Open House Information session. Please submit written comments within 30 days of receipt of this package. Upon receiving any comments from the public, LandSolutions Inc. on behalf of TELUS will respond to all feedback and will deliver a formal submission to the Town requesting support for this proposal.

An Open House will be held on **April 16, 2025**, from 5:00pm-7:00pm at the below address;

**Kingsville Arena Complex – Room B
1741 Jasperson Dr
Kingsville ON, N9Y 3J4**

Written comments posted on or before April 23, 2025, will be included in the formal submission package.

Please contact our office to discuss the proposed facility with representatives from LandSolutions Inc. at comments@landsolutions.ca or 1-866-834-0008.

This site proposal information package is in accordance with the requirements of ISED's Radiocommunication and Broadcasting Antenna Systems.

Conclusion

Wireless communications contribute to the quality of everyday life. This proposed site will satisfy demand for better service to current and future subscribers in the area.

If you have any questions, or require further information about the proposed facility, please feel free to contact:

LandSolutions Inc. for TELUS

Levi Hayworth
Municipal Affairs and Stakeholder Engagement Specialist
1420, 333 – 11 Avenue SW
Calgary, AB T2R 1L9
P. 403-930-4667 Ext. 2664
F. 403-290-0050
E. comments@landsolutions.ca

Town of Kingsville

Colin Kelly
Town Planner
2021 Division Road North
Kingsville ON, N9Y 2Y9
P. 519-733-2305 ext. 248
E. ckelly@kingsville.ca

Innovation, Science and Economic Development Canada

Southwestern Ontario District Office

4475 North Service Road, Suite 100
Burlington, ON L7L 4X7
T. 1-855-465-6307
F. 905-639-6551
E. ic.spectrumswodo-spectrebdsoo.ic@canada.ca

Industry and Health & Safety Information

<http://www.ic.gc.ca/towers>
<http://www.ic.gc.ca/eic/site/smt-gst.nsf/eng/sf11467.html>
http://www.hc-sc.gc.ca/ewh-semt/pubs/radiation/radio_guide-lignes_direct-eng.php
<https://www.canada.ca/en/health-canada/services/consumer-radiation/safety-cell-phones-cell-phone-towers.html>
http://www.hc-sc.gc.ca/hl-vs/alt_formats/pacrb-dgapcr/pdf/iyh-vsv/prod/cell-eng.pdf
<https://canadatelecoms.ca/knowledge-centre/>
<http://www.TELUS.com>

Comment Sheet – ON002959
Send by Fax to (403) 290-0050 or email at comments@landsolutions.ca
or Mail to TELUS c/o LandSolutions Inc.
Suite 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9

Proposed TELUS Telecommunications Facility
1834 Talbot Road, Kingsville, Ontario, N0P 2G0

1. Are you a cellular telephone or wireless internet user?

☐ Yes

☐ No

2. Is the location of the proposed facility acceptable?

☐ Yes

☐ No

If no, why? _____

3. Are you satisfied with the design of the proposed facility?

☐ Yes

☐ No

Comments: _____

4. Other comments (please attach pages if more space is needed):

This information will not be used for marketing purposes; however, your comments will be forwarded to the appropriate Land Use Authority for their file. Please write legibly. Thank you.

Name: _____

Address: _____

Postal Code: _____

Phone: _____

Email: _____

À qui de droit,

LandSolutions Inc., qui agit au nom de TELUS Communications Inc. (TELUS), a le plaisir de partager avec vous cette trousse d'information concernant la proposition d'un site de télécommunications. Ce document a été réalisé pour informer les propriétaires fonciers à proximité du site proposé et leur fournir des détails relatifs à cette proposition.

Référence TELUS:	ON002959
PID:	75146-0072 (LT)
Adresse:	1834 Talbot Road, Kingsville, Ontario, N0P 2G0
Coordonnées:	Lat: 42.05460 Long: -82.66136

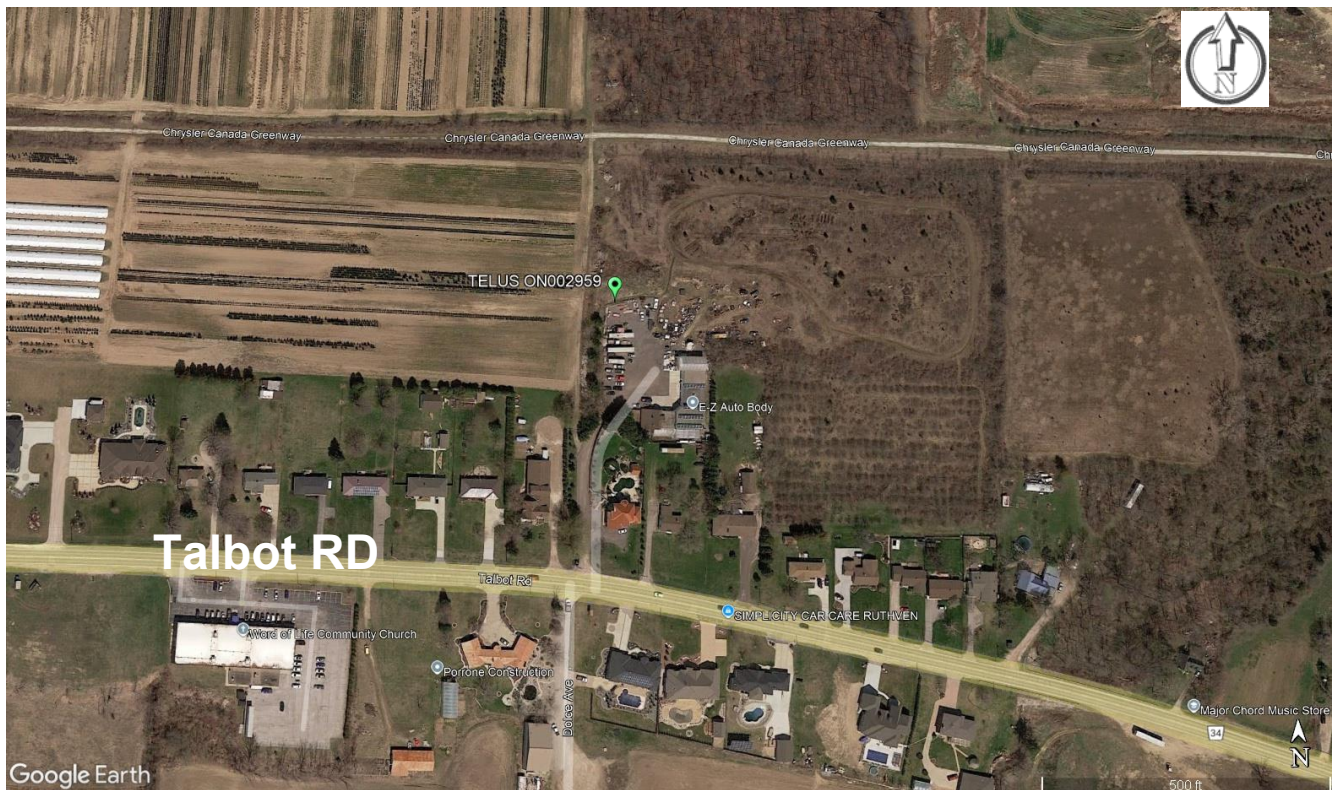
Emplacement et contexte du site

TELUS propose de construire une tour de télécommunications tripolaire en treillis de 45 m (48m jusqu'au sommet du paratonnerre) et un abri pour l'équipement de soutien à cet endroit. La tour proposée sera située dans le coin nord-est d'un chantier existant où est exploitée une entreprise automobile commerciale, E-Z Auto body. À l'ouest, au nord et à l'est du site proposé se trouvent des terres agricoles. La résidence résidentielle est à 110m au sud.

Zone de recherche des installations proposées

En raison de diverses circonstances, y compris la distance entre les tours existantes et le nombre croissant d'utilisateurs de services sans fil dans la région, TELUS a produit une zone de recherche afin de cibler un emplacement optimal pour un nouveau site de télécommunication permettant d'améliorer le service sans fil dans la région.

Image satellite Google Earth du site proposé



Sélection du site et co-location

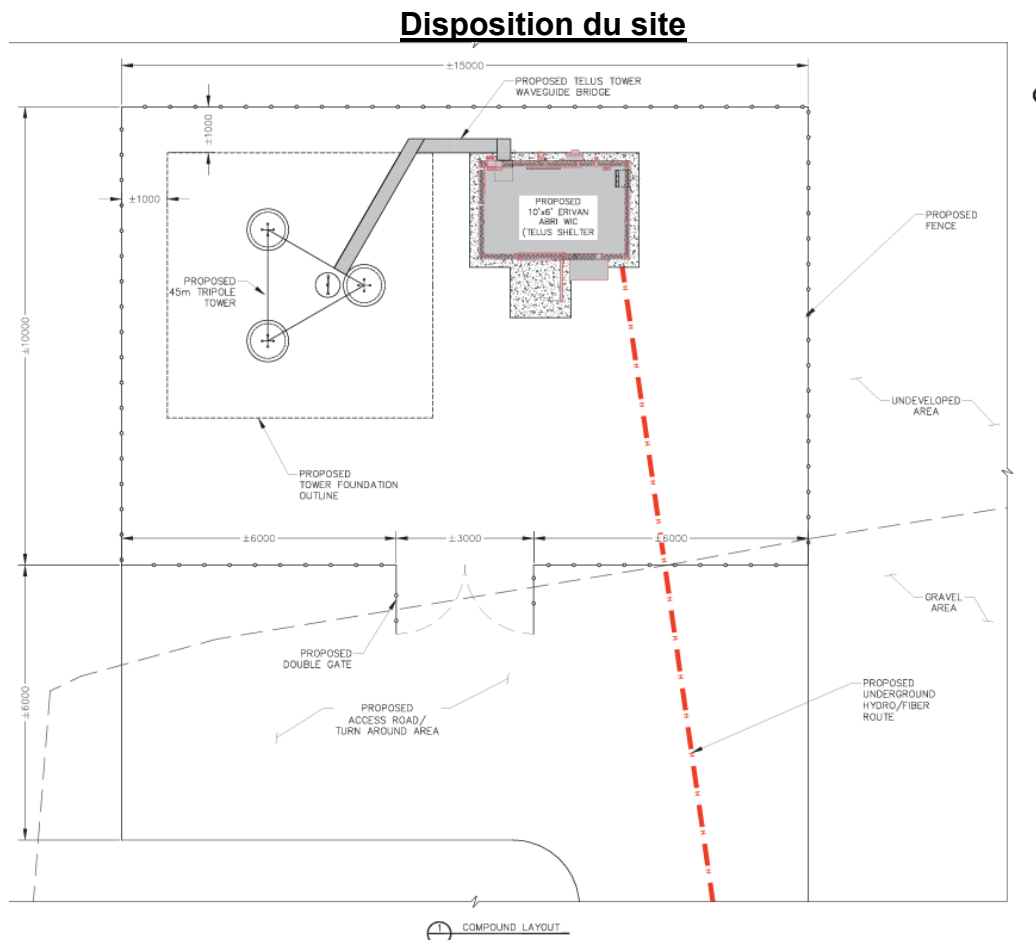
Parmi les facteurs qu'on se doit de prendre en considération lors du processus de sélection du site, il y a les modèles de prévision de la couverture désirée du service sans fil, la topographie de la zone de recherche, l'interaction avec les sites de télécommunications existants et les exigences de visibilité directe pour une communication de haute qualité. Chaque proposition de site doit faire l'objet d'un examen interne par des groupes spécialisés en radiofréquence, en transmission et en génie civil afin de déterminer si la proposition répond aux critères attendus.

Avant de construire une nouvelle structure de support d'antenne, Innovation, Sciences et Développement économique Canada (ISDE) exige que le promoteur (TELUS) explore d'abord les options suivantes :

- envisager de partager un système d'antenne existant, modifier ou remplacer une structure si nécessaire.
- localiser, analyser et tenter d'utiliser toute infrastructure existante telle que les toits, les châteaux d'eau, etc.

Le processus de sélection, a permis à TELUS a de déterminer qu'il n'y a pas de possibilité de partager des structures existantes appropriées à moins de 1 km de l'emplacement proposé.

De plus, TELUS accueillera favorablement les futures occasions de partage de pylônes sur cette tour proposée, conformément aux lignes directrices d'ISED. Au moment de la présente notification, TELUS prévoit avoir de l'espace disponible pour les futurs promoteurs de partage à moins de 25 m sur la tour. TELUS répondra à une demande de partage en temps opportun et négociera de bonne foi pour faciliter le partage dans la mesure du possible en suivant les procédures de colocation standard.



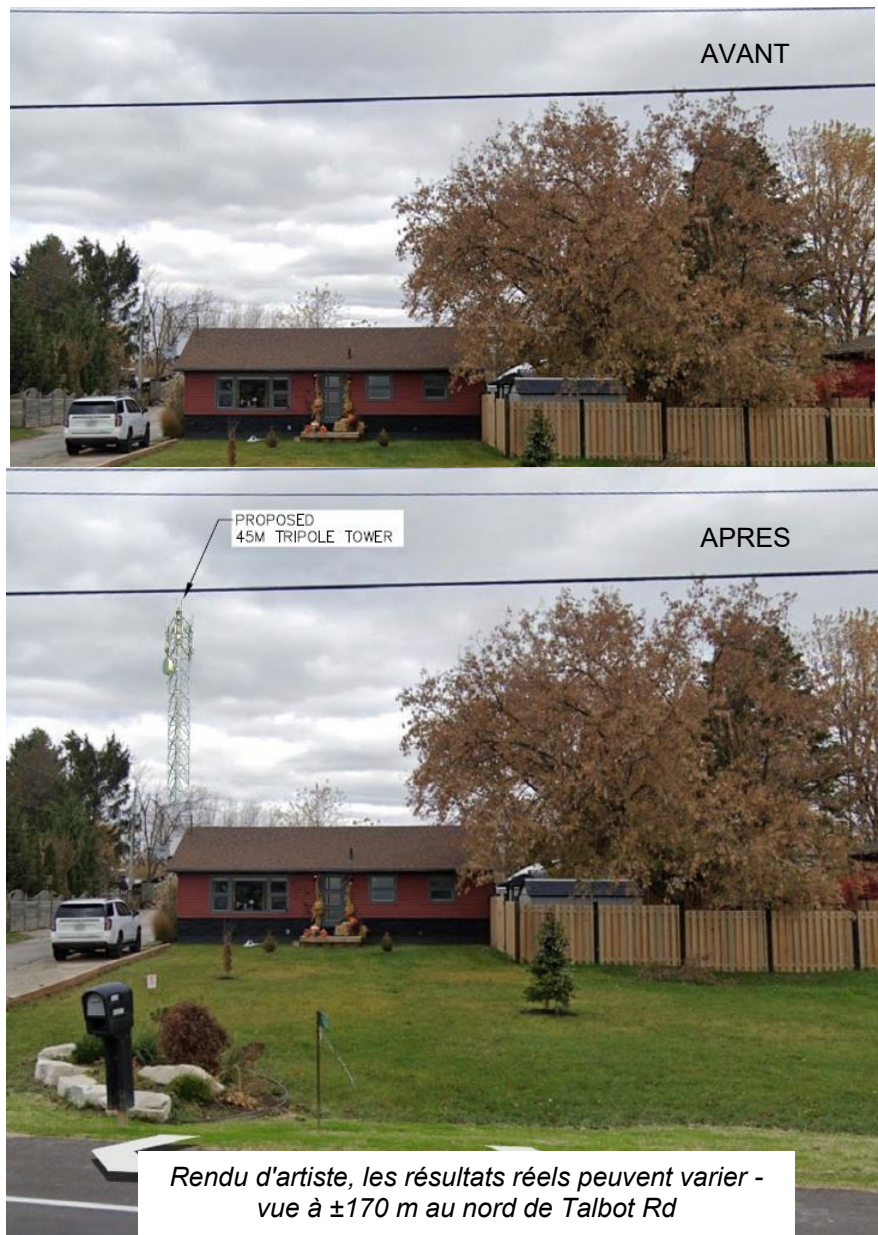
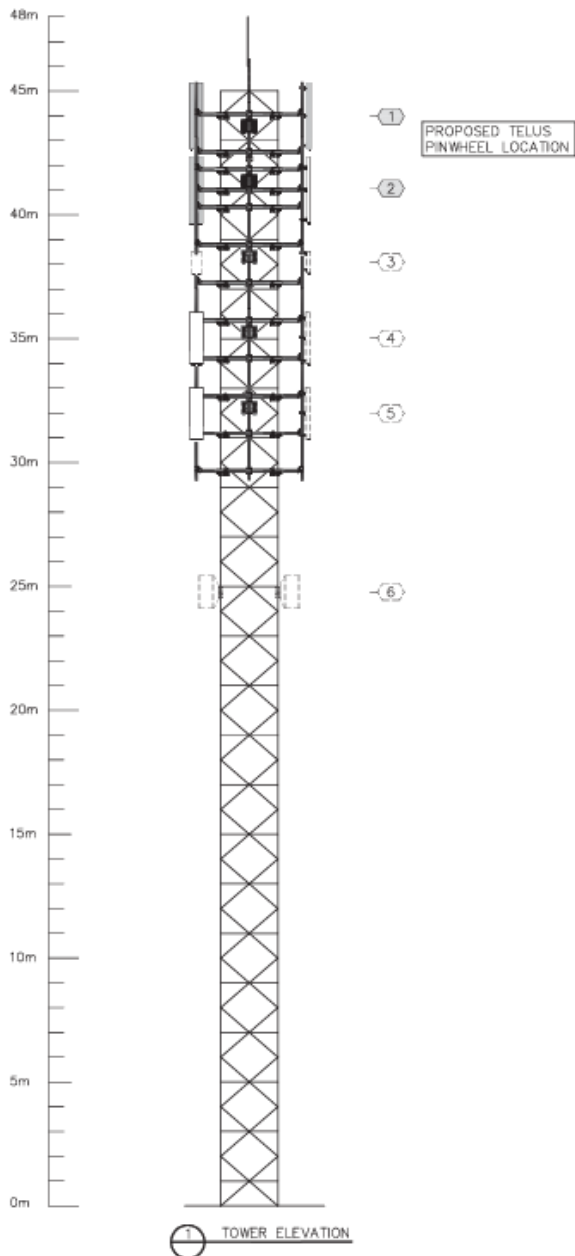
Accès au site

Pour la construction et l'entretien, l'accès se fera depuis l'accès à la propriété existante depuis Talbot Rd et via le parking d'E-Z Auto Body.

Informations sur le site

La conception est un pylône de 45.0 m (48m au sommet de l'antenne) comme indiqué sur le dessin ci-dessus. TELUS propose d'installer un abri d'équipement à la base de la tour et le tout sera clôturé. L'abri abritera l'équipement nécessaire au fonctionnement de l'installation de télécommunications. L'abri sera armé d'un système d'alarme 24 heures sur 24 pour assurer la protection contre le vandalisme et pour avertir des préoccupations environnementales telles que les inondations ou les incendies. Douze (12) antennes initiales de type panneau mesurant environ 2,6 m x 0,5 m seront installées au sommet de la tour.

Profil d'installation typique et simulations photographiques



Construction et entretien

La période de construction durera de quatre à six semaines et une fois terminée, outre les visites d'entretien de routine mensuels le site ne générera pas de circulation. LandSolutions Inc., au nom de TELUS, atteste que l'installation respectera les bonnes pratiques d'ingénierie.

Agréments aéronautiques

Toutes les approbations et exigences en matière d'éclairage nécessaires de Transports Canada et de NAV Canada seront obtenues par TELUS et fournies sur demande. À l'heure actuelle, TELUS ne s'attend pas à ce que Transports Canada exige l'éclairage des pylônes (en haut) en raison de la hauteur et de l'emplacement de l'installation proposée.

Normes d'hygiène du milieu / Lignes directrices du Code de sécurité 6

ISDEC exige que l'installation et la modification des systèmes d'antenne soient effectuées d'une manière conforme à la législation environnementale appropriée. Cela comprend la Loi sur l'évaluation d'impact (LEI), anciennement la Loi canadienne sur l'évaluation environnementale (LCEE) et les exigences locales en matière d'évaluation environnementale lorsque la LEI l'exige.

LandSolutions Inc., au nom de TELUS, atteste que le système d'antenne radio décrit dans cet avis n'est pas admissible en tant que projet désigné en vertu de l'AEI, anciennement l'ACEE, et est exclu de l'évaluation environnementale.

En tant que responsable de la gestion du spectre des radiocommunications au Canada, ISDEC exige que les installations de télécommunications se conforment aux directives établies par Santé Canada afin de protéger les personnes qui vivent ou travaillent à proximité de ces installations.

Ces directives de sécurité de Santé Canada sont décrites dans le document « Code de sécurité 6 » et sont parmi les plus strictes au monde. Toutes les installations de TELUS respectent ces directives.

Carte de la zone de notification d'un rayon de 120 m à partir de la propriété concernée

Rayon approximatif indiqué ci-dessous, rayon de notification déterminé par la Politique des télécommunications 2017 Politique de développement et/ou de réaménagement des installations de communication et de radiodiffusion



Consultation publique

LandSolutions Inc., au nom de TELUS, se conforme à la Politique de télécommunication de 2017 de la Ville de Kingsville concernant l'aménagement et le réaménagement des installations de communication et de radiodiffusion, qui exige la notification des propriétaires fonciers dans un rayon de 120 m de la propriété visée et la tenue d'une séance d'information portes ouvertes. Veuillez soumettre vos commentaires écrits dans les 30 jours suivant la réception de ce dossier. Dès réception des commentaires du public, LandSolutions Inc., au nom de TELUS, répondra à tous les commentaires et remettra une demande officielle à la Ville pour solliciter son soutien à cette proposition.

Une journée portes ouvertes aura lieu le 16 avril 2025, de 17h00 à 19h00 à l'adresse ci-dessous

**Kingsville Arena Complex – Room B
1741 Jasperson Dr
Kingsville ON, N9Y 3J4**

Les commentaires écrits reçus d'ici au 23 Apres 2025, au plus tard, seront inclus dans la trousse de demande officielle soumise à la Ville.

Veuillez communiquer avec notre bureau pour discuter de l'installation proposée avec des représentants de LandSolutions Inc. au comments@landsolutions.ca ou au 1-866-834-0008. Cette trousse d'information sur la proposition d'emplacement est conforme aux exigences des systèmes d'antennes de radiocommunication et de radiodiffusion d'ISDE.

Conclusion

Les communications sans fil contribuent à la qualité de la vie quotidienne. Le site proposé répondra à la demande d'un meilleur service aux abonnés actuels et futurs de la région.

Si vous avez des questions ou si vous avez besoin de plus amples renseignements sur l'installation proposée, n'hésitez pas à communiquer avec :

LandSolutions Inc. for TELUS

Levi Hayworth
Municipal Affairs and Stakeholder Engagement Specialist
1420, 333 – 11 Avenue SW
Calgary, AB T2R 1L9
P. 403-930-4667 Ext. 2664
F. 403-290-0050
E. comments@landsolutions.ca

Town of Kingsville

Colin Kelly
Town Planner
2021 Division Road North
Kingsville ON, N9Y 2Y9
P. 519-733-2305 ext. 248
E. ckelly@kingsville.ca

Innovation, Sciences et Développement Économique Canada

Bureau de district du sud de l'Ontario
4475 North Service Road, Suite 100
Burlington, ON L7L 4X7
T. 1-855-465-6307
F. 905-639-6551
E. ic.spectrumswodo-spectrebdsoo.ic@canada.ca

Information sur l'industrie et la santé et la sécurité

<https://ised-isde.canada.ca/site/gestion-spectre-telecommunications/fr/securite-conformite/faits-sujet-pylones>
<https://ised-isde.canada.ca/site/gestion-spectre-telecommunications/fr>
<https://www.canada.ca/fr/sante-canada/services/securite-et-risque-pour-sante/radiation/exposition-professionnelle-reglementation/code-securite-6-lignes-directrices-exposition-radiofrequences.html>
<https://www.canada.ca/fr/sante-canada/services/securite-et-risque-pour-sante/radiation/sources-rayonnements-quotidien.html>
<https://canadatelecoms.ca/fr/centre-de-connaissances/>
<https://www.telus.com/fr>

Feuille de commentaires – ON002959
À transmettre par télécopieur au (403) 290-0050 ou par courriel à
comments@landsolutions.ca
ou par la poste à TELUS a/s de LandSolutions Inc.
Bureau 1420, 333 – 11th Avenue SW, Calgary, Alberta T2R 1L9

Installation de télécommunications proposée par TELUS
1834 Talbot Road, Kingsville, Ontario, N0P 2G0

5. Êtes-vous un utilisateur de téléphone cellulaire ou d'Internet sans fil?

☐ Oui

☐ Non

6. L'emplacement de l'installation proposée est-il acceptable?

☐ Oui

☐ Non

Si non, pourquoi ? _____

7. Êtes-vous satisfait de la conception de l'installation proposée?

☐ Oui

☐ Non

Commentaires: _____

8. Autres commentaires (veuillez joindre des pages si vous avez besoin de plus d'espace) :

Ces informations ne seront pas utilisées à des fins de marketing ; toutefois, vos commentaires seront transmis à l'autorité compétente en matière d'utilisation du sol. Merci d'écrire lisiblement. Merci.

Nom: _____

Adresse: _____

Code Postal: _____

Téléphone: _____

E-mail: _____



TELUS

ROEHAMPTON COMMUNICATIONS LTD. ROEHAMPTON COMMUNICATIONS LTD. ROEHAMPTON COMMUNICATIONS LTD. ROEHAMPTON COMMUNICATIONS LTD. ROEHAMPTON COMMUNICATIONS LTD. ROEHAMPTON COMMUNICATIONS LTD.

PROJECT NAME:	NEW TOWER BUILD
PROJECT TYPE:	45.0m TRIPOLE TOWER
PROJECT SITE No.:	ON002959
TOWER OWNER:	TELUS
ADDRESS:	1834 TALBOT ROAD, KINGSVILLE, ON

DRAWING INDEX			
SHEET	DRAWING DESCRIPTION	NO.	DATE
COV.	TITLE SHEET & SITE KEY PLAN	0	27FEB2025
A01	TOWER PROFILE	0	27FEB2025
A02	SITE PLAN	0	27FEB2025
A03	COMPOUND LAYOUT	0	27FEB2025
A04	TOWER FOUNDATION	0	27FEB2025
A05	TELUS SHELTER FOUNDATION	0	27FEB2025
A06	FENCE DETAILS	0	27FEB2025
N01	GENERAL NOTES	0	27FEB2025

ISSUE		
0	ISSUED FOR PERMIT	27FEB2025

NOT FOR
CONSTRUCTION



COURTESY BING OR GOOGLE MAPS

KEY MAP (NTS)

GEOGRAPHIC COORDINATES

LATITUDE: 42.05460
LONGITUDE: -82.66136

NOTES:

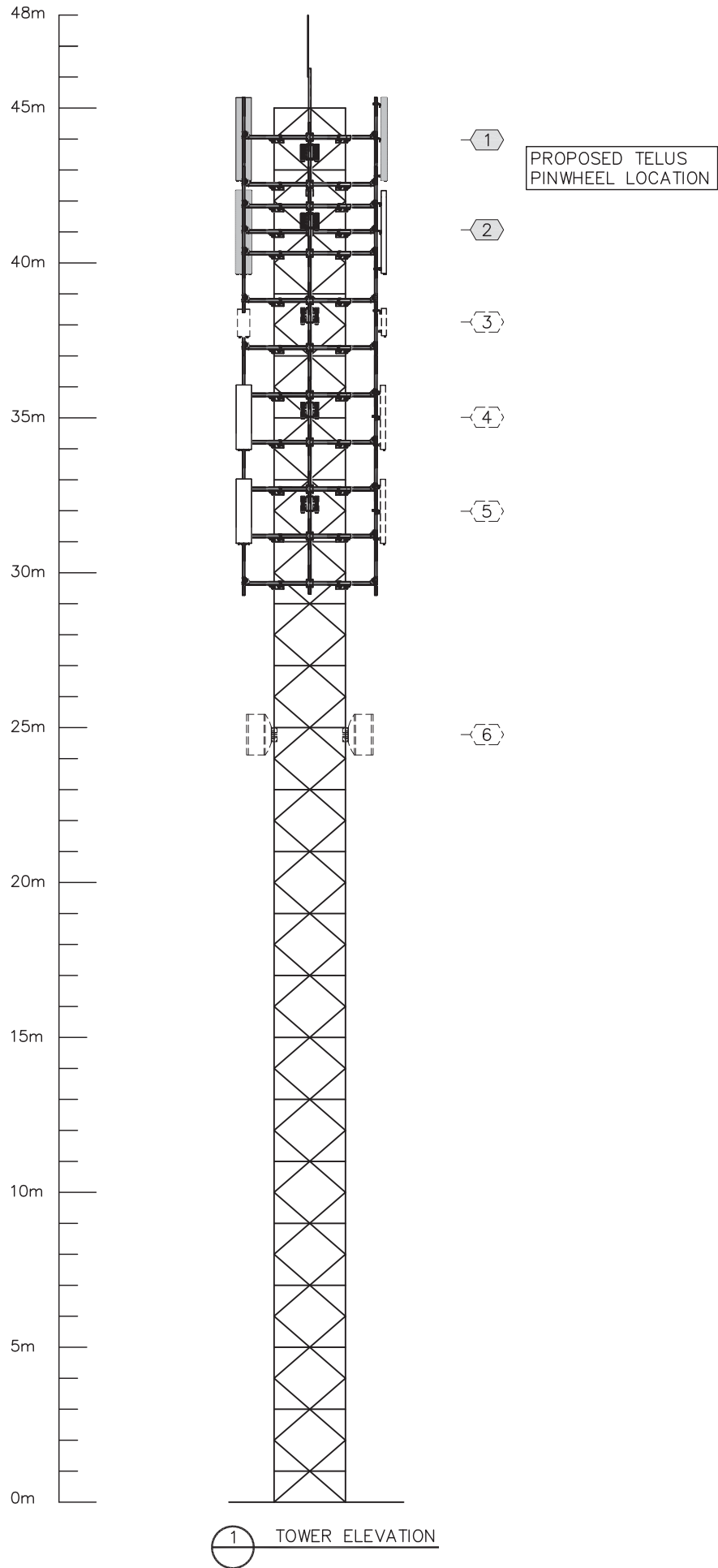
1. ALL DIMENSIONS ARE IN mm UNLESS NOTED OTHERWISE.
2. READ THESE DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
3. DO NOT SCALE DRAWINGS.

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TORONTO, ON M8Z-2T4

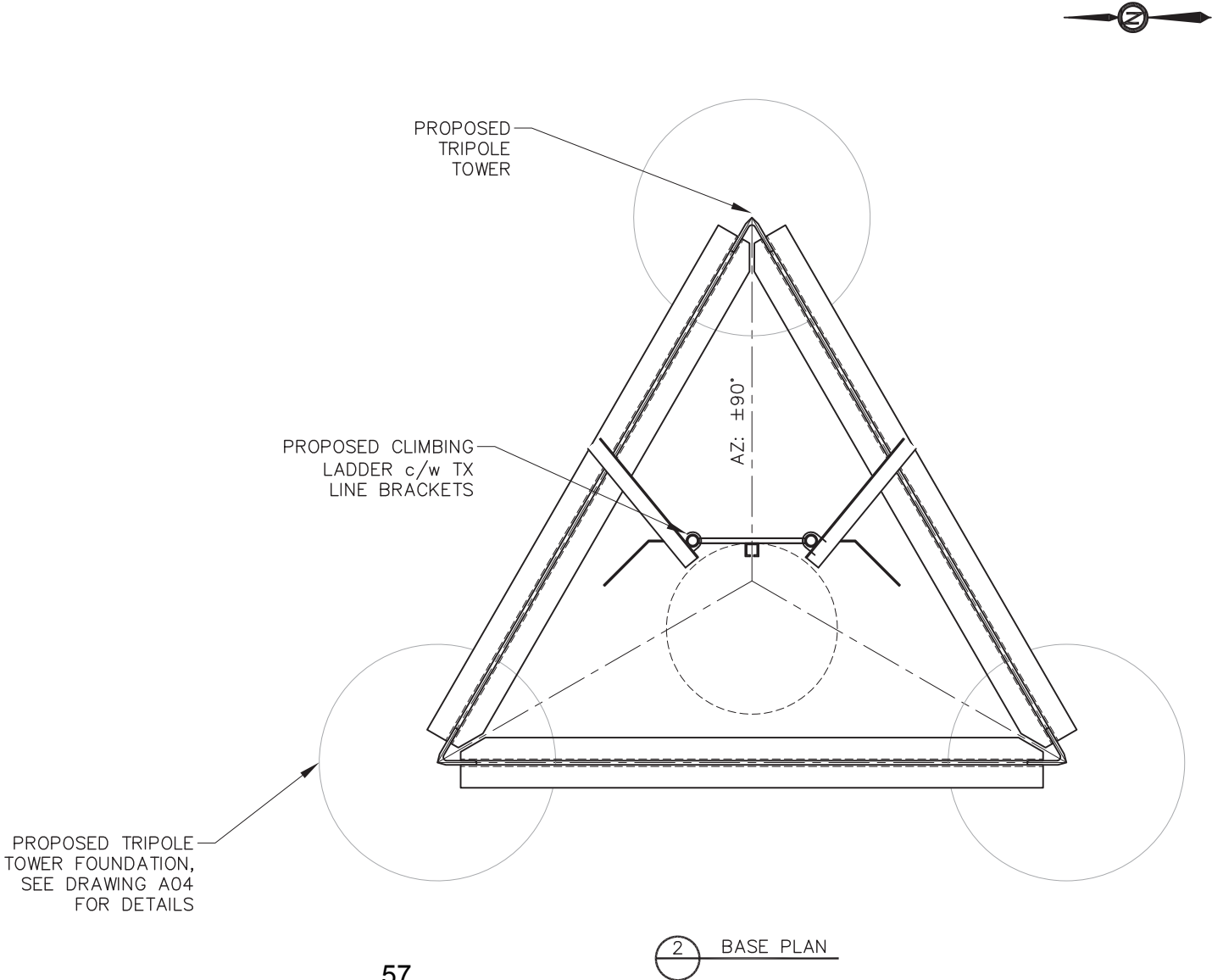
VANCOUVER - CALGARY - EDMONTON - WINNIPEG

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RADIO ANTENNA/MICROWAVE SCHEDULE								
NO	ELEV. (m)	QTY.	MODEL	AZIMUTH	QTY.	TX.LINE	OWNER	ANT. STATUS
1	44.0	6	T2008L6R033	TBD*	(TBD) RRUs PACKS (TBD) DC/FO BOXES (TBD) DC/FO		TELUS	PROPOSED
2	41.0	6	TQBM-D608017-Q172717DEI-65FT	TBD*			TELUS	PROPOSED
3	38.0	3	64T MMU	TBD*			TELUS	FUTURE
4	35.0	6	T2008M6R033	TBD*	(TBD) RRUs PACKS (TBD) DC/FO BOXES (TBD) DC/FO		OTHERS	FUTURE
5	32.0	6	T2008M6R033	TBD*			OTHERS	FUTURE
6	25.0	2	4' M/W	TBD*	TBD		TELUS	FUTURE

NOTE:
• TOWER LOADING MAY CHANGE BASED ON FINAL CARRIERS REQUIREMENTS.



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CONSTRUCTION

CLIENT:

CARRIER:



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NO.	BY	DESCRIPTION DATE

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TORONTO, ON M8Z-2T4
VANCOUVER - CALGARY - EDMONTON - WINNIPEG

LOCATION:
1834 TALBOT ROAD, KINGSVILLE, ON

TITLE:
PLAN VIEW

PROJECT NAME: NEW TOWER BUILD

PROJECT NO: ON002959

DWG. NO: A01



1 SITE PLAN



NOTES:

- 1. TELUS COMPOUND LOCATION SUBJECT TO CHANGE.
- 2. TELUS COMPOUND SIZE SUBJECT TO CHANGE BASED ON FINAL TOWER AND FOUNDATION DESIGN.
- 3. FINAL LOCATION OF THE TOWER TO BE DETERMINED ON THE REVIEW OF THE GEOTECHNICAL REPORT.

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CONSTRUCTION

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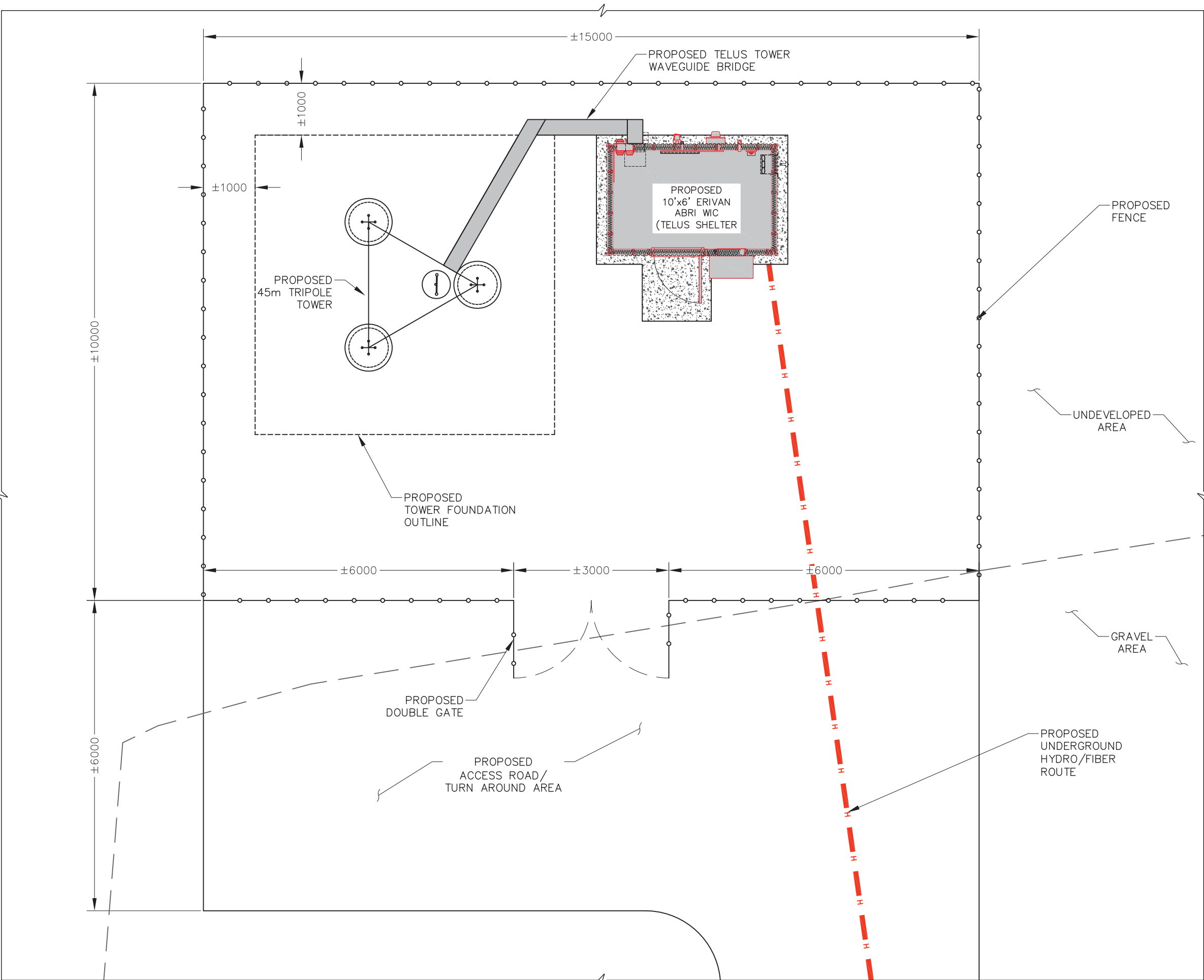
VANCOUVER - CALGARY - EDMONTON - WINNIPEG

LOCATION:
1834 TALBOT ROAD, KINGSVILLE, ON

TITLE:
SITE PLAN

PROJECT NAME: NEW TOWER BUILD	PROJECT NO: ON002959	DWG. NO: A02
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NOTES:

1. TELUS COMPOUND SIZE SUBJECT TO CHANGE BASED ON FINAL TOWER AND FOUNDATION DESIGN.

NOT FOR
CONSTRUCTION

CLIENT:

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LOCATION:
1834 TALBOT ROAD, KINGSVILLE, ON

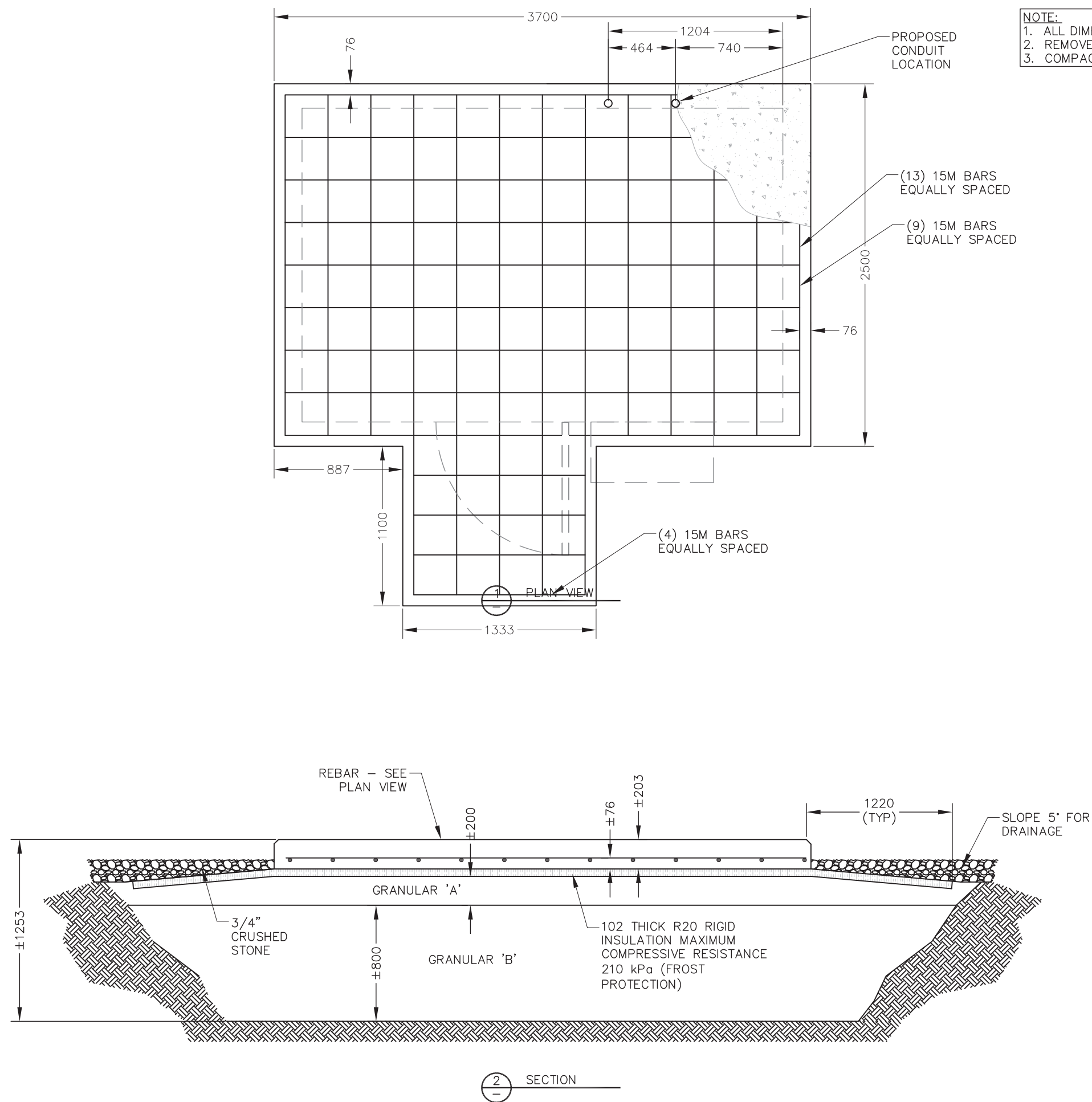
TITLE:
COMPOUND LAYOUT

PROJECT NAME:
NEW TOWER BUILD

PROJECT NO:
ON002959

DWG. NO:
A03

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NOTE:
1. ALL DIMENSIONS IN mm.
2. REMOVE TOP OF SOIL MATERIAL
3. COMPACT ALL LAYERS TO 95% SPD

- NOTES:
1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
 2. ALL WORK TO CONFORM TO LATEST TELUS SPEC.
 3. CONTRACTOR TO VERIFY ALL DIMENSIONS.
 4. ALL FOUNDATIONS MUST BE DESIGN IN ACCORDANCE WITH LATEST CSA STANDARDS AND REQUIREMENTS.
 5. FINAL DESIGN TO BE DETERMINED ON THE REVIEW OF THE GEOTECHNICAL REPORT.

NOT FOR
CONSTRUCTION

CLIENT:

CARRIER:

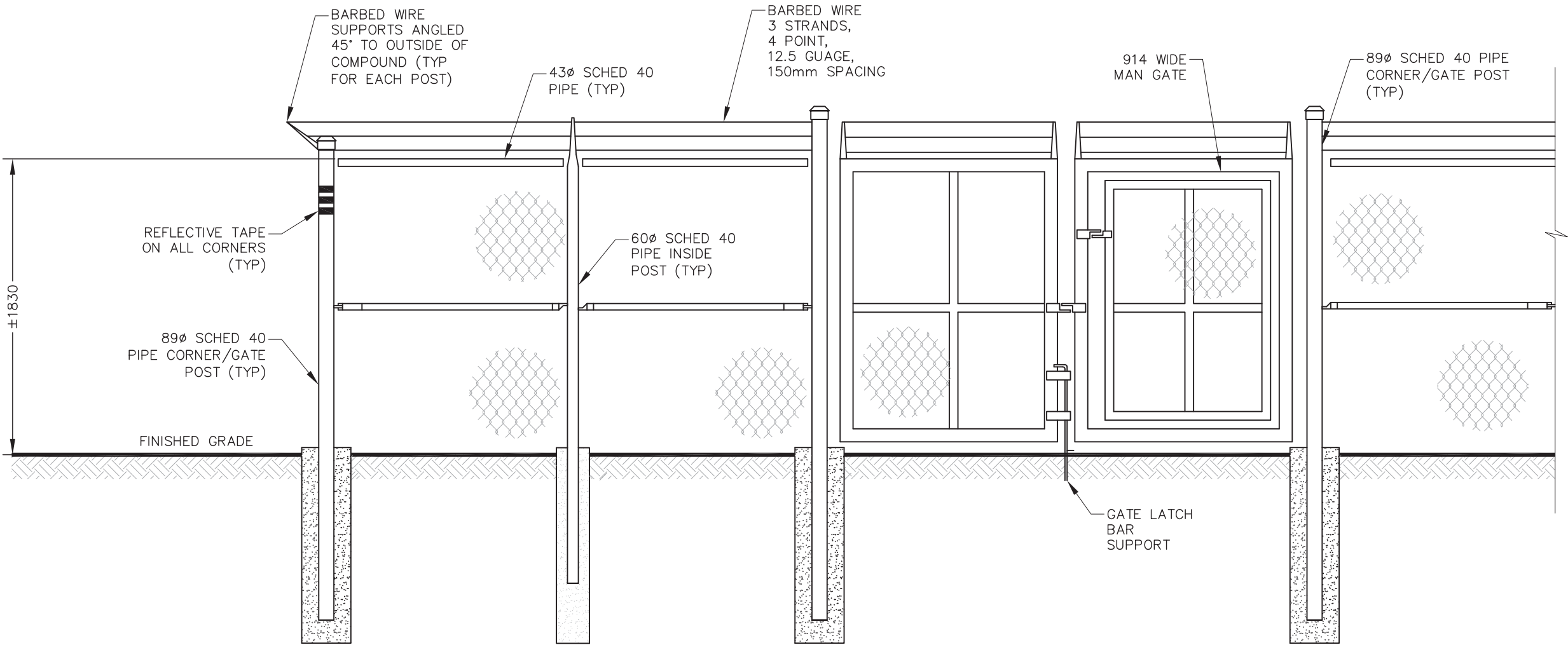


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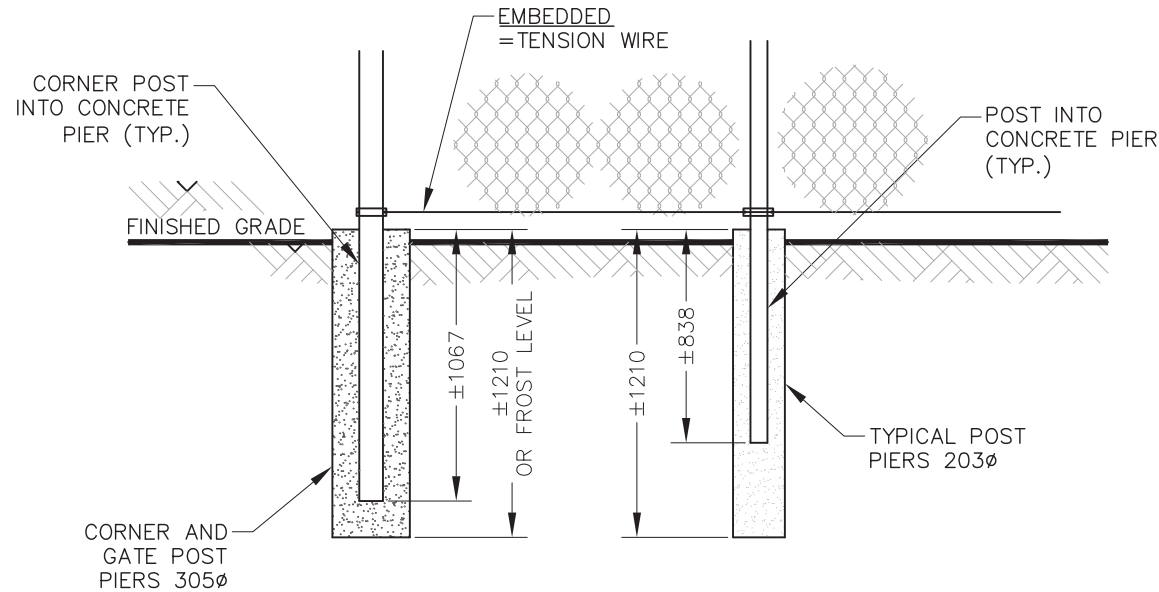
LOCATION: 1834 TALBOT ROAD, KINGSVILLE, ON	PROJECT NAME: NEW TOWER BUILD	PROJECT NO: ON002959	DWG. NO: A05
TITLE: SHELTER FOUNDATION			

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1 COMPOUND FENCE

- NOTES:
1. FENCE EMBEDMENT TO BE BASED ON SITE SPECIFIC SOIL CONDITIONS AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
 2. CONTRACTOR TO PROVIDE LEVEL TOP OF FENCE. BASE MAY VARY.



2 CONNECTION TO BASE DETAIL – GENERAL SOILS

- NOTES:
1. DO NOT SCALE DRAWINGS. ALL DIMENSIONS ARE IN MM UNLESS NOTED OTHERWISE.
 2. ALL WORK TO CONFORM TO LATEST TELUS SPEC.
 3. CONTRACTOR TO VERIFY ALL DIMENSIONS.
 4. ALL FOUNDATIONS MUST BE DESIGN IN ACCORDANCE WITH LATEST CSA STANDARDS AND REQUIREMENTS.
 5. FINAL DESIGN TO BE DETERMINED ON THE REVIEW OF THE GEOTECHNICAL REPORT.

NOT FOR CONSTRUCTION

CLIENT:

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VANCOUVER - CALGARY - EDMONTON - WINNIPEG

LOCATION:
1834 TALBOT ROAD, KINGSVILLE, ON

TITLE:
FENCE DETAILS

PROJECT NAME: NEW TOWER BUILD	PROJECT NO: ON002959	DWG. NO: A06
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GENERAL NOTES:

- THE MOST RECENT ISSUES OF ANY STANDARDS, CODES OR REGULATIONS MENTIONED IN THE DRAWINGS PROVIDED MUST BE USED, UNLESS INDICATED OTHERWISE IN THE SPECIFICATIONS.
- ALL WORKMANSHIP MUST CONFORM TO THE REQUIREMENTS OF THE TELUS SPECIFICATION, PROVINCIAL BUILDING CODE, APPLICABLE LOCAL BUILDING CODES, AND CSA STANDARDS.
- THE CONTRACTOR’S RESPONSIBILITY INCLUDES:
 - OBTAINING APPROVALS FROM ALL REQUIRED LOCAL AUTHORITIES.
 - SAFEGUARD ALL EXIST. STRUCTURES AFFECTED BY THIS CONSTRUCTION.
 - OBTAINING ALL FIELD MEASUREMENTS REQUIRED FOR FABRICATION.
- PRESERVE FIRE RATING WHEN PENETRATING, CEILINGS, FLOORS AND WALLS.
- DRAWINGS ARE NOT TO BE SCALED.
- ADEQUATE PROTECTION (PLYWOOD SHEETS) MUST BE PROVIDED BY THE CONTRACTOR ON THE EXISTING ROOF FOR THE ENTIRE DURATION OF CONSTRUCTION, TO AVOID DAMAGE TO THE EXISTING ROOFING. CONSTRUCTION LOADS MUST NOT EXCEED A CONCENTRATED LOAD OF 1.3kN OR UNIFORM DISTRIBUTED LOAD OF 1.0 kPa.
- ALL SHOP AND INSTALLATION DRAWINGS MUST BE SUBMITTED TO ROEHAMPTON COMMUNICATIONS LTD. BY THE CONTRACTOR, FOR REVIEW PRIOR TO FABRICATION OF THE MATERIALS.
- CORE DRILLING IN AREAS OCCUPIED BY TENANTS SHALL BE COORDINATED WITH THE BUILDINGS OWNER/MANAGER, AND MAY BE REQUIRED TO BE COMPLETED OUTSIDE OF NORMAL WORKING HOURS. SERVICES DAMAGED MUST BE REPAIRED BY THE CONTRACTOR, AT HIS OWN EXPENSE.
- CORE DRILLING MUST NOT BE DONE UNTIL AN X–RAY INSPECTION PAID FOR BY THE CONTRACTOR, HAS BEEN COMPLETED TO DETERMINE THE PROPER LOCATION FOR THE PENETRATION. CORE DRILLING IS NOT ALLOWED IN COLUMN CAP AREAS.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND DETAILS ON THE STRUCTURAL DRAWINGS FOR COMPATIBILITY WITH ARCHITECTURAL AND OTHER CONSULTANTS’ DRAWINGS BEFORE COMMENCING WITH THE WORK.
- THE CONTRACTOR SHALL INFORM THE ENGINEER IN WRITING DURING THE BIDDING PERIOD OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN SPECIFICATIONS, UPON RECEIPT OF SUCH INFORMATION THE ENGINEER WILL PROVIDE ADDITIONAL INSTRUCTIONS, ANY SUCH DISCREPANCY, OMISSION OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND CORRECTIVE WORK SHALL BE PERFORMED AS DIRECTED BY THE ENGINEER.
- ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
- ENGINEERING SERVICES PRESENTED ON THESE DRAWINGS ARE FOR PERMANENT STRUCTURE ONLY, THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING REQUIRED FOR STRUCTURE STABILITY AND FOR CONSTRUCTION LOADING UNTIL THE PROJECT IS COMPLETED.

CONCRETE NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, AND APPLICABLE STANDARDS.
- REINFORCING STEEL MUST BE GRADE 400 DEFORMED BARS TO CAN/CSA G30.18, UNLESS NOTED OTHERWISE. CONCRETE COVER TO BE 3” (MIN.)
- WELDED STEEL WIRE FABRIC MUST HAVE A MINIMUM YIELD STRENGTH OF 450 MPa AND CONFORM TO CSA G30.5. (PROVIDE IN FLAT SHEETS ONLY)
- BEND AND DETAIL REINFORCING STEEL AS INDICATED IN THE REINFORCING STEEL MANUAL OF STANDARD PRACTICE BY THE REINFORCING STEEL INSTITUTE OF CANADA.
- CAST IN PLACE CONCRETE TO HAVE A 28 DAY MINIMUM COMPRESSIVE STRENGTH OF 30 MPa UNLESS NOTED OTHERWISE.
- SLUMP AT POINT OF DISCHARGE TO BE 75mm.
- ALL CONCRETE EXPOSED TO FREEZING AND THAWING OR DE–ICING CHEMICALS MUST CONTAIN ENTRAINED AIR.
- ALL CONCRETE EXPOSED CORNER EDGES SHALL BE CHAMFERED 1” x 1”.
- ALL GROUT USED SHALL BE NON–SHRINKING, INSTALLED TO MANUFACTURES INSTRUCTIONS, UNLESS SPECIFIED OTHERWISE.
- NO MORE THAN 120 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY THE TESTING AGENCY AND THE STRUCTURAL ENGINEER, CONTRACTOR’S SUPERINTENDENT TO MONITOR THIS PERIOD, TESTING AGENCY HAS THE AUTHORITY TO REJECT CONCRETE IF NOT IN ACCORDANCE WITH SPECIFICATIONS.

STEEL STUDS AND JOISTS NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE PROVINCIAL BUILDING CODES, APPLICABLE BY–LAWS AND LOCAL CODES.
- MATERIAL TO CONFORM TO ASTM A446 STANDARD SPECIFICATION FOR STEEL SHEET, HOT DIP GALVANIZED.
- BRIDGING TO BE PROVIDED AT 5ft c/c FOR STUDS, UNLESS INDICATED OTHERWISE.
- BRIDGING TO BE PROVIDED @ 7ft c/c FOR JOISTS, UNLESS INDICATED OTHERWISE.
- INSTALLATION MUST MEET THE REQUIREMENTS SET OUT IN THE MANUFACTURERS SPECIFICATIONS AND REQUIREMENTS.

STRUCTURAL STEEL NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, AND APPLICABLE STANDARDS AS LISTED IN CORRESPONDING SECTION.
- ALL STRUCTURAL STEEL TO CONFORM TO CAN3–G40.21, GRADE 300W, RHSS TO MEET REQUIREMENTS OF G40.21, CLASS H, GRADE 350W.
- ALL WELDING SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE CSA STANDARDS AND PERFORMED BY A FABRICATOR CERTIFIED TO CSA W47.1 TO DIVISION 1 OR 2.1.
- ALL BOLTS TO CONFORM TO ASTM SPECIFICATION A325, PROPERLY SIZED FOR THE APPLICATION, AND THE THREADS TO BE EXCLUDED FROM THE SHEAR PLANE.
- HOLES ADDITIONAL TO THOSE SHOWN ON STRUCTURAL DRAWINGS ARE NOT PERMITTED IN ANY STRUCTURAL MEMBER.
- ALL STRUCTURAL STEEL TO BE HOT DIP GALVANIZED.
- APPLY (3) COATS OF ZINC RICH PAINT TO ALL DAMAGED GALVANIZED SURFACES.
- FIELD MODIFICATIONS SUCH AS DRILLING OF HOLES AND WELDING TO BE AVOIDED, UNLESS SPECIFIED OTHERWISE.
- MINIMUM DISTANCE FROM HOLE CENTER TO EDGE SHALL BE:

BOLT DIAM.	SHEARED EDGE	ROLLED EDGE	HOLE
1/2”ø	25 mm	19 mm	14.3ø mm
5/8”ø	30 mm	22 mm	17.5ø mm
3/4”ø	35 mm	26 mm	20.6ø mm

NUT ROTATION FROM SNUG–TIGHT CONDITION* (TURN–OF–NUT– PRETENSION)		
BOLT LENGTH**	DISPOSITION OF OUTER FACE OF BOLTED PARTS	
	BOTH FACES NORMAL TO BOLT AXIS OR ONE FACE NORMAL TO AXIS AND OTHER FACE SLOPED 1:20 MAX. (BEVELED WASHERS NOT USED)***	BOTH FACES SLOPED 1:20 MAX. FROM NORMAL TO BOLT AXIS (BEVELED WASHERS NOT USED)***
<= 4x BOLT DIA.	1/3 TURN	3/4 TURN
> 4x BOLT DIA. <= 8x BOLT DIA. OR 200mm	1/2 TURN	
> 8x BOLT DIA. OR 200mm	2/3 TURN	
<p>* TABLE 8 OF CAN/CSA–S16–14 NUT ROTATION IS RELATIVE TO BOLT REGARDLESS OF WHETHER THE NUT OR BOLT IS TURNED. TOLERANCE OF ROTATION ±30°. THIS TABLE APPLIES TO COARSE–THREADED HEAVY–HEX STRUCTURAL BOLTS OF ALL SIZES AND LENGTHS USED WITH HEAVY–HEX SEMI–FINISHED NUTS.</p>		
<p>** BOLT LENGTH IS MEASURED FROM THE UNDERSIDE OF THE HEAD TO THE EXTREME END OF POINT.</p>		
<p>*** BEVELLED WASHERS ARE NECESSARY WHEN A490M OR A490 BOLTS ARE USED.</p>		

ANTENNA AND WAVEGUIDE NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION.
- INSTALL WAVEGUIDE TO MANUFACTURERS INSTRUCTIONS. (SUPPORT INTERVALS TO BE 1 METER MAXIMUM).
- ALL AREAS AFFECTED BY ROUTING OF WAVE–GUIDE OR CONDUITS MUST BE REHABILITATED TO ORIGINAL CONDITION UPON COMPLETION.

ROOFING NOTES:

- BEFORE STARTING WORK ON ROOF, CONTRACTOR IS TO COMPLETE A ”CUT TEST”, TO DETERMINE THE CONDITION AND TYPE OF THE EXISTING ROOFING.
- REMOVE EXISTING ROOFING AS REQUIRED TO ALLOW FOR THE INSTALLATION OF RHSS AND BASE PLATE, KEEP OPENING TO A MINIMUM.
- ONCE INSTALLATION IS COMPLETE, MAKE GOOD THE EXISTING ROOFING & INSULATION.
- PROVIDE SUFFICIENT TEMPORARY PROTECTION OF ROOF PENETRATIONS, PRIOR TO ROOFING REINSTATEMENT, TO PREVENT WATER FROM ENTERING THE EXISTING BUILDING.
- ALL WORK SHALL CONFORM TO ALL AUTHORITIES HAVING JURISDICTION AND TO THE TELUS SPECIFICATION. WORKMANSHIP TO PROVIDE A CLEAN APPEARANCE OF THE FINISHED WORK.

INVERTED ROOF

- WHERE EXISTING ROOFING IS BITUMEN OR ASPHALTIC BASED, SUPPLY A NEW 3FT x 3FT RUBBERIZED MEMBRANE. TORCH DOWN TO EXISTING. AT UNDERSIDE OF BASE PLATE PROVIDE RUBBERIZED PLASTIC CEMENT, COMPATIBLE WITH MEMBRANE. WATERPROOF ANCHOR BOLT AREAS.

STANDARD BUILT UP ROOF

- CUT OPENING IN ROOF ADEQUATE TO ALLOW FOR THE INSTALLATION OF THE RHSS AND BASE PLATE. FOLLOWING INSTALLATION, PROVIDE 22 Ga. GALVANIZED SHEET METAL, PITCH POCKET, 18” SQUARE x 5” HIGH. FILL AFTER ASSEMBLY IS COMPLETE. FLASH INTO EXISTING WATERPROOFING ON ROOF.

WOOD FRAMING & STRUCTURAL TIMBER NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, PROVINCIAL BUILDING CODES AND APPLICABLE STANDARDS.
- NAILS TO CONFORM TO CSA B111–1974. GALVANIZED FOR EXTERIOR LOCATIONS AND TREATED LUMBER. NAILING OF FRAMING PER OBC TABLES 9.23.3A & B, UNLESS SPECIFIED OTHERWISE.

MASONRY NOTES:

- ALL WORKMANSHIP MUST BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TELUS SPECIFICATION, PROVINCIAL BUILDING CODES .
- UTILIZE TYPE 'S' MORTAR FOR ALL INTERIOR AND EXTERIOR LOAD BEARING WALLS, CONFORM TO CSA STANDARD A179.
- ALL METAL MATERIALS USED IN MASONRY TO BE HOT DIP GALVANIZED.
- VERTICAL MASONRY CONTROL JOINTS TO BE INSTALLED AT INTERVALS LESS THAN 3 TIMES THE WALL HEIGHT WITH MAXIMUM SPACING OF 39’–4”.
- PROVIDE ALL REQUIRED TEMPORARY SHORING TO EXISTING MASONRY WALLS WHEN CUTTING NEW OPENINGS.

FIRE STOPPING & SEALING NOTES:

- ALL EXISTING AND NEW OPENINGS LOCATED IN THE EQUIPMENT ROOM AND ALONG CABLE ROUTINGS, MUST BE SEALED AND FIRE STOPPED WITH ONE OR TWO HOUR FIRE RATING AS REQUIRED. USING TREMCO FIRESTOP SYSTEM.

CLIENT:

CARRIER:



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NO.	BY	DESCRIPTION	DATE





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40 ADVANCE RD.
TORONTO, ON M8Z-2T4
VANCOUVER - CALGARY - EDMONTON - WINNIPEG

LOCATION: 1834 TALBOT ROAD, KINGSVILLE, ON			
TITLE: GENERAL NOTES			
PROJECT NAME: NEW TOWER BUILD		PROJECT NO: ON002959	DWG. NO: N01



PHOTOGRAPHIC SIMULATION



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05316° W 82.66113°

STATUS

BEFORE

- SITE NOTES:
1. PHOTOGRAPH TAKEN: NOV 2023 BY GOOGLE STREET VIEW

2. VIEWED FROM TALBOT RD, FACING NORTH, TOWARDS PROPOSED TELUS TOWER LOCATION.

3. THE PHOTOGRAPH LOCATION IS APPROXIMATELY 170 METERS FROM THE PROPOSED TOWER LOCATION.

- GENERAL NOTES:
1. UNLESS OTHERWISE SPECIFIED IN THE SITE NOTES, ALL PHOTOS ARE TAKEN AT A HORIZONTAL PLANE OF SIGHT OF AN AVERAGE PERSON.



2. PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN.

3. CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.



PHOTOGRAPHIC SIMULATION



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05316° W 82.66113°

STATUS

AFTER

- SITE NOTES:
1.

PHOTOGRAPH TAKEN: NOV 2023 BY GOOGLE STREET VIEW
2.

VIEWED FROM TALBOT RD, FACING NORTH, TOWARDS PROPOSED TELUS TOWER LOCATION.
3.

THE PHOTOGRAPH LOCATION IS APPROXIMATELY 170 METERS FROM THE PROPOSED TOWER LOCATION.

- GENERAL NOTES:
1.

UNLESS OTHERWISE SPECIFIED IN THE SITE NOTES, ALL PHOTOS ARE TAKEN AT A HORIZONTAL PLANE OF SIGHT OF AN AVERAGE PERSON.
2.



PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN.
3.

CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.



PHOTOGRAPHIC SIMULATION



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05497° W 82.67183°

STATUS

BEFORE

SITE NOTES:

1. PHOTOGRAPH TAKEN: NOV 2023 BY GOOGLE STREET VIEW
2. VIEWED FROM UNION AVE, FACING EAST, TOWARDS PROPOSED TELUS TOWER LOCATION.
3. THE PHOTOGRAPH LOCATION IS APPROXIMATELY 870 METERS FROM THE PROPOSED TOWER LOCATION.



GENERAL NOTES:

1. UNLESS OTHERWISE SPECIFIED IN THE SITE NOTES, ALL PHOTOS ARE TAKEN AT A HORIZONTAL PLANE OF SIGHT OF AN AVERAGE PERSON.
2. PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN.
3. CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.



PHOTOGRAPHIC SIMULATION



LEGEND	GEOGRAPHIC COORDINATES
 TOWER LOCATION	N 42.05460° W 82.66136°
 PHOTO LOCATION	N 42.05497° W 82.67183°

STATUS

AFTER

- SITE NOTES:
1.

PHOTOGRAPH TAKEN: NOV 2023 BY GOOGLE STREET VIEW
2.

VIEWED FROM UNION AVE, FACING EAST, TOWARDS PROPOSED TELUS TOWER LOCATION.
3.

THE PHOTOGRAPH LOCATION IS APPROXIMATELY 870 METERS FROM THE PROPOSED TOWER LOCATION.

- GENERAL NOTES:
1.

UNLESS OTHERWISE SPECIFIED IN THE SITE NOTES, ALL PHOTOS ARE TAKEN AT A HORIZONTAL PLANE OF SIGHT OF AN AVERAGE PERSON.
2.

PHOTOGRAPHIC SIMULATION IS A DIGITAL RENDERING OF PROPOSED INSTALLATION AND IS USED FOR A GENERAL ILLUSTRATIVE PURPOSE, FINAL INSTALLATION MAY VARY BASED ON ACTUAL DESIGN.
3.

CURRENT SITE CONDITIONS DEPICTED IN PHOTOS WERE NOT ALTERED IN ANY ADDITIONAL WAY OTHER THAN PROPOSED INSTALLATION.

LAND
REGISTRY
OFFICE #12

75146-0072 (LT)

PAGE 1 OF 2
PREPARED FOR Ashley01
ON 2024/09/03 AT 15:54:51

* CERTIFIED IN ACCORDANCE WITH THE LAND TITLES ACT * SUBJECT TO RESERVATIONS IN CROWN GRANT *

PROPERTY DESCRIPTION: PT LT 11 CON 2 EASTERN DIVISION GOSFIELD PT 2 12R7560, PT 1 12R8513 EXCEPT PT 2 12R8513; S/T R1512287; KINGSVILLE

PROPERTY REMARKS: RECENTLY 01486-0819. PLANNING ACT CONSENT AS IN R986454.

ESTATE/QUALIFIER:
FEE SIMPLE
LT CONVERSION QUALIFIED

RECENTLY:
FIRST CONVERSION FROM BOOK & PIN

PIN CREATION DATE:
2002/08/26

OWNERS' NAMES

ZIMMER, ERIC
ZIMMER, CINDY

CAPACITY SHARE

JTEN
JTEN

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
** PRINTOUT INCLUDES ALL DOCUMENT TYPES (DELETED INSTRUMENTS NOT INCLUDED) **						
**SUBJECT, ON FIRST REGISTRATION UNDER THE LAND TITLES ACT, TO:						
** SUBSECTION 44(1) OF THE LAND TITLES ACT, EXCEPT PARAGRAPH 11, PARAGRAPH 14, PROVINCIAL SUCCESSION DUTIES *						
** AND ESCHEATS OR FORFEITURE TO THE CROWN.						
** THE RIGHTS OF ANY PERSON WHO WOULD, BUT FOR THE LAND TITLES ACT, BE ENTITLED TO THE LAND OR ANY PART OF						
** IT THROUGH LENGTH OF ADVERSE POSSESSION, PRESCRIPTION, MISDESCRIPTION OR BOUNDARIES SETTLED BY						
** CONVENTION.						
** ANY LEASE TO WHICH THE SUBSECTION 70(2) OF THE REGISTRY ACT APPLIES.						
**DATE OF CONVERSION TO LAND TITLES: 2002/08/26 **						
12R7560	1984/06/08	PLAN REFERENCE				C
R982322	1986/08/20	LEASE			RAM PETROLEUMS LTD.	C
REMARKS: & GRANT						
12R8513	1986/09/19	PLAN REFERENCE				C
12R18796	2001/05/10	PLAN REFERENCE				C
R1512287	2001/05/11	TRANSFER EASEMENT	\$1	ZIMMER, ERIC	THE TOWN OF KINGSVILLE THE MUNICIPALITY OF LEAMINGTON THE TOWN OF ESSEX THE TOWN OF LAKESHORE	C
REMARKS: PART 1 12R-18796						
CE535597	2012/09/07	TRANSFER	\$200,000	ZIMMER, ERIC	ZIMMER, ERIC ZIMMER, CINDY	C

REG. NUM.	DATE	INSTRUMENT TYPE	AMOUNT	PARTIES FROM	PARTIES TO	CERT/ CHKD
CE646273	2015/02/03	NO SEC INTEREST	\$1	1256533 ONTARIO LTD.		C
CE1132989	2023/05/04	NO SEC INTEREST	\$23,270	FINANCEIT CANADA INC.		C
CE1168849	2024/01/31	CHARGE	\$1,100,000	ZIMMER, CINDY ZIMMER, ERIC	INVESTOR SUITE INC.	C
CE1168926	2024/01/31	POSTPONEMENT		FINANCEIT CANADA INC.	INVESTOR SUITE INC.	C
REMARKS: CE1132989 TO CE1168849						

Site No.: ON002959-1

SCHEDULE "D"
AUTHORIZATION LETTER

FROM: Eric Zimmer and
Cindy Zimmer, as Joint Tenants
1834 Talbot Road
Ruthven, Ontario N0P 2G0

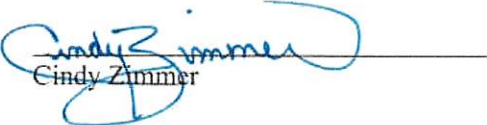
TO WHOM IT MAY CONCERN:

RE: Property Identifier 75146-0072 (LT#)
Site: ON002959-1

We, Eric Zimmer and Cindy Zimmer, the owner of the above mentioned property, hereby give TELUS Communications Inc.(TELUS) and its agents permission to act as our agent to acquire the necessary permits, drawings and/or buildings structural blue-prints, hydro information from the public utility and information from the municipality or other authorities concerned, needed to approve the construction of the telecommunications site at the address indicated above and as shown on the attached plans.

Sincerely,


Eric Zimmer


Cindy Zimmer



Policy for the Development and/or Redevelopment of Communication and Broadcasting Facilities

Purpose:

To establish standard procedures which will enable the Municipality:

- To effectively participate in the review and public consultation process for the consideration of telecommunication and broadcasting facilities; &
- To formulate municipal comments based on acceptable goals and standards.

Goals:

- To facilitate cooperation between the proponent and the Town of Kingsville in effort to allow for the siting of facilities which balance the demand for service and the impact on the community.
- To provide guidance and direction for the appropriate siting of facilities to locations which meet the following criteria in order of priority of land use:
 1. sites co-located on existing structures in non-residential areas;
 2. sites outside of the sight lines of Lake Erie and Jack Miner Bird Sanctuary;
 3. sites outside of planned settlement areas;
 4. sites owned by the municipality;
 5. sites co-located on existing structures in non-agricultural areas;
 6. sites co-located on existing structures in settlement and residential areas; &
 7. new structures on land owned by private land owners.
- To provide high design standards which recognize local considerations for natural heritage features and local aesthetics including:
 1. the placement, style and colour of all elements of the facility which blend with the surrounding environment;
 2. the protection of the existing natural environment;
 3. the enhancement of the natural landscape with plantings and visual screens;
 4. maintaining appropriate setbacks from property lines and adjacent public uses (schools, community centres, day cares, etc.)
 5. maintaining safe vehicular access and site lines onto public roads
- To provide an opportunity for public consultation and input through the approved procedure for the review and consideration of telecommunication and broadcasting facilities within the Town of Kingsville.
- To recognize the final approval authority of Industry Canada for the consideration of radio-communication, telecommunication and broadcasting facilities.

Procedure

Phase 1 – Pre-consultation and Submission Requirements

1. Inquiries with respect to new communication towers or modifications to existing towers where municipal consultation is required shall be directed to the Planning Department for pre-consultation.
2. Proponents will be provided with the following from the Planning Department during pre-consultation:
 - a. A copy of the approved *Communication and Broadcasting Facility Policy*;
 - b. *Site Plan Application, Fee Schedule, Information and Drawing Submission Requirements*; &
 - c. List of Agencies to be consulted by the proponent during public consultation process.
 - ☐ County of Essex – Engineering Department
 - ☐ Essex Region Conservation Authority
 - ☐ Wind Power & Renewable Energy Proponents
 - ☐ Ministry of Transportation (within 400 metres of Provincial Highway)
 - ☐ Transport Canada
 - ☐ Clerk of any abutting municipality within 120 metres of proposed facility
 - ☐ Other: _____
3. Upon submission of the required materials by the proponent, the Planner will undertake the following:
 - a. Forward the application to the Planning Management Review Group for review and provide preliminary site analysis and comments to proponent;
 - b. Generate and provide circulation list to proponent for distribution of information package;
 - c. Provide proponent with the date of next scheduled Public Open House of the Planning Advisory Committee.
4. Proponents shall deliver via regular pre-paid post to every address listed on the circulation list, the notification package containing the information detailed in Industry Canada's written *Public Consultation Process – Public Notification Package*, no less than 30 days prior to the date of the Public Open House to be hosted by the Planning Advisory Committee;
5. Receive *Letter of Undertaking* from the proponent to construct facility in accordance with the information provided and in consideration of the comments received from the Planning Management Review Committee and members of the public at the Public Open House;
6. Presentation of the following to Council:
 - i. Summary report including public comments;
 - ii. Letter of Undertaking by proponent;
7. Forward Council Resolution of Support to advise proponent:
 - i. Whether in the opinion of the municipality, sufficient public consultation was conducted;
 - ii. Whether the siting, design or any anticipated impacts by the community will support the recommendation.
8. Upon issuance of appropriate licencing by Industry Canada, the proponent shall submit the necessary building permit application, fee and information requirements to the Building Department prior to the commencement of construction.

SUBMISSION REQUIREMENTS

1. Completed Site Plan Application, including authorization of land owner.
2. A site plan drawn to scale showing the extent of the subject property, site grading, the location of existing property lines, existing or proposed buildings, fences, buffering, existing and proposed landscaping, access, parking, and the type and height of the proposed tower structure. Any significant vegetation on a particular site should be inventoried on the plan. The site plan shall be formatted to print onto 11 x 17 landscape paper.

3. Two sets of stamped engineered drawings to identify the tower design. In the case of roof-mounted towers, a structural engineer's report may also be required to address the structural effects on the existing building.
4. A key map showing the location of the tower installation and nearby residential dwellings and/or residential zones.
5. A statement from the Proponent (carrier) to indicate the need for the proposed tower height.
6. Written documentation from the Proponent (carrier) outlining the steps taken by the Proponent to investigate all non-tower and co-location options and why a tower option is the only viable alternative.
7. A cheque payable to the Town of Kingsville in the amount as set out in the Municipal Fees Schedule for the processing of Site Plan Applications.

Phase 2 – Public Review Process

A. Exemptions to Public Consultation

1. For freestanding towers, which meet the following criteria, public consultation is **not** required:
 - Maintenance of existing radio apparatus including the antennae system, transmission line, mast, tower or other antennae-supporting structure;
 - Addition or modification of an antennae system (including improving the structural integrity of its integral mast to facilitate sharing), the transmission line, antenna supporting structure or other radio apparatus to existing infrastructure, a building, water tower, etc., provided the addition or modification does not result in an overall height increase above the existing structure of 25% of the original structure's height.
 - Maintenance of an antennae system's painting or lighting in order to comply with Transport Canada's requirements
 - Installation for a limited duration (not more than 3 months) of an antennae system used for a special event or to support local, provincial, territorial or national emergency operations during the emergency and is removed within 3 months after the emergency or special event.
2. In cases where no public consultation is required, the application shall be brought forward to the Planning Management Review Committee within 2 weeks of receiving all required submissions from the Proponent. Upon review by the Planning Management Review Committee, the request shall be presented to Council together with the Letter of Undertaking and a recommendation regarding a resolution of support.

B. Public Consultation Required

For proposed towers or alterations to existing towers that do not meet the above-noted exemption criteria, the proponent shall give notice by regular mail to all owners of properties within a radius of 120 metres of the subject property.

In addition to the requirements of Industry Canada's *Public Notification Package*, the notice shall include the following information:

- Key map showing the proposed location of the tower on the subject site;
- physical details of the tower including its height, colour, type, design,
- sample photo or illustration of the proposed tower;
- the date, time and location of the public open house as established by the Planning Department, &
- the name and telephone number of a contact person employed by the Proponent, as well as a Municipal contact person.

If issues of concern are raised through the consultation process, they will be discussed at the Public Open House in order to seek a mutual resolution. If necessary, representatives from Industry Canada may be consulted to assist with the resolution.

Where Towers are proposed to be constructed in excess of 100 metres in height, notice will be published in local newspaper(s) that in the opinion of the Planning Department is of sufficiently general circulation in the area of the proposed facility, in addition to the provision of the Public Notification Package to all property owners within 300 metres of the subject property.

Letter of Undertaking

The proponent will be required to provide the municipality with a standard Letter of Undertaking with respect to the installation of the proposed facility. The Letter of Undertaking will confirm the proponent's intention to address any changes necessary to address reasonable and relevant concerns of the municipality and the public and include a site plan acceptable to the municipality.

Resolution of Support

Subsequent to the review of the Planning Management Review Group and the Public Open House (if required), the Planning Department will prepare a summary report to Council. The report will include a summary of matters acknowledged by the Planning Management Review Group, concerns received at the Public Open House and the standard Letter of Undertaking.

Upon Council's direction, a letter will be provided to the proponent stating that the proponent is required to enter into the standard Letter of Undertaking with the municipality. The letter shall also include a resolution of support, provided Council is satisfied that adequate public consultation was conducted and that land use impacts have been addressed.

It is expected that applications for the review of telecommunication and broadcasting facilities shall be concluded within 120 days of receipt of a complete application, including submission of all materials required by this policy.

PETITION REGARDING PROPOSED TELUS TELECOMMUNICATION TOWER AT 1834 TALBOT ROAD KINGSVILLE, ONTARIO.

We the residents in close proximity and under threat oppose the construction of a telecommunication tower at 1834 Talbot Road for the following reasons.

Whereas:

- Wi-Fi systems and 5G technology seem to be especially harmful to newborns, children, people who are ill and seniors. It has been proven by L.Lloyd Morgan, Santosh Kesari and Devra Lee Davis in their study "Why children absorb more microwave radiation than adults" that children are more vulnerable to the effects of exposure to radiofrequency/microwave radiation due to their thin skulls and developing brains. **There is a church, daycare, school and library all located within 250 - 600 meters of the proposed tower site;**
- Wi-Fi systems and 5G technology have very harmful effects on human, animal and environmental health. **There is a large body of growing evidence that human exposure to radio frequency radiation (RFR) from cellular phone towers causes negative health effects including headache, brain fog, memory changes (Alzheimer's disease), dizziness, tremors, depressive symptoms, fatigue, sleep disorders and increased incidences of cancer in individuals in close proximity to a tower.**
- In 2011 wireless RFR was classified as a carcinogen by the World Health Organization;
- Cell tower radiation is classified as high risk by insurance companies;
- The International Association of Fire Fighters (IAFF) opposes the installation of cellular towers and antennas on their fire halls for health reasons;
- Wi-Fi systems and 5G technology disrupt the biological activities and upset the delicate balance of our ecosystem. **This area is home to a diverse range of wildlife including trees, plants, pets, birds and bees. The Town of Kingsville became a Bee City by Council resolution on March 1, 2022 and there is an existing apiary (bee yard) within 75 meters (250') of the proposed tower site.**
- Innovation, Science and Economic Development Canada recommends a minimum distance of 240 meters (787') or six times the tower height from residential uses. The EMF Center suggests a minimum safety distance of approximately 400 meters (1320') based on studies showing increased cancer risks closer to towers. **There is existing infrastructure, the Leamington water tower, within 1km of the proposed location.**

As the notice documentation provided does not reference any health issues or any other negative effects from the tower construction and operation, we, the residents, must assume that it is safe. Therefore, we are requesting that both Land Solutions Inc. and TELUS Communications Inc. (TELUS) provide each undersigned petitioner with a written signed document stating that there

will be no adverse health effects to them, their family and their pets as a result of the construction and operation of this tower at 1834 Talbot Road, presently and in the future.

We, the undersigned, concerned residents, call to halt the construction of a TELUS telecommunication tower at the proposed location and request that the tower alternatively be constructed at 2021 Albuna Townline (County Rd. 31), Kingsville, ON (Old County Landfill Site).

NAME	ADDRESS	SIGNATURE
HARRY KELLER	1810 Talbot Rd	Harry Keller
Mina Keller	1810 Talbot Rd.	Mina Keller
Alicia Keller	1810 Talbot Road	Alicia Keller
Jeremy Chobroda	1794 Talbot Rd	Jeremy Chobroda
Stacie Chobroda	1794 Talbot Rd	Stacie Chobroda
Brandey Froom	1784 Talbot Rd	Brandey Froom
Nelson Andricade	1784 Talbot Rd	Nelson Andricade
MICHAEL DIMENNA	1766 TALBOT RD	MICHAEL DIMENNA
Tony DIMENNA	1766 TALBOT RD	Tony DIMENNA
Timothy Balde	1776 Talbot Rd	Timothy Balde
Willy Guenther	1684 Elgin	Willy Guenther
Helen Newfeld	1791 Talbot Rd	Helen Newfeld
Jake Newfeld	1791 Talbot Rd.	Jake Newfeld
MARY PORRONE	1801 TALBOT Rd	MARY PORRONE
PINO PORRONE	1801 TALBOT Rd	PINO PORRONE
DINO DIMENNA	1750 TALBOT RD.W.	DINO DIMENNA
Vera Dimenna	1750 TALBOT RD.W.	Vera Dimenna
HEATHER CRUMP	1629 TALBOT ST W.	HEATHER CRUMP
GREG CAVAL	1629 TALBOT ROW	GREG CAVAL
Jan Cabral	1802 Talbot Rd.	Jan Cabral
Anne Daniels	1802 Talbot Rd	Anne Daniels
Christina Borrone	1811 TALBOT Rd	Christina Borrone
Thomas Munn	1811 TALBOT Rd	Thomas Munn
Abram Panner	1846 Talbot Rd	Abram Panner
Vicki Fox	1864 Talbot Rd	Vicki Fox

NAME	ADDRESS	SIGNATURE
Karen Pearce	1872 Talbot RD WEST KINGSVILLE	Karen Pearce
JAMES PEARCE	1872 TALBOT RD W KINGSVILLE	James Pearce
Will Kassen	1886 Talbot	Will Kassen
Luciano Porcino	1855 Talbot	Luciano Porcino
Guido Porcino	1875 Talbot.	Guido Porcino
STEVEN SCHROETER	1841 TALBOT RD.	Steven Schroeter
TAMMY STOWE	1841 TALBOT Rd W.	Tammy Stowe
Kaddi Quick	1908 Dolce Vita Ave	Kaddi Quick
Brandon Taggart	1928 Villacanal Drive	Brandon Taggart
ZOLL VOROS	1940 VILLA CANAL DR	Zoll Voros
Denise Voros	1940 VILLA CANAL	Denise Voros
SHERLY CELIS	1929 VILLACANAL VN	Sherly Celis
ANDREW FIGUEROA	1921 VILLACANAL DR	Andrew Figueroa
Kelly Keenan	1896 VILLACANAL DR	Kelly Keenan
Praveen Periyasamy	1904 Villa Canal D	P. Praveen
Diyord	1900 Villa Canal Dr.	Diyord
Shawn Pearce	1917 Dolce Vita	Shawn Pearce
Diana Pearce	1917 Dolce Vita	Diana Pearce
Cherie Vior	1695 EGAN SI	Cherie Vior
Frank Coppola	39 Carter Ave. Leanington	Frank Coppola
Carol Wiens	1880 Talbot Rd	Carol Wiens
Harold Wiens	1880 Talbot Rd	Harold Wiens
Eric West	1871 Talbot	Eric West
Anna West	1871 Talbot Rd	Anna West
Giuliana Porcino	1855 Talbot Rd	Giuliana Porcino

NAME

ADDRESS

SIGNATURE

Sabrina Porrone

1855 Talbot RD.

Gina Porrone

1855 Talbot RD.

Cathy Porrone

1855 Talbot Rd

Pete Terchimb

1732 Villa Good Dr

Tom Lock

1916 Dolce Vita

Stephanne Frates Lock

1916 Dolce Vita



March 17, 2025

Colin Kelly
Town of Kingsville
2021 Division Road North
Kingsville, Ontario
N9Y 2Y9

Re: Site Plan Approval, SPA-2025-4, Telus

Please be advised that the County has reviewed the aforementioned application and the comments provide engineering-related related only. This application has not been reviewed from a planning perspective. The subject lands have frontage on County Road No. 34. The Applicant will be required to comply with the following County Road regulations:

This road was formerly King's Highway 3 until it was downloaded to the County of Essex. MTO procedures will be applied.

Based on the location of the proposed tower, the County would be supportive of the proposal. Permits are necessary for any changes to existing structures and entrances or the construction of new structures and entrances.

Any other works within the County right-of-way will require permits and approvals and are to be obtained from the County of Essex.

Should you require further information, please contact the undersigned by email at kbalallo@countyofessex.ca or by phone at extension 1564.

Regards,

A handwritten signature in black ink, appearing to read "Kristoffer Balallo".

Kristoffer Balallo
Engineering Technologist

☎ 519-776-6441
TTY 1-877-624-4832

📍 360 Fairview Ave. W.
Essex, ON N8M 1Y6

💻 countyofessex.ca

Date: July 14, 2025

To: Mayor and Council

Author: Dan Baughan, Engineering Technician

RE: 2025 Kingsville Roof Repairs Tender Award

RECOMMENDED ACTION

That the 2025 Kingsville Roof Repairs Tender (Contract #25-103) **be awarded** to Kingsville Roofing in the amount of \$347,000 (excluding HST) and the Mayor and Clerk **be authorized** to execute the requisite agreement;

And that Capital Accounts 01-178-360-72501 and 01-178-360-72502 **be combined** to facilitate:

- a. Lions Hall interior renovations.
- b. Lions Hall roof and HVAC replacements.
- c. Partial roof rehabilitation of Kingsville Arena Pavilion.
- d. Partial roof rehabilitation of the Ruthven Library/Daycare.

BACKGROUND

During the December 4th 2024 Budget Meeting, Council approved a number of capital projects two of which included the renovation of Lions Hall and other roofing repairs to several Town owned buildings. As a result, this tender had been advertised to the public seeking qualified contractors to perform the work.

As per the Kingsville Procurement Policy, the awarding of any tender exceeding \$250,000 requires Council approval. Below is a summary of tender results exceeding \$250,000 as well as a recommendation for award.

DISCUSSION

A tender was advertised on June 16th for the 2025 Kingsville Roof Repairs. Included in this tender is the following:

- Complete roof replacement of the Lions Hall Building
- Partial roof repair and rehabilitation of the Kingsville Arena Pavilion
- Partial roof repair and rehabilitation of the Ruthven Library/Daycare

This tender closed on June 30th with 4 bid submissions. The bid results are as follows (excluding HST):

Contractor / Vendor Name	Bid Amount
Kingsville Roofing	\$347,000
Accent Roofing & Siding	\$357,700
Gillett Roofing Inc.	\$359,500
Horizon Roofing Ltd.	\$361,600

The recommendation is to proceed with Kingsville Roofing.

FINANCIAL CONSIDERATIONS

\$350,000 is approved in the 2025 Capital Budget for renovations at Lions Hall (Account number 01-178-360-72501). The budgeted renovations include roof replacement, HVAC, and interior alterations.

\$250,000 is approved in the 2025 Capital Budget (Account number 01-178-360-72502) to facilitate roof rehabilitations at the Kingsville Arena Pavilion and the Ruthven Library/Daycare.

The roof replacement at Lions Hall will use the bulk of account 01-178-360-72501, however the majority of account 01-178-360-72502 will have a significant surplus.

It is recommended to combine both accounts to facilitate all the aforementioned projects.

ENVIRONMENTAL CONSIDERATIONS

n/a.

CONSULTATIONS


Tremco Roofing and Building Maintenance.
Kingsville Administration

PREPARED BY:



Dan Baughan
Engineering Technician

REVIEWED BY:

A handwritten signature in black ink, appearing to read 'Tim', with a horizontal line extending from the end.

Tim Del Greco, P. Eng
Senior Manager of Engineering and Capital Projects

REVIEWED BY:

A handwritten signature in black ink, appearing to read 'John', with a horizontal line extending from the end.

John Norton
CAO

Date: July 14, 2025

To: Mayor and Council

Author: Tim Del Greco, Senior Manager, Capital Projects and Engineering

RE: Jasperson Drive Traffic Signals – Tender Award

RECOMMENDED ACTION

That the Tender for Jasperson Drive Traffic Signal Installations **be awarded** to Field Electrical Contractors Inc. in the amount of \$304,517 (excluding HST) and the Mayor and Clerk **be authorized** to execute the requisite agreement.

BACKGROUND

The Greater Essex County District School Board opened a new school at 1620 Jasperson Drive in September of 2024.

During the August 12, 2024 Regular Meeting of Council (just prior to this school opening), Council passed a motion to upgrade the existing PXO on Jasperson adjacent the new school. The direction was to upgrade the PXO to a pedestrian traffic signal (IPS) to provide for a higher level of service. Parts and materials for this upgrade are now on hand after a long lead time for delivery.

After the new school was opened, the Town received some complaints with respect to traffic operations. Council asked Administration to review and report back on what improvements could be made, if any.

Following additional investigations of the area and discussions with Council, a motion was passed in March of 2025 directing Administration to proceed with the installation of a full traffic signal at the intersection of Jasperson Drive and Woodycrest Ave.

DISCUSSION

A tender prepared by RC Spencer Consulting Engineers was advertised on July 3, 2025. The following work is included in this tender:

- Converting the existing PXO to a pedestrian traffic signal (IPS).
- Installation of a full traffic signal at the intersection of Jasperson Drive and Woodycrest Ave.

This tender closed on July 11th with 3 bid submissions. The results are as follows (excluding HST):

Contractor / Vendor Name	Bid Amount
Field Electrical Contractors Inc.	\$304,517
Nevan Construction Inc.	\$472,075
Sterling Ridge Utilities Inc.	\$547,159

Field Electrical is able to satisfy requirements relating to experience with similar projects, bonding, and insurance while providing the lowest cost proposal. Therefore, the recommendation is to proceed with this contractor.

If awarded, the intent is to complete this work over the summer months prior to school starting again. That said, completion will be dependent on material lead times.

FINANCIAL CONSIDERATIONS

\$100,000 is approved in the 2025 Capital Budget for converting the existing PXO to a pedestrian traffic signal (IPS).

In March of 2025, Council approved the installation of a full traffic signal at the intersection of Jasperson Drive and Woodycrest Ave at an estimated cost of \$400,000.

Therefore, the total estimate for both projects was \$500,000.

Below is a summary of all anticipated project costs taking into consideration the tender results:

Construction Tender	\$304,517
Engineering, Contract Admin, and Inspection	\$ 99,000
Materials Previously Ordered	\$125,000
Total	\$528,517

Both of these projects are 100% funded by Development Charges. As previously noted, the Town has fully expended all Development Charges (DCs) collected to date and will need to internally debt finance this work. The principle and interest associated with this debt will ultimately be repaid through the future collection of Development Charges.

ENVIRONMENTAL CONSIDERATIONS

N/A

CONSULTATIONS

Kingsville Administration
RC Spencer Consulting Engineers

PREPARED BY:



Tim Del Greco, P. Eng.
Senior Manager, Capital Projects and Engineering

REVIEWED BY:



John Norton
CAO

Date: July 14, 2025

To: Mayor and Council

Author: Haris Wilkinson, Planning Student

RE: Application for Demolition of Listed Heritage Property
2014 Road 3 East

INFORMATION REPORT

BACKGROUND

The purpose of the Ontario Heritage Act (hereafter the “Act”) is to provide a framework for identifying, protecting, and conserving properties and areas of cultural heritage value or interest. Section 29 of the Act empowers municipalities to designate properties and districts, ensuring their preservation for present and future generations, at which time they are added to the Town’s Heritage Register. In addition to designation, Section 27 of the Act also permits a property that is not designated to be listed on the Town’s Heritage Register in recognition of its potential heritage value. Listed properties may be candidates for heritage conservation, protection, and future designation.

Section 27(9) of the Act states that if a property is listed (not designated), the owner of the property shall not demolish or remove a building or structure on the property unless the owner gives Council at least 60 days notice in writing of the owner’s intention to demolish or remove the building or structure.

Further, Section 27(4) states that Council must consult with its Municipal Heritage Committee before adding a listed or removing a listed property (not designated) from its Heritage Register.

DISCUSSION

The Town of Kingsville received a Notice of Intention to Demolish a Listed Heritage Property on May 30, 2025, for the property municipally known at 2014 Road 3 East. The Applicant intends to demolish a residential dwelling on the listed property municipally. The subject property contains two (2) single detached dwellings, three (3) barns and one (1) workshop. The applicant is proposing to demolish the older of the dwellings.

The subject dwelling can be described as a 1.5-storey house built in 1900 in the National Academic style, located in the front yard of the subject land, west of the

currently occupied dwelling. It has a gable roof, flat-arched window openings, and a full-width front porch.

The Applicant has indicated that the dwelling has remained unoccupied since 1978. It was previously occupied by the applicant's grandparents until the passing of the grandfather in 1978. At that time, the grandmother had asked that the dwelling not be demolished due to its sentimental value. The Applicant's grandmother passed away in July 2024 and was aware the demolition would proceed upon her passing.

According to the Applicant, the dwelling is in poor and unstable condition, with visible structural issues that may present safety hazards. The Applicant also stated that the level of deterioration would make repair difficult and potentially unfeasible, especially given that the dwelling has been uninhabited for over 47 years.

Administration has recommended that the applicant provide a structural assessment report from a professional engineer detailing the structural integrity of the dwelling, in support of the proposed demolition. To date, an Engineer's Memo has not been submitted to Administration.

In accordance with Section 27(4), at its June 3, 2025, Meeting, the Kingsville Municipal Heritage Advisory Committee (the "Committee") received a report from staff respecting the Notice of Intention to Demolish a Listed Heritage Property, and as a result, the Committee passed the following resolution:

MHAC-16-20250603

Moved by: Sheri Lowrie, Councillor

Seconded by: Stacey Jones, Vice-Chair

That the Kingsville Municipal Heritage Advisory Committee has **no heritage objections** to the proposed demolition at the property municipally known as 2014 Road 3 East, a listed heritage property on the Town of Kingsville Heritage Register.

Carried.

During the 60-day review period, which ends on July 29, 2025, Council may:

1. Initiate the designation process under Section 29, which would legally protect the property and delay or restrict demolition. This involves issuing a Notice of Intention to Designate, followed by public consultation and the potential for appeal to the Ontario Land Tribunal.
2. Take no action, in which case there is deemed consent and the Applicant may proceed with demolition once the notice period expires, subject to obtaining the appropriate building permits.

It is important to note that Council cannot refuse demolition, unless they formally begin the designation process under Section 29.

Even if the property is not immediately removed from the Town of Kingsville Heritage Register, it will be automatically delisted by January 1, 2027, under Section 27(16), because it was listed prior to January 1, 2023.

The following appendices are included with this report for reference:

- Appendix A: Site Map
- Appendix B: Exterior Site Photographs of the Dwelling
- Appendix C: Applicant Comments and Additional Photographs

FINANCIAL CONSIDERATIONS

There are no significant financial considerations resulting from the application.

ENVIRONMENTAL CONSIDERATIONS

There are no significant environmental considerations resulting from the application.

CONSULTATIONS

- Kingsville Municipal Heritage Advisory Committee
- Municipal Governance Department

PREPARED BY:



Haris Wilkinson
Planning Student

REVIEWED BY:



Richard J.H. Wyma
Director of Planning and Development

REVIEWED BY:



John Norton
CAO

Proposed Demolition at 2014 Road 3 East



Legend

Essex Municipalities

<all other values>

Kingsville

Street

Kingsville Assessment

Building Footprints

Notes

Location Map of Proposed Demolition at 2014 Road 3 East

Appendix A

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Copyright the Corporation of the County of Essex, 2012. Data herein is provided by the Corporation of the County of Essex on an 'as is' basis. Assessment parcel provided by Teranet Enterprises Inc. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

0 15.78 31.6 Meters

1: 947



7/3/2025

Appendix B



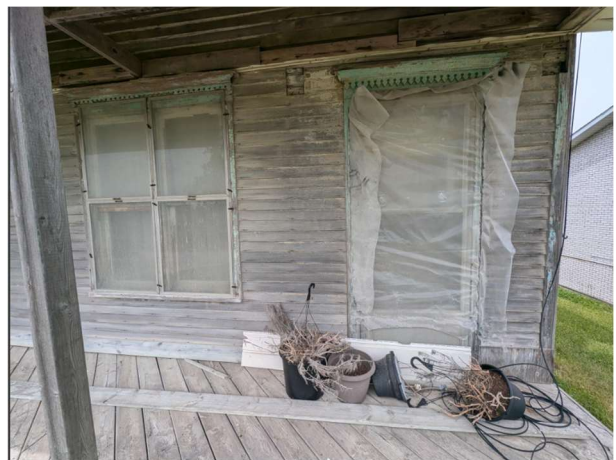
Front View (*Facing North*)



West View (*Facing South-East*)



Rear View (*Facing South*)



Front Entrance (*Facing North*)



Front Porch (*Facing North*)



East Window View (*Facing West*)



West/Front Side (*Facing North-East*)



West Side Panel (*Facing East*)



East Side Panel (*Facing North*)



East Window (*Facing West*)

Appendix C – Written Submission from Applicant

To Whom it May Concern,

My name is Albert Branco and I am speaking on behalf of my parents, Joe and Maria Branco, in regards to the house on the hill that was put on the Heritage List and is located at [2014 Road 3 East, Kingsville](#).

This house has not been occupied since 1978. There is no foundation on the front portion of the house. There is also no water, hydro or gas hooked up to the building. The Septic system is only a tank.

The reason the house was not torn down in the 1980's is because my grandmother requested it to stay up as it had sentimental value to her after my grandfather passed tragically in 1978. My grandmother has recently passed away, 2024 and it is now time for the house to come down. There is no longer insurance on the house and my parents are afraid that due to the age and condition that it may fall down. To avoid liability of any accidents or injuries, we are requesting you see the same.

Thank you

Albert Branco

Photos Provided by Applicant



Date: July 14, 2025
To: Mayor and Council
Author: Natalie Sharp, Supervisor of Municipal Governance/Deputy Clerk
RE: Accessibility Advisory Committee Update

INFORMATION REPORT

BACKGROUND

The Province of Ontario proclaimed the Accessibility for Ontarians with Disabilities Act, 2005 (the 'Act') on June 13, 2005. The purpose of the Act is to improve opportunities for people with disabilities and to provide for their involvement in the identification, removal and prevention of barriers. Under the Act, each municipality must establish an Accessibility Advisory Committee. The Kingsville Accessibility Advisory Committee (KAAC) acts in an advisory capacity and provides advice to the Town to help make public services and facilities accessible to everyone.

DISCUSSION

As part of the Kingsville Accessibility Advisory Committee's (KAAC) 2025 Work Plan, the Committee reviewed the site plan for the new Ridgeview Park Community Centre in Cottam. Architectural design plans were shared with the Committee in February for feedback and comments to address any potential barriers to accessibility. The Committee formally discussed the plans during two meetings in April and passed the following resolutions:

KAAC-06-20250409

Moved By: Phil Caruana
Seconded By: Jackie Barraco

That the following Accessibility Advisory Committee comments regarding the design plans for Ridgeview Park Community Centre be considered by Administration:

- a) An additional access to the site from the neighbourhood, as the current asphalt walkway is located at the far western edge of the property;

And that the Committee supports the overall proposed design plans for Ridgeview Park Community Centre, as they meet the accessibility requirements and standards set forth.

Carried.

KAAC-08-20250425

Moved By: Phil Caruana

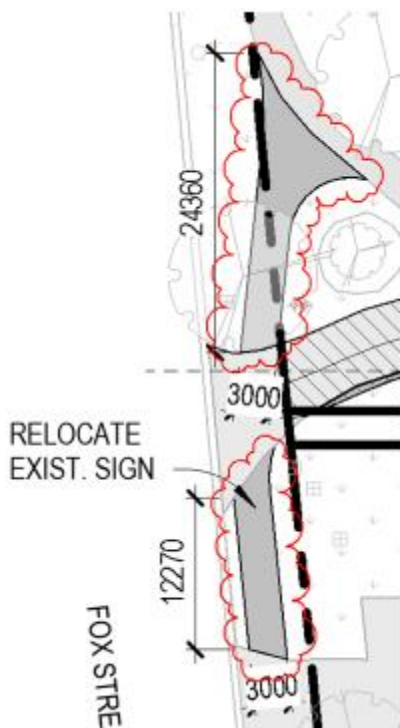
Seconded By: Jackie Barraco

That the following Accessibility Advisory Committee comments regarding the design plans for Ridgeview Park Community Centre be considered by Administration:

- a) An additional 8 ft wide curb drop handicap ramp positioned in front of the main entrance with bollards placed for security purposes
- b) Changing the front doors to automatic sliding doors.

Carried.

Administration reviewed these items with the Project Architect and Project Manager and the request for an additional access point was supported. The existing concrete sidewalk on Fox Street will be extended to connect to the asphalt pathway around the park. This will provide an at-grade additional entrance to the Centre from the sidewalk. The cost of the sidewalk extension will be covered under the approved project costs with no additional funding required. See sketch below for details of the pathway.



The request for an additional ramp positioned at the main entrance with bollards was also considered. However, the existing design currently includes a 6 foot wide accessible ramp adjacent to the accessible parking spaces. This provides direct access for individuals using the accessible parking spots, safely guiding them onto a sidewalk leading to the main entrance of the building. Installing an additional ramp at the main entrance would require individuals to cross or travel along the driveway creating a safety issue. There is currently a 10 foot wide sidewalk in front of the building and it is

raised 6 inches above the driveway to provide a safe separation for pedestrians without the need for bollards.

The request to change the style of doors to sliding doors was also considered. Currently, the architectural design of the building does not support the installation of sliding doors due to structural limitations. The current design features outward-swinging doors with an accessible push button. The doors are also made of glass, providing good visibility for individuals coming from the opposite direction. The doors also need to swing out to allow egress for exit doors. Additionally, concerns regarding building security influenced the decision to retain swing doors, as sliding doors can be pried open more easily.

Administration appreciates the feedback provided by the Accessibility Advisory Committee and looks forward to continued collaboration on future initiatives.

FINANCIAL CONSIDERATIONS

The extension of the sidewalk on Fox Street to connect with the existing asphalt pathway around the park will be funded through the project's approved contingency allowance.

ENVIRONMENTAL CONSIDERATIONS

Not applicable.

CONSULTATIONS

Daniel Baughn, Engineering Tech
Tim Del Greco, Senior Manager, Capital Projects and Engineering

PREPARED BY:



Natalie Sharp
Supervisor of Municipal Governance/Deputy Clerk

REVIEWED BY:



Angela Toole
Manager of Municipal Governance/Acting Clerk

REVIEWED BY:

A handwritten signature in black ink, appearing to read 'John Norton', written over a horizontal line.

John Norton
CAO

Date: July 14, 2025

To: Mayor and Council

Author: Tara Hewitt

RE: Municipal Accommodation Tax

RECOMMENDED ACTION

That Council DIRECTS Administration to communicate to Tourism Windsor Essex Pelee Island (TWEPI) that the Town of Kingsville will not implement a Municipal Accommodation Tax at this time.

BACKGROUND

Ontario Municipalities are authorized to establish and collect a Municipal Accommodation Tax (MAT), through section 400.1 of the Municipal Act, 2001 and Ontario Regulation 435/17.

A Municipal Accommodation Tax is a tax paid by visitors staying in short-term rentals (hotels, bed and breakfasts, inns, AirBNBs, etc.) within the municipality. The MAT aims to generate additional revenue for the municipality to support tourism-related initiatives, promotion, infrastructure and product development. The municipality retains 50% of the revenue, and the remaining 50% is shared with an eligible not-for-profit tourism entity (or entities) to promote tourism.

The municipality can use its portion for infrastructure and services that benefit both residents and visitors, such as adding additional benches to community parks. The Tourism entity must use its portion exclusively to promote or support tourism.

Of the 444 municipalities across Ontario, approximately 50 have implemented, or are in the process of implementing a MAT. Some examples include Collingwood, Midland, Orillia, Niagara Falls, Barrie, Stratford, Kingston, Ottawa and Windsor. Municipalities have the flexibility to set whatever rate they want, but most have chosen 4% to 6%.

At its April 28, 2025, meeting, Council heard a Tourism Windsor Essex Pelee Island (TWEPI) presentation advocating that Kingsville implement a MAT. TWEPI wants the MAT adopted in all municipalities across Essex County. TWEPI also proposes they take on the role of the tourism entity that receives 50% of the MAT revenue. They suggested the City of Windsor act as the region's collection agency. The cost of administering the

program was unclear and dependent on the number of municipalities moving forward with implementation.

DISCUSSION

Administration is concerned about unknown factors that have yet to be addressed, such as the full cost of administering the program, enforcement responsibilities, and lack of clarity surrounding how TWEPI will use the funds for the Town. For example, although TWEPI suggests that the City of Windsor could administer the program, there is no certainty on the fees that Windsor will charge for this service and no confirmation about who will take enforcement action against short-term rentals that do not remit the tax revenue.

The Town of Kingsville has only recently implemented a Short-term Rental Bylaw. This new licensing program is still in its infancy and Administration believes it might be premature to now also implement a MAT.

Administration also questions if a new tax will help or hurt the local tourism sector and broader Kingsville economy. Revenue can be used to promote tourism and help pay for needed tourism investments, which can help the tourism industry by attracting new visitors. However, a tax might discourage tourism visitors and adds “red tape” to accommodation businesses with additional responsibility to collect and account for taxes collected. It will also add to administrative costs for the municipality or whoever administers the program.

Public sentiment is overwhelmingly opposed to implementing a MAT.

The Business Improvement Area (BIA) Board conducted a member survey. The majority of respondents opposed a MAT. Some respondents thought an additional tax would discourage tourism and hurt small businesses. There is a perception that the Town lacks a tourism plan or staff to focus on tourism. Some opposed TWEPI as the tourism entity receiving 50% of the funds.

The Town conducted additional public consultation through its citizen engagement portal, HaveYourSayKingsville.ca. Many comments mirrored the input received from the BIA survey. Participants raised additional concerns about the unfair burden placed on hotel and rental property operators. Many think the tax will have a negative impact on how visitors view Kingsville. A small minority saw potential in the principle of a MAT; however, they expressed that it should be more thoughtfully planned, with 100% of the revenue staying in Kingsville.

Administration does not believe the revenue-share model proposed by TWEPI is the only option, or perhaps the best option, for Kingsville. Administration can envision future consideration of a MAT, whereby the municipality establishes its own tourism corporation to serve as the dedicated tourism entity and keep the program exclusively in

Kingsville. Other municipalities like Brantford, Lambton Shores, and Peterborough have moved in this direction.

FINANCIAL CONSIDERATIONS

TWEPI estimates a 4% mat would generate \$292,000 (\$146,000 for each Kingsville and TWEPI) and a 6% mat would generate \$440,000 (\$220,000 for each Kingsville and TWEPI). TWEPI's numbers are based on Kingsville having 258 accommodation listings, which Administration knows is too high based on internal short-term rental licensing data. The proposed MAT does not replace Kingsville's contribution to TWEPI through the County of Essex.

CONSULTATIONS

Kingsville Business Improvement Area (BIA) Board
Community engagement through HaveYourSayKingsville.ca

PREPARED BY:

Tara Hewitt

Tara Hewitt
Supervisor of Communications, Marketing & Tourism

REVIEWED BY:



John Norton
CAO



The Corporation of the Town of Kingsville

Minutes of the Kingsville Accessibility Advisory Committee

Wednesday, April 9, 2025

2:00 p.m.

Unico Community Centre

37 Beech Street

Kingsville, ON N9Y 1A9

Members Present:

Michele Chauvin, Chair

Phil Caruana, Vice-Chair

Debby Jarvis-Chausse, Councillor

Jackie Barraco

Members Absent:

David Kfrerer

Administration Present:

Natalie Sharp, Deputy Clerk

Richard Wyma, Director of Planning & Development

Daniel Baughan, Engineering Technician

A. Call to Order

The Chair called the meeting to order at 2:00 p.m.

B. Disclosures of Pecuniary Interest

The Chair asked members if there were any disclosures of pecuniary interest.
None were noted.

C. Adoption of Minutes

KAAC-03-20250409

Moved By: Debby Jarvis-Chausse

Seconded By: Phil Caruana

That the Minutes of the Kingsville Accessibility Advisory Committee meeting dated February 12, 2025, **be adopted** as presented.

Carried

D. Items for Consideration

1. 2025 Meeting Schedule Amendment

KAAC-04-20250409

Moved By: Debby Jarvis-Chausse

Seconded By: Jackie Barraco

That the 2025 Kingsville Accessibility Advisory Committee Meeting Schedule **be approved** as amended.

Carried

2. 2025 Committee Work Plan

Natalie Sharp, Deputy Clerk, provided an overview of the work plan, which was discussed and finalized at the previous Committee Meeting.

KAAC-05-20250409

Moved By: Debby Jarvis-Chausse

Seconded By: Phil Caruana

That the 2025 Work Plan **be approved** as presented.

Carried

3. Ridgeview Park Community Centre

Richard Wyma, Director of Planning and Development, and Dan Baughan, Engineering Technician, presented and discussed the architectural plans for the Ridgeview Park Community Centre while addressing the Committee's questions.

Phil Caruana inquired whether a ramp connected the sidewalk to the parking lot. Dan Baughan confirmed that a ramp was included and indicated on the plans the presence of a tactile feature marking the connection from the parking lot to the sidewalk leading to the building entrance.

Jackie Barraco asked why the roof was slanted inwards. Richard Wyma explained that the inward slope of the roof was intentionally designed this way to prevent water from draining off the roof edge and minimizing the formation of ice along the perimeter.

KAAC-06-20250409

Moved By: Phil Caruana

Seconded By: Jackie Barraco

That the following Accessibility Advisory Committee comments regarding the design plans for Ridgeview Park Community Centre **be considered** by Administration:

- a. an additional access to the site from the neighbourhood, as the current asphalt walkway is located at the far western edge of the property;

And that the Committee **supports** the overall proposed design plans for Ridgeview Park Community Centre, as they meet the accessibility requirements and standards set forth.

Carried

Natalie Sharp, Deputy Clerk, noted that the Committee's resolution will be sent to Administration for consideration, and that an update will be provided.

E. Next Meeting Date

The next regularly scheduled meeting of the Kingsville Municipal Accessibility Advisory Committee is June 25, 2025, at 2:00 p.m. at the Unico Community Centre.

F. Adjournment

KAAC-07-20250409

Moved By: Debby Jarvis-Chausse

Seconded By: Phil Caruana

That the meeting be adjourned at 3:06 p.m.

Carried

Chair

Recording Secretary



The Corporation of the Town of Kingsville

Minutes of the Kingsville Accessibility Advisory Committee

Friday, April 25, 2025

3:00 p.m.

Electronic Meeting

Members Present:

Michele Chauvin, Chair

Phil Caruana, Vice-Chair

Debby Jarvis-Chausse, Councillor

Jackie Barraco

Members Absent:

David Kfrerer

Administration Present:

Natalie Sharp, Deputy Clerk

A. Call to Order

The Chair called the meeting to order at 3:00 p.m.

C. Items for Consideration

1. Ridgeview Park Community Centre

Natalie Sharp, Deputy Clerk, explained at the April 9, 2025, Committee Meeting, members passed a resolution containing comments regarding the design plans for Ridgeview Park Community Centre for consideration by Administration.

She explained that, in consultation with the Chair, direction was given to call a Special Meeting of the Accessibility Advisory Committee to discuss an additional comment made by Member Phil Caruana regarding Ridgeview Park Community Centre, since the Committee passed a motion at the April 9, 2025, Committee Meeting.

KAAC-08-20250425

Moved By: Phil Caruana
Seconded By: Jackie Barraco

That the following Accessibility Advisory Committee comments regarding the design plans for Ridgeview Park Community Centre be considered by Administration:

- a. An additional 8 ft wide curb drop handicap ramp positioned in front of the main entrance with bollards placed for security purposes
- b. Changing the front doors to automatic sliding doors.

Carried

E. Adjournment

KAAC-09-20250425

Moved By: Debby Jarvis-Chausse
Seconded By: Phil Caruana

That the meeting **be adjourned** at 3:14 p.m.

Carried

Chair

Recording Secretary

**MAY 13TH, 2025, 6:15PM
CARNEGIE ARTS & VISITORS CENTER**

A. CALL TO ORDER

Tony Gaffan called the Meeting to order at 6:16pm with the following Members in attendance:

MEMBERS OF BIA BOARD:

Tony Gaffan – Vice-Chair
Roberta Weston
Heather Brown
Councillor Sheri Lowrie
Maria Edwards
Abby Jakob - Late
Amanda Everaert - Late
Delilah Carreira

MEMBERS OF ADMINISTRATION:

Jodie McIntyre

TOWN LIASON:

Tara Hewitt

ABSENT:

Jason Martin – Chair

GUESTS:

1. Shaun Martinho – Town of Kingsville

B. LAND ACKNOWLEDGEMENT

Councillor Lowrie read Land Acknowledgement.

C. DISCLOSURE OF PECUNIARY INTEREST

Tony Gaffan reminded the Committee that any declaration is to be made prior to each item being discussed and to identify the nature of the conflict, if any, as the agenda items come forward.

D. PRESENTATIONS/DELEGATIONS

1. Shaun Martinho:
 - a) PARKING:

- The Town of Kingsville will move forward to make the limited hours for parking consistent throughout the downtown area.
- The enforcement bylaw will be amended with the Town bylaw officers responding to parking bylaw violations according to bylaw regulations.
- The loading zone on Division North will be relocated to the Northeast side of the street.
- BIA GM to submit a service request to have a no parking sign erected in the approximate area of 20 Main St. E.

BIA-580-2025

To submit the letter sent to Shaun Martinho, dated April 29th, 2025, to the Council regarding parking regulations, motioned by Amanda Everaert and seconded by Roberta Weston.

CARRIED

b) FLOWER PROGRAM:

- Shaun provided the breakdown of the flower program asset costs, indicating that the expenses were mostly distributed 50/50 between the Town and the BIA, noting that he believes the BIA
- Shaun presented 2 options for the Town to take over the flower program from the BIA:
 - 1) The Town takes over the program 100%. This would mean all decisions would be the responsibility of the Town of Kingsville including the distribution of flowers throughout the BIA district, Cottam etc. The Town does recognize the importance of beautification being key in the downtown area.
 - 2) The BIA continues to have “skin in the game” by covering 50% of the cost of the flowers (approximately a \$10,000 savings) while the Town will be responsible for the labour, maintenance, watering, going out for RFQ and the BIA will be consulted in colours, improvements, in the choice of supplier and the focus of flowers will remain within the district, with no changes within the first 5 years, unless in the case of improvements. NOTE: Either way our hours the Town donates would be recalculated.
- Recommendation was to push the decision to the next meeting when Jason Martin, Chair, is present.

E. AMENDMENTS TO THE AGENDA

1. MAT Tax:

- BIA-581-2025** To inform members about the MAT tax and collect their opinions via the Town portal or a brief BIA survey. Motioned by Heather Brown, seconded by Roberta Weston.

CARRIED

F. ADOPTION OF ACCOUNTS

BIA General Manager (GM) presented the budget from MARCH 2025.

- BIA-582-2025** Moved to receive the accounts ending MARCH 2025 by Maria Edwards and seconded by Roberta Weston.

CARRIED

G. STAFF REPORTS

BIA General Manager (GM) presented highlights from her report, incorporating the key elements of the KBIA Strategic Plan.

HIGHLIGHTS:

- Met with the owner of PR Pilates.
- Walked around the district with the Libro team from London.
- Met with the Town & DeFrescoPure regarding a Woman's Day event.
- Participated in the Rotary clean up in the BIA District with Sheri, Amanda & volunteers from Wrobel Massage.
- Attended the ribbon cutting for Subway
- Met the owner of Professional Tailoring Alterations
- Distributed material for the SK2W.
- Attended Staycation where we gave away a basket over \$1000
- Attended the Town's volunteer dinner & assisted in serving.
- Attended the Leamington Chamber's AGM.
- We gave away Seussical Jr. Tickets to Dawn from Momma Bear's Bakery donated by Counsellor Lowrie. We will continue to do giveaways to our membership periodically going forward.
- Lucille & Laurie won our Facebook & Instagram Easter gift card giveaway
- Dawn Horvat won our Mother's Day gift basket, valued at over \$700.
- Up next is our Father's Day giveaway in June.

- Social Media Update – Facebook followers are up by 26 and up be 93 on Instagram. Views, Reach, Interactions numbers have increased except for a slight decrease of Facebook views.
- Reviewed the details of the Shop Local 2 Win National Promotion that is running from August 11th – September 21st. The Board would like to see how our current promotional success is and to review how Shop Local 2 Win's first National campaign does before moving forward with a commitment.

BIA-583-2025 Motion to receive the National Campaign information by Heather Brown, seconded by Abby Jakob.

CARRIED

H. BUSINESS/CORRESPONDENCE – ACTION REQUIRED

1. Terry Fox Run Letter
 - The BIA will support the Terry Fox run on September 14th by sharing the event with our membership, including finding out if there is a specific message they'd like to share and by promoting the event on our social media pages.

I. MINUTES OF THE PREVIOUS MEETING

BIA-584-2025 Motion to receive the minutes by Roberta Weston, seconded by Heather Brown.

CARRIED

J. NEW AND UNFINISHED BUSINESS

1. **Shop Kingsville 2 Win Update**
 - The Kingsville BIA has surpassed any promotion Shop Local 2 Win has hosted. The closes successful campaign saw 510 entries from 285 entrants in the first week of the campaign, where the KBIA saw 1,156 entries from 443 entrants.
 - The customer winner was Wayne Calder and the business winner was Erie Shores Family Dentistry. Cheques will be awarded on May 15th at 12pm at the dentistry.
 - The KBIA was given data for the number of entries entered for each business. The BIA newsletter will go out with the winning customer and business photo and a list of the top 10, non-corporate businesses.

- The KBIA will be obtaining the services of Rylee Wallace to provide the BIA with 6 winner photos and 6 reels to promote the SK2W experience around town. Cost will come out of the Marketing and Promotion GL.

2. Website Update

BIA-585-2025 Motion to proceed with Mainstream Marketing to revamp our current website and take over future maintenance of the site and our email by Amanda Everaert, seconded by Abby Jakob.

CARRIED

3. No Smoking Signs.

- It was noted that there are No Smoking signs at Lakeside Park.
- Shaun Martinho was going to go back to the Town and see if there is someone he can discuss the issue of people smoking outside businesses on Main Street and who should be contacted to report an infraction of the No Smoking bylaw which prohibits smoking so many feet from a public building.

4. Mayor's Golf Tournament

- The Mayor's Golf Tournament is on September 25th with funds raised going to the Kingsville Recreation Fund. The Board has agreed to provide the same donation as in 2024.

BIA-586-2025 Motion to provide a local BIA gift basket to the winner or Closes to the Pin as well as additional donated items to the Silent Auction by Roberta Weston, seconded by Delilah Carreira.

CARRIED

BIA-587-2025 Motion to extend the meeting by 15 minutes by Sheri Lowery, seconded by Maria Edwards.

CARRIED

5. Block Party Support

- The Town of Kingsville is hosting Block Parties on July 19th August 16th & September 20th. The Board has determined that last year's participation did not reap any benefits and the \$500 cost to giving away gift cards could be better utilized for other marketing promotions.

BIA-588-2025 Motion to not participate in the Town of Kingsville Block Parties by Heather Brown, seconded by Abby Jakob.

CARRIED

6. June Members Mix & Mingle (MMM)

- Targeting June 24th – 5:30pm-8pm
- Hold at the Carnegie Green
- ASK to sponsor the apps
- Have The Goose to hold the permit to serve alcohol (wine/Beer/Specialty Drink)
- Next Steps: Meet with Courtney, from the Town; to confirm the date is ok, we are permitted to have alcohol and if they can assist with any fencing.

7. ADDITIONAL NEW BUSINESS – Respect in the Workplace

- Delilah, who is the Manager at Libro Credit Union, brought awareness to the Board regarding escalating events of disrespect in the workplace including the Kingsville branch. Delilah provided a sample of an initiative done by the Town of Essex. It was discussed whether supporting an anti-harassment message is something the BIA and/or the Town of Kingsville would be interested in supporting.

BIA-589-2025 Motion to request that the Town of Kingsville collaborate with the Kingsville BIA on an anti-harassment campaign by Roberta Weston, seconded by Heather Brown.

CARRIED

K. OTHER REPORTS

- 1. FINANCIAL COMMITTEE – Delilah & Tony**
 - No Report
 - Committee to meet in the future to discuss the levy.
- 2. BEAUTIFICATION COMMITTEE – Maria & Amanda**
 - No Report
 - Committee to meet in the future to lite garland & planters.
 - GM received direction to inquire about the “eh! Canada” sign from Classic Displays.
- 3. PROMOTIONS COMMITTEE – Jason & Abby.**
 - No Report

4. **PERSONNEL COMMITTEE** – Roberta & Heather

- No Report

5. **COUNCIL REPRESENTATIVE** – Sheri Lowrie

- Adopted By-law 28-2025, being a By-law to regulate the connection and discharge into Kingsville Sanitary Sewer System by Greenhouses and Greenhouse Premises, with amendments.
- Adopted By-law 34-2025, being a By-law to amend the Town's Water and Sewer Rate By-law 90-2024, which includes the fees to cover current and future expenses associated with monitoring and treating discharge from Greenhouses and Greenhouse Premises connected to the Town's Sanitary Sewer System.
- Deputy Mayor DeYong gave a notice of motion regarding the 2nd Annual Prince Adventure's Exotic Car Show in Kingsville's downtown area and requested that at the next Regular Council Meeting, Council approve the closure of King St. to Chestnut St. from 9 am to 3 pm on October 4, 2025, subject to terms and conditions decided by the Special Events Review Team (SERT).
- Adopted a By-law to appoint members to the Fantasy of Lights Committee and Heritage Advisory Committee.
- Strong Mayor Powers came into effect as of May 1st

6. **TOWN LIASON** – Tara Hewitt

- Tonight was Tara's first night. A report will be submitted on a go forward basis.

L. NEXT MEETING DATE

- Tuesday, June 10th, 2025, at 6:15pm.

M. ADJOURNMENT

- Meeting adjourned at 8:45pm.

BIA-590-2025 Motioned to adjourn by Abby Jakob, seconded by Amanda Everaert.

CARRIED

Jason Martin

CHAIR, Jason Martin

Jodie McIntyre

RECORDING SECRETARY, Jodie McIntyre



COMMITTEE MINUTES

FANTASY OF LIGHTS COMMITTEE

May 20, 2025 – 5:00 PM

Kingsville Arena – Board Room
1741 Jasperson Drive, Kingsville

PRESENT: Chair Councillor Tony Gaffan
Doug Woolridge
Janet Willoughby
Leslie Pittendreigh
Shelby Gault, Staff Liaison

REGRETS: Dave Laman
Glenda Willemsma
Maria Edwards

A. CALL TO ORDER

Chair Clr. Tony Gaffan called the meeting to order at 5:03 pm.

B. DISCLOSURE OF PECUNIARY INTEREST

The Chair reminded the Committee of their duty to disclose any pecuniary interests as they arise.

C. MINUTES OF THE PREVIOUS MEETING

1. Fantasy of Lights Committee Meeting Minutes – April 15, 2025

Moved by Leslie Pittendreigh
Seconded by Janet Willoughby

THAT the minutes of the Fantasy of Lights Committee dated April 15, 2025, BE ADOPTED.

CARRIED

D. ORDER OF BUSINESS

- 1) Fantasy of Lights Christmas Concerts – Performers

The committee reviewed musicians who are interested in performing for the Fantasy of Lights Christmas Concert. They chose to have one performer per evening, and they would perform for three hours, with breaks (5:30 pm to 8:30 pm).

- 2) Crafts with Santa – Time Confirmation

Deferred

- 3) Santa Claus Parade – Giveaway Item

Moved by Doug Woolridge

Seconded by Leslie Pittendreigh

THAT 3,000 duo-coloured silicone bracelets are purchased for the parade giveaway item.

CARRIED

E. STAFF REPORTS

- 1) Cottam Event

Moved by Janet Willoughby

Seconded by Leslie Pittendriegh

THAT the administration is asked to investigate the preference of Cottam residents regarding what type of event they would like to see in Cottam Centre hosted by the Town.

CARRIED

- 2) Partnership with Windsor Eats

F. INFORMATION ITEMS

- 1) Welcome Doug Woolridge
- 2) Fantasy of Lights Road Map – Check In



COMMITTEE MINUTES

G. NEXT MEETING DATE

Tuesday, June 17, 2025

H. ADJOURNMENT

Moved by Leslie Pittendreigh

Seconded by Doug Woolridge

THAT the meeting adjourns at 5:55 pm

CARRIED

CHAIR, Clr. Tony Gaffan

RECORDING SECRETARY, Shelby Gault



The Corporation of the Town of Kingsville

Minutes of the Committee of Adjustment and Appeals of the Town of Kingsville

Tuesday, May 20, 2025
6:00 p.m.
Unico Community Centre
37 Beech Street
Kingsville, ON N9Y 1A9

Members Present:

Nicole Hackett, Chair
Thomas Neufeld, Councillor
Phil Caruana
Ed Cornies
Russell Horrocks

Administration Present:

Colin Kelly, Town Planner
Angelina Pannunzio, Office Support
Natalie Sharp, Deputy Clerk
Matthew Ducharme, Recording Secretary

A. Call to Order

The Vice-Chair called the meeting to order at 5:00 p.m.

B. Closed Session

COAA-19-20250520

Moved By: Russell Horrocks
Seconded By: Nicole Hackett, Chair

That the Committee of Adjustment and Appeals **enter** into Closed Session at 5:00 p.m. on May 20, 2025, pursuant to Section 239(3.1) of the Municipal Act, 2001, being educating or training members of the council, a local board or committee, to discuss the following items:

Item I - Court of Revision Procedural Training

Item II - Property Standards Appeal Hearing Training

Item III - Fence Viewers Procedural Training

Item IV - Consent Application Training

Carried

COAA-20-20250520

Moved By: Russell Horrocks

Seconded By: Phil Caruana

That the Committee of Adjustment and Appeals **rise** from Closed Session at 5:54 p.m.

Carried

COAA-21-20250520

Moved By: Nicole Hackett, Chair

Seconded By: Phil Caruana

That the Committee of Adjustment and Appeals **resume** the open portion of its Regular Meeting at 6:03 p.m.

Carried

C. Disclosures of Pecuniary Interest

The Vice-Chair asked if there were any disclosures of pecuniary interest.

Phil Caruana declared a conflict of interest on Item E.2.a. - Application for Minor Variance (426 Road 10) as he conducted a land survey at this property.

D. Adoption of Minutes

COAA-22-20250520

Moved By: Russell Horrocks

Seconded By: Phil Caruana

That the Minutes of the Committee of Adjustment and Appeals meeting dated April 15, 2025, **be adopted** as presented.

Carried

E. Committee of Adjustment Hearings

1. Requests for Withdrawal or Deferral

None noted.

2. Current Applications

a. A-2025-3 - Application for Minor Variance

Phil Caruana declared a conflict on this item and abstained from discussing and voting on the item.

Colin Kelly, Town Planner, presented the application.

The applicant, Peter Friesen, was present and available for questions from the Members.

COAA-23-20250520

Moved By: Russell Horrocks

Seconded By: Nicole Hackett, Chair

That the Committee of Adjustment and Appeals **approve** minor variance application A-2025-3, for the property known as 426 Road 10 in the Town of Kingsville, to allow relief from Section 4.35.1 of the Kingsville Comprehensive Zoning By-law (1-2014) for an additional dwelling unit to have a maximum floor area of 107.8 square metres (1,160 square feet).

Carried

b. A-2025-2 - Application for Minor Variance

Colin Kelly, Town Planner, presented the application.

The applicant, Nevan Bronco, was present and available for questions from the members. His representative, Walter Bronco, spoke to the application's relationship to the residential development in that area.

COAA-24-20250520

Moved By: Phil Caruana

Seconded By: Nicole Hackett, Chair

That the Committee of Adjustment and Appeals **approve** minor variance application A-2025-2, to allow a reduced front yard depth

of 4 metres (13.1 feet), from the required depth of 5.5 metres (18 feet), and a reduced rear yard depth of 4 metres (13.1 feet), from the required depth of 6 metres (19.7 feet), as per the Kingsville Comprehensive Zoning By-law (1-2014).

Carried

c. B-2025-6 - Application for Consent

Colin Kelly, Town Planner, presented the application.

The applicant, Colin De France, was present and available for questions from the members.

John Breeze, 22 Mill Street East, spoke in opposition to the applicant's proposed use of the severed lot.

COAA-25-20250520

Moved By: Russell Horrocks

Seconded By: Phil Caruana

That the Committee of Adjustment and Appeals **approve** consent application B-2025-6, to create a new lot with an area of 446.63 square metres (4,811.76 square feet) with a frontage of approximately 11.54 metres (37.88 feet) shown as Part 2 on the Applicant's Survey, for the property known as 30 Mill Street East, in the Town of Kingsville, subject to the following conditions:

1. That the following be provided by the applicant to the satisfaction of the Town:
 - a. confirmation that no services cross the proposed lot lines; and
 - b. a registered 12-R Plan;
2. That the necessary deed(s), transfer, or changes be submitted electronically, signed and fully executed, including a copy of the reference plan (R-Plan), prior to certification;
3. The conditions imposed above shall be fulfilled by May 20, 2027, or this application shall be deemed to be refused in accordance with Section 53(41) of the *Planning Act*.

Carried

F. Court of Revision

None at this time.

G. Property Standards Appeal Hearings

None at this time.

H. By-law Appeal Hearings

None at this time.

I. Next Meeting Date

The next regularly scheduled meeting of the Committee of Adjustment and Appeals is June 17, 2025, at 6:00 p.m. at the Unico Community Centre.

J. Adjournment

COAA-26-20250520

Moved By: Nicole Hackett, Chair

Seconded By: Phil Caruana

That the meeting **be adjourned** at 6:39 p.m.

Carried

Vice-Chair

Recording Secretary



The Corporation of the Town of Kingsville

Minutes of the Kingsville Municipal Heritage Advisory Committee

Tuesday, June 3, 2025
6:00 p.m.
Unico Community Centre
37 Beech Street
Kingsville, ON N9Y 1A9

Members Present:

Jeffrey Robinson, Chair
Stacey Jones, Vice-Chair
Sheri Lowrie, Councillor
Jeff Battiston

Members Absent:

Carol Sitler

Administration Present:

Vitra Chodha, Town Planner
Colin Kelly, Town Planner
Angelina Pannunzio, Office Support
Matthew Ducharme, Recording Secretary
Haris Wilkinson, Summer Student - Planning

A. Call to Order

The Chair called the meeting to order at 6:00 p.m.

A.1 Introduction of New Member

Matthew Ducharme, Recording Secretary, introduced Jeff Battiston who was recently appointed by Council.

B. Closed Session

MHAC-11-20250603

Moved By: Sheri Lowrie, Councillor
Seconded By: Stacey Jones, Vice-Chair

That the Kingsville Municipal Heritage Advisory Committee **enter** into Closed Session at 6:03 p.m. pursuant to section 239 of the Municipal Act, 2001, to discuss the following item:

Item I - Heritage Matters to be heard under Section 239(2)(b) being personal matters about an identifiable individual, including municipal employees.

Carried

MHAC-12-20250603

Moved By: Sheri Lowrie, Councillor
Seconded By: Stacey Jones, Vice-Chair

That the Kingsville Municipal Heritage Advisory Committee **rise** from Closed Session at 6:12 p.m.

Carried

MHAC-13-20250603

Moved By: Jeff Battiston
Seconded By: Stacey Jones, Vice-Chair

That the Kingsville Municipal Heritage Advisory Committee **resume** the open portion of its Regular Meeting at 6:13 p.m.

Carried

C. Disclosures of Pecuniary Interest

The Chair asked members if there were any disclosures of pecuniary interest. None were noted.

D. Adoption of Minutes

MHAC-14-20250603

Moved By: Sheri Lowrie, Councillor
Seconded By: Stacey Jones, Vice-Chair

That the Minutes of the Kingsville Municipal Heritage Advisory Committee meeting dated May 6, 2025, **be adopted** as presented.

Carried

E. Items for Consideration

E.1 Application for Swimming Pool and Deck Construction - 107 Elm Street
Colin Kelly, Town Planner, presented the report.

MHAC-15-20250603

Moved By: Stacey Jones, Vice-Chair
Seconded By: Jeff Battiston

That the Kingsville Municipal Heritage Advisory Committee has **no heritage objections** to the proposed swimming pool and deck construction at the property municipally known as 107 Elm Street, a designated heritage property on the Town of Kingsville Heritage Register (By-law 12-2017);

And that the Committee **recommends** that Council consent to the application.

Carried

E.2 Application for Demolition of Listed Heritage Home - 2014 Road 3 East

Colin Kelly, Town Planner, presented the report. Albert Bronco was present and spoke in favour of the application on behalf of the property owners, his parents. He was available for questions from the members.

MHAC-16-20250603

Moved By: Sheri Lowrie, Councillor
Seconded By: Stacey Jones, Vice-Chair

That the Kingsville Municipal Heritage Advisory Committee has **no heritage objections** to the proposed demolition at the property

municipally known as 2014 Road 3 East, a listed heritage property on the Town of Kingsville Heritage Register.

Carried

E.3 Heritage Plaque Program Update

Colin Kelly, Town Planner, presented an update on the proposed program.

MHAC-17-20250603

Moved By: Stacey Jones, Vice-Chair

Seconded By: Sheri Lowrie, Councillor

That the Kingsville Municipal Heritage Advisory Committee **recommends** to Council approval of the Heritage Plaque Program as described in the Kingsville Heritage Plaque Program Summary as presented.

Carried

E.4 Ontario Heritage Tool Kit

Vitra Chodha, Town Planner, provided an overview of the Ontario Heritage Tool Kit provided for information.

E.5 Potential Designation - 1417 Road 3 East

Colin Kelly, Town Planner, noted that the research report for designation will be completed by Veronica Brown. He noted the final report will be presented to the members at the August 5, 2025, meeting.

F. Next Meeting Date

The next regularly scheduled meeting of the Kingsville Municipal Heritage Advisory Committee is July 2, 2025, at 6:00 p.m. at the Unico Community Centre.

G. Adjournment

MHAC-18-20250603

Moved By: Stacey Jones, Vice-Chair

Seconded By: Jeff Battiston

That the meeting **be adjourned** at 7:34 p.m.

Carried

Chair

Recording Secretary



Regular Meeting of Council

Minutes

Monday, June 2, 2025

6:00 PM

Unico Community Centre

37 Beech Street

Kingsville, ON N9Y 1A9

Present	Mayor Dennis Rogers Deputy Mayor Kimberly DeYong Councillor Tony Gaffan Councillor Debby Jarvis-Chausse Councillor Sheri Lowrie Councillor Thomas Neufeld Councillor Larry Patterson
Staff Present	CAO, John Norton Acting Clerk, Angela Toole

A. Call to Order

Mayor Rogers called the Regular Meeting to order at 6:00 p.m.

B. Disclosure of Pecuniary Interest

Mayor Rogers reminded Council that any declaration is to be made prior to each item being discussed and to identify the nature of the conflict, if any, as the agenda items come forward.

C. Closed Session

102-06022025

Moved By: Councillor Neufeld

Seconded By: Councillor Lowrie

That Council enter into Closed Session at 6:00 p.m. pursuant to Section 239(2) of the Municipal Act, 2001, to discuss the following items:

Item I - Appointments to Committees (Communities in Bloom and Migration Festival Committee Vacancies) to be heard under Section 239(2)(b), being personal matters about an identifiable individual, including municipal employees;

Item II - Various Personnel Matters to be heard under Section 239(2)(b), being personal matters about an identifiable individual, including municipal employees; and, Section 239(2)(d), being labour relations or employee negotiations; and,

***Item III - Update on Matters Before an Administrative Tribunal** to be heard under Section 239(2)(e), being litigation or potential litigation, including matters before administrative tribunals, affecting the municipality.

Carried

D. Adjournment

103-06022025

Moved By: Councillor Patterson

Seconded By: Councillor Gaffan

That Council adjourns this Regular Meeting at 8:15 p.m.

Carried

Mayor, Dennis Rogers

Acting Clerk, Angela Toole



Regular Meeting of Council

Minutes

Monday, June 16, 2025

6:00 PM

Unico Community Centre

37 Beech Street

Kingsville, ON N9Y 1A9

Present	Mayor Dennis Rogers Deputy Mayor Kimberly DeYong Councillor Tony Gaffan Councillor Sheri Lowrie Councillor Thomas Neufeld Councillor Larry Patterson
Members Absent	Councillor Debby Jarvis-Chausse
Staff Present	CAO, John Norton Acting Clerk, Angela Toole

A. Call to Order

Mayor Rogers called the Regular Meeting to order at 6:00 p.m.

B. Land Acknowledgement

Mayor Rogers read the Land Acknowledgement Statement.

C. Moment of Silent Reflection and National Anthem

D. Mayor's Welcome and Remarks

Mayor Rogers welcomed all in attendance and wished everyone a Happy Father's Day spent with loved ones. He stated that the first Kingsville Block Party of the season would take place this upcoming Saturday in Cottam, located in Cottam Centre. Additionally, the Kingsville Horticultural and Arts Society are hosting the Vintage Garden Tour and Tea on both Saturday and Sunday at the Carnegie Arts & Visitor Centre. Members of the public are encouraged to visit the Town's website for more details on upcoming events.

E. Amendments to the Agenda

None.

F. Disclosure of Pecuniary Interest

Mayor Rogers reminded Council that any declaration is to be made prior to each item being discussed and to identify the nature of the conflict, if any, as the agenda items come forward.

G. Report Out of Closed Session

The Acting Clerk gave the following Report out of Closed Session:

Council entered into Closed Session pursuant to Section 239 of the Municipal Act, 2001, on June 2, 2025, at 6:00 p.m. and discussed the following items:

Item I - Appointments to Committees (Communities in Bloom and Migration Festival Committee Vacancies) heard under Section 239(2)(b), being personal matters about an identifiable individual, including municipal employees. There is nothing further to report.

Item II - Various Personnel Matters heard under Section 239(2)(b), being personal matters about an identifiable individual, including municipal employees; and Section 239(2)(d), being labour relations or employee negotiations. There is nothing further to report.

Item III - Update on Matters Before an Administrative Tribunal heard under Section 239(2)(e), being litigation or potential litigation, including matters before administrative tribunals, affecting the municipality. There is nothing further to report.

H. Delegations

1. Written Delegation Regarding Request for Enforcement and Planning Action for Pelee Island Winery

I. Presentations

None.

J. Matters Subject to Notice

1. Application for Consent and Zoning By-Law Amendment (B-2025-09 and ZBA-2025-04 at 389 County Road 20 West

104-06162025

Moved By: Deputy Mayor DeYong

Seconded By: Councillor Lowrie

1. That consent application B-2025-09, to sever an existing dwelling, deemed surplus to the needs of the applicants' farming operation with an area of 0.16 hectares (0.40 acres) shown as Part 1 on the applicants' sketch, known as 389 County Road 20 West, in the Town of Kingsville, **be approved**, subject to the following conditions:
 - a. Provide the following to the satisfaction of the Town:
 - i. proof of drainage to serve the lands being conveyed and the lands being retained, with the costs of such drainage being solely at the expense of the applicant;
 - ii. an executed agreement for drainage apportionment due to lands severance or sale approved by the Municipality for each parcel being severed;
 - iii. a mutual drain agreement executed due to lands severance or sale approved by the Municipality for each parcel being severed;
 - iv. a registered 12-R Plan;

- v. confirmation that there is a separate septic system on each property and that it meets Ontario Building Code requirements and setbacks;
 - b. Provide the necessary deed(s), transfer or changes electronically, signed and fully executed, prior to certification;
 - c. The conditions imposed above shall be fulfilled by June 13, 2027, or this application shall be deemed to be refused in accordance with Section 53(41) of the *Planning Act*.
2. And that By-law 40-2025, being a By-law to amend the Comprehensive Zoning By-law 1-2014 for the Town of Kingsville, to amend the zoning on the severed residential parcel from 'General Agricultural (A1) to 'Rural Residential (RR)' **be approved**.

For (6): Mayor Rogers, Deputy Mayor DeYong, Councillor Gaffan, Councillor Lowrie, Councillor Neufeld, and Councillor Patterson

Carried (6 to 0)

2. Application for Consent and Zoning By-Law Amendment (B-2025-08 and ZBA-2025-7) at 76 County Road 14 East

105-06162025

Moved By: Councillor Patterson

Seconded By: Councillor Neufeld

- 1. That consent application B-2025-08, to sever an existing dwelling, deemed surplus to the needs of the applicants' farming operation, with an area of 0.83 hectares (2.05 acres) and shown as Part 1 on the applicants' sketch, known as 76 County Road 14 East, in the Town of Kingsville, **be approved**, subject to the following conditions:
 - a. Provide the following to the satisfaction of the Town:
 - i. proof of drainage to serve the lands being conveyed and the lands being retained, with the costs of such drainage being solely at the expense of the applicant;
 - ii. an agreement for drainage apportionment due to lands severance or sale approved by the Municipality for each lots;
 - iii. a lot grading plan, for the lands being conveyed and the lands being retained, with the costs of such grading being solely at the expense of the applicant;
 - iv. registered 12-R Plan for the severed parcel.
 - b. The owner must establish a new entrance for the retained farm parcel and provide the Town with a copy of the permit provided by the County of Essex Infrastructure Services.
 - c. The conditions imposed above shall be fulfilled by June 16, 2027, or this application shall be deemed to be refused in accordance with Section 53(41) of the *Planning Act*.
- 2. And that By-law 39-2025, being a By-law to amend the Comprehensive Zoning By-law 1-2014 for the Town of Kingsville, to

amend the zoning on the retained farm parcel municipally known as VL County Road 14 East from 'General Agricultural with Exception 37 (A1-37)' to 'Restricted Agricultural with Exception 4 (A2-4)' and the severed residential parcel from 'Agricultural Exception 37 (A1-37)' to 'Rural Residential (RR)' **be approved**.

For (6): Mayor Rogers, Deputy Mayor DeYong, Councillor Gaffan, Councillor Lowrie, Councillor Neufeld, and Councillor Patterson

Carried (6 to 0)

3. Application for Consent and Zoning By-law Amendment (B-2025-7 & ZBA-2025-3) at 1529 Union Avenue (County Road 45)

106-06162025

Moved By: Councillor Patterson

Seconded By: Councillor Gaffan

1. That consent application B-2025-07, to sever an existing greenhouse and dwelling, for the property known as 1529 Union Avenue (County Road 45), deemed surplus to the Union Water Facility expansion, and to add the remaining retained parcel to the property municipally known as 1615 Union Avenue (County Road 45), **be approved**, subject to the following conditions:
 - a. That the applicant provide, to the satisfaction of the Town:
 - i. proof of drainage to serve the lands being conveyed and the lands being retained, with the costs of such drainage being solely at the expense of the applicant including an amended section 65 Report
 - ii. registered 12-R Plan for the severed parcel;
 - iii. private locates are required to confirm no municipal services (water, storm and sanitary) cross the proposed property lines
 - b. The conditions imposed above shall be fulfilled by June 16, 2027, or this application shall be deemed to be refused in accordance with Section 53(41) of the *Planning Act*;
2. And that By-law 42-2025, being a By-law to amend the Comprehensive Zoning By-law 1-2014 for the Town of Kingsville, to amend the zoning on the retained parcel municipally known as 1615 Union Avenue (County Road 45) from 'General Agricultural' to 'Public Utilities/Facilities (MG)' and the severed residential parcel from 'General Agricultural (A1)' to 'General Agricultural Exception 90 (A1-90)', **be approved**.

For (6): Mayor Rogers, Deputy Mayor DeYong, Councillor Gaffan, Councillor Lowrie, Councillor Neufeld, and Councillor Patterson

Carried (6 to 0)

K. Reports - Planning and Development Services

1. Kingsville Heritage Plaque Program

107-06162025

Moved By: Deputy Mayor DeYong

Seconded By: Councillor Lowrie

That Council **approve** the creation of the Kingsville Heritage Plaque Program to recognize historically significant properties within the Town;

And that Council **direct** staff to develop the necessary procedures, application process, and funding arrangements for its implementation.

For (6): Mayor Rogers, Deputy Mayor DeYong, Councillor Gaffan, Councillor Lowrie, Councillor Neufeld, and Councillor Patterson

Carried (6 to 0)

2. SWSA Watermain - Tender for Phase 2 Construction

108-06162025

Moved By: Councillor Neufeld

Seconded By: Councillor Gaffan

That Council **defer** Item K.2 - SWSA Watermain - Tender for Construction of Phase 2, to the end of this meeting to allow Council to enter into Closed Session to discuss the item under certain exceptions per the Municipal Act, 2001.

For (5): Mayor Rogers, Deputy Mayor DeYong, Councillor Gaffan, Councillor Lowrie, and Councillor Neufeld

Against (1): Councillor Patterson

Carried (5 to 1)

L. Consent Agenda

1. Migration Festival Committee Minutes - April 22, 2025
2. Heritage Advisory Committee Minutes - May 6, 2025
3. Regular Council Meeting Minutes - May 26, 2025

109-06162025

Moved By: Councillor Neufeld

Seconded By: Deputy Mayor DeYong

That Items 1 through 3 on the Consent Agenda, **be received**.

Carried

M. Correspondence

1. Windsor-Essex County Health Unit Board of Health

110-06162025

Moved By: Councillor Gaffan

Seconded By: Deputy Mayor DeYong

That Item M.1 being correspondence from the Windsor Essex County Health Unit regarding Lyme Disease Prevention, **be received**.

Carried

N. Notices of Motion

None.

O. Unfinished Business and Announcements

John Norton, CAO, announced that the Town is developing an accessible logo because the current logo includes script text, which is not accessible.

P. Closed Session

111-06162025

Moved By: Councillor Gaffan

Seconded By: Deputy Mayor DeYong

That Council **enter** into Closed Session at 6:36 p.m. pursuant to Section 239 of the Municipal Act, 2001 to discuss the following item:

Item I - Local Impact of Bill 17, Protect Ontario by Building Faster and Smarter Act, 2025, to be heard under Section 239(2)(f) being advice that is subject to solicitor-client privilege, including communications necessary for that purpose; and, Section 239(2)(b) being personal matters about an identifiable individual, including municipal employees.

Carried

112-06162025

Moved By: Councillor Neufeld

Seconded By: Councillor Patterson

That Council **rise** from Closed Session and resume the open portion of this Meeting at 7:15 p.m.

Carried

Q. Reports - Planning and Development Services

1. SWSA Watermain – Tender for Construction of Phase 2

113-06162025

Moved By: Councillor Patterson

Seconded By: Councillor Lowrie

That the Tender for watermain construction through the planned West Side Collector Road corridor **be awarded** to Sherway Contracting (Windsor) Limited in the amount of \$1,947,194 (excluding HST) and the Mayor and Clerk **be authorized** to execute the requisite agreement;

And that Administration **be directed** to submit an application to Ontario Infrastructure Lands Corporation (OILC) to finance the Development Charge component of Phase 1 and 2 of the Southwest Service Area Watermain.

For (6): Mayor Rogers, Deputy Mayor DeYong, Councillor Gaffan, Councillor Lowrie, Councillor Neufeld, and Councillor Patterson

Carried (6 to 0)

R. By-laws

114-06162025

Moved By: Deputy Mayor DeYong

Seconded By: Councillor Patterson

That the following By-laws be given three readings and finally pass:

38-2025 – Being a by-law to provide for the collection of the costs incurred for drainage works completed for numerous drains all in the Town of Kingsville;

39-2025 - Being a By-law to amend By-law No. 1-2014, the comprehensive Zoning By-law for the Town of Kingsville;

40-2025 - Being a By-law to amend By-law No. 1-2014, the comprehensive Zoning By-law for the Town of Kingsville;

*41-2025 - Being a By-law to confirm and authorize continued participation in the OMERS Primary Pension Plan (“Primary Plan”) and the Retirement Compensation Arrangement for the OMERS Primary Pension Plan (“RCA”), each as amended from time to time, of the employees, councillors and head of council of the Corporation of the Town of Kingsville (“Employer”) identified herein;

42-2025 - Being a By-law to amend By-law No. 1-2014, the comprehensive Zoning By-law for the Town of Kingsville;

43-2025 – Being a By-law to confirm the proceedings of the Council of the Corporation of the Town of Kingsville at its June 16, 2025, Regular Meeting of Council.

Carried

S. Adjournment

115-06162025

Moved By: Councillor Lowrie

Seconded By: Councillor Patterson

That Council adjourns this Regular Meeting at 7:19 p.m.

Carried

Mayor, Dennis Rogers

Acting Clerk, Angela Toole



Carnegie Arts & Visitor Centre
28 Division Street South
Kingsville, ON N9Y 1P3
Phone: 519-733-6250

info@kingsvillebia.com
www.kingsvillebia.com

April 29, 2025

Mr. Shaun Martinho
Director of Public Works
Town of Kingsville

Subject: Follow-up: Downtown Kingsville Parking Improvements

Dear Mr. Martinho,

This letter follows up on our previous discussions concerning parking improvements in Kingsville's downtown core.

1. **Main Street Parking Limit Signage:** Installation of additional signage at the east and west ends of Main Street clearly indicating the two-hour parking limit.
2. **Loading Zone Signage and Relocations:**
 - All existing loading zones require clear signage indicating permitted days and times of operation.
 - We would like to request the loading zone previously designated for the Food Bank (which has relocated) be moved to the northeast corner of Division Street's on-street parking area, with appropriate signage installed.
 - A designated loading zone with appropriate signage should be established in front of 24 Main Street East. Improved road markings (beyond the existing yellow "X") are also requested to clearly delineate this zone and prevent confusion with adjacent parking spaces.
3. **Parking Spot Removal on Main Street:** Following the removal of parking spaces in front of 20 Main Street East, clear signage and/or road markings are needed to prevent unauthorized parking in this area.

The BIA Board of Directors believe these improvements will benefit both businesses and patrons downtown. Please let me know if you require further clarification or would like to schedule a meeting to discuss these requests in more detail.

Sincerely,

Jodie McIntyre
General Manager
Kingsville BIA

THE CORPORATION OF THE TOWN OF KINGSVILLE
BY-LAW 31-2025

**Being a By-law to provide for a new maintenance schedule for the
Linden Beach Relief Drain at a total estimated cost of \$12,000 in the
Town of Kingsville, in the County of Essex**

Whereas the Council of the Town of Kingsville, in the County of Essex, has procured reports under section 76 of the *Drainage Act*;

And whereas the report dated March 5, 2025 has been authored by Josh Warner, P. Eng., Dobbin Engineering Inc. and the attached report forms part of this by-law;

And whereas \$12,200 is the amount to be assessed out in accordance with the Schedule of Maintenance contained in the engineer’s report.

And whereas Council is of the opinion that the report of the area is desirable;

Therefore the Council of The Corporation of the Town of Kingsville, pursuant to the Drainage Act enacts as Follows:

1. Authorization

The attached reports are adopted and the drainage works is authorized and shall be completed as specified in the report.

2. Schedule of Assessments of Land and Roads

One hundred percent (100%) of the cost for this report is to be assessed out in accordance with the Schedule of Maintenance contained in the engineer’s report.

3. Citation

This by-law comes into force on the passing thereof and may be cited as the “Linden Beach Relief Drain – New Maintenance Schedule” by-law.

Read a first, second time and provisionally adopted this 5th day of May, 2025.

Mayor, Dennis Rogers

Acting Clerk, Angela Toole

Read a third time and finally passed this 16th day of June, 2025.

Mayor, Dennis Rogers

Acting Clerk, Angela Toole

THE CORPORATION OF THE TOWN OF KINGSVILLE
BY-LAW 44-2025

**Being a By-law to Appoint a Member to the Communities in Bloom
Committee and Migration Festival Committee**

Whereas sections 8 and 9 of the *Municipal Act, 2001* S.O. 2001 c. 25, as amended, (the “Act”) provides that a municipality has the capacity, rights, powers and privileges of a natural person for the purpose of exercising the authority conferred upon a municipality to govern its affairs as it considers appropriate;

And whereas the Municipal Act, 2001, S.O. 2001, c.25, Subsection 23.1 authorizes a municipality to delegate powers and duties to a person or body;

And whereas the Council of the Corporation of the Town of Kingsville wishes to appoint a member to the Communities in Bloom Committee and Migration Festival Committee due to vacancies;

And whereas the Council of the Corporation of the Town of Kingsville deems it appropriate and expedient to appoint persons to the Communities in Bloom Committee and Migration Festival Committee, respectively.

Now therefore The Council of the Corporation of the Town of Kingsville enacts as follows:

1. **That** Erin Hemphill be appointed to both the Communities in Bloom Committee and Migration Festival Committee.
2. **That** the term of appointment for the appointee contained herein shall run concurrently with the current term of Council (2022-2026) or until such time that successors are appointed.
3. **That** this By-Law comes into force and takes effect on the day of the final passing thereof.

Read a first, second and third time and finally passed this 14th day of July, 2025.

Mayor, Dennis Rogers

Acting Clerk, Angela Toole

THE CORPORATION OF THE TOWN OF KINGSVILLE

BY-LAW 45-2025

Being a By-law to confirm the proceedings of the Council of the Corporation of the Town of Kingsville at its July 14, 2025 Regular Meeting of Council

Whereas sections 8 and 9 of the *Municipal Act, 2001* S.O. 2001 c. 25, as amended, (the “Act”) provides that a municipality has the capacity, rights, powers and privileges of a natural person for the purpose of exercising the authority conferred upon a municipality to govern its affairs as it considers appropriate;

And whereas section 5(3) of the Act provides that such power shall be exercised by by-law, unless the municipality is specifically authorized to do so otherwise;

And whereas it is deemed expedient that the proceedings of the Council of The Corporation of the Town of Kingsville (the “Town”) be confirmed and adopted by by-law;

Now therefore the Council of The Corporation of the Town of Kingsville enacts as follows:

1. The actions of the Council at its July 14, 2025, Regular Meeting in respect of each report, motion, resolution or other action taken or direction given by the Council at its meeting, is hereby adopted, ratified and confirmed, as if each resolution or other action was adopted, ratified and confirmed by its separate by-law.
2. The Chief Administrative Officer and/or the appropriate officers of the Town are hereby authorized and directed to do all things necessary to give effect to the actions set out in paragraph 1, or obtain approvals, where required, and, except where otherwise provided, the Mayor and the Clerk are hereby directed to execute all documents necessary and to affix the corporate seal to all such documents.
3. This By-law comes into force and takes effect on the day of the final passing thereof.

Read a first, second, and third time and finally passed this 14th day of July, 2025.

Mayor, Dennis Rogers

Acting Clerk, Angela Toole