



**REGULAR MEETING OF COUNCIL  
AGENDA**

**Monday, December 10, 2018, 7:00 PM**

**Kingsville Arena Complex - Auditorium A**

**1741 Jasperson Lane**

**Kingsville, ON N9Y 3J4**

**Pages**

**A. CALL TO ORDER**

**B. MOMENT OF SILENCE AND REFLECTION**

**C. PLAYING OF NATIONAL ANTHEM**

**D. DISCLOSURE OF PECUNIARY INTEREST**

When a member of Council has any pecuniary interest, direct or indirect, in any matter which is the subject of consideration at this Meeting of Council (or that was the subject of consideration at the previous Meeting of Council at which the member was not in attendance), the member shall disclose the pecuniary interest and its general nature, prior to any consideration of the matter.

**E. PRESENTATIONS/DELEGATIONS**

- 1. Michael Burns, spokesperson on behalf of Kingsville Property Owners Group RE: Greenhouse concerns**

**1**

SEE: Correspondence provided by Mr. Burns re: Change of Zoning for Green Houses, and SEE: PowerPoint Presentation

- 2. Dr. Justine Taylor, Ontario Greenhouse Vegetable Growers-- Overview of Greenhouse Operations in Kingsville**

**F. MATTERS SUBJECT TO NOTICE**

- 1. Application for Zoning By-law Amendment ZBA/34/18 by Maurice Trepanier 882 County Rd 8, Pt Lot 25, CON 2, Except Pt 1 12R8986**

**17**

K. Brcic, Town Planner

i) Notice of Complete Application and Public Meeting: Zoning By-law Amendment, dated November 2, 2018;

- ii) Notice of Complete Application and Public Meeting: Zoning By-law Amendment (Meeting Location Change), dated December 3, 2018;
- iii) Report of Manager of Planning Services K. Brcic, dated November 30, 2018;
- iv) Proposed By-law 129-2018, being a by-law to amend By-law 1-2014, the Comprehensive Zoning By-law for the Town of Kingsville

**Recommended Action**

It is recommended that Council approve Zoning By-law Amendment application ZBA/34/18 to rezone the subject lands as a condition of Consent File B/16/18 from 'Agriculture (A1)' to 'Agriculture – Restricted (A2)' on the lands known as 882 Country Road 8, Part Lot 25, Concession 2, Except Part 1 on 12R8986, in the Town of Kingsville and adopt the implementing by-law.

**G. AMENDMENTS TO THE AGENDA**

**H. ADOPTION OF ACCOUNTS**

- |    |   |    |
|----|---|----|
| 1. | Town of Kingsville Accounts for the monthly period ended November 30, 2018 being TD cheque numbers 0067105 to 0067445 for a grand total of \$2,135,041.44 | 31 |
|----|---|----|

**Recommended Action**

That Council approve Town of Kingsville Accounts for the monthly period ended November 30, 2018, being TD cheque numbers 0067105 to 0067445 for a grand total of \$2,135,041.44.

**I. STAFF REPORTS**

- |    |                         |    |
|----|-------------------------|----|
| 1. | Report on Cannabis      | 63 |
|    | P. Van Mierlo-West, CAO |    |

**Recommended Action**

That Council receive the report titled Report on Cannabis for information

- |    |  |    |
|----|--|----|
| 2. | 2018 Site Plan Approval Update         | 72 |
|    | R. Brown, Manager of Planning Services |    |

**Recommended Action**

It is recommended that Council receive the 2018 site plan update report for information purposes.

- |    |   |    |
|----|---|----|
| 3. | 2018 Year End Capital Project Carry Overs and Reserve Transfers | 98 |
|    | R. McLeod, Director of Financial Services                       |    |

**Recommended Action**

That council approve capital and operating transfers to reserves as outlined in the table in report FS-2018-16.

**4. 2019 Draft Budget Submission & Executive Summary 100**

R. McLeod, Director of Financial Services (*Draft Budget to be provided at Meeting*)

**Recommended Action**

That Council receive the 2019 draft budget and provide direction on budget deliberation dates.

**5. Appointment Process – County Council Alternate 106**

J. Astrologo, Director of Corporate Services

**Recommended Action**

That Council provide direction to Administration regarding the procedure to be adopted for the purposes of appointing the County Council Alternate for the 2018-2022 Council Term.

**6. Kingsville Highland Games Committee – Terms of Reference 110**

P. Van Mierlo-West, CAO

**Recommended Action**

That the attached Terms of Reference for the Kingsville Highland Games Committee be approved; and that advertising for resident position begin immediately.

**J. BUSINESS/CORRESPONDENCE-ACTION REQUIRED**

1. Election of County Council Alternate
2. Council Member Committee Appointments

**K. MINUTES OF THE PREVIOUS MEETINGS**

1. Regular Meeting of Council Minutes--November 26, 2018 113
2. Regular "Closed Session" Meeting of Council Minutes--November 26, 2018

**Recommended Action**

That Council adopts the Regular Meeting of Council Minutes dated November 26, 2018 and the Regular "Closed Session" Meeting of Council Minutes dated November 26, 2018.

**L. BUSINESS CORRESPONDENCE - INFORMATIONAL**

- |    |   |     |
|----|---|-----|
| 1. | <b>Greater Essex County District School Board --Correspondence from Chairperson McKinley dated November 30, 2018 to Ontario Premier and to Attorney General and Minister of Francophone Affairs RE: Cannabis Retail Stores Proximity to School--GECDSB Comments</b> | 132 |
| 2. | <b>Essex Region Conservation Foundation--Letter of thanks dated November 27, 2018 for Kingsville being a Route Sponsor during the annual ERCA Bike Tour</b>   | 134 |
| 3. | <b>Town of Kearney--Correspondence received November 23, 2018 RE: Council Resolution re: Voters' List for Municipal Elections</b>   | 135 |
| 4. | <b>Municipality of Northern Bruce Peninsula--Correspondence dated December 3, 2018 RE: Support of Township of Kearney Resolution</b>  | 136 |

**Recommended Action**

That Council receive Business Correspondence-Informational Items 1-4.

**M. NOTICES OF MOTION**

1. **Deputy Mayor Gord Queen may move, or cause to have moved:**  
 That the Fees By-law for the Town of Kingsville be updated to include the Rental Cost of the new Grovedale House on Park Street.
2. **Councillor Kimberly DeYong may move, or cause to have moved:**  
 That Administration provide a report on options for recording Council meetings and having it made available for the public, including what other municipalities are doing.

**N. UNFINISHED BUSINESS, ANNOUNCEMENTS AND UPDATES**

**O. BYLAWS**

- |    |   |     |
|----|---|-----|
| 1. | <b>By-law 124-2018</b>  | 138 |
|    | Being a by-law under the Municipal Act, 2001, Part 13, Section 408; to authorize the issue of two series of debentures to consolidate the financing of construction and/or maintenance of numerous drains all in the Town of Kingsville<br><br>To be read a first, second and third and final time. |     |
| 2. | <b>By-law 129-2018</b>  | 142 |
|    | Being a By-law to amend By-law 1-2014, the Comprehensive Zoning By-law for the Town of Kingsville (ZBA/34/18; 882 County Road 8)<br><br>To be read a first, second and third and final time.  |     |



**P. CLOSED SESSION**

Pursuant to section 239(2) of the *Municipal Act, 2001*, Council will enter into Closed Session to address the following items:

1. (b) Personal matters about identifiable individuals, including municipal or local board employees, being: Kingsville representative Library Board Member Applications

**Q. REPORT OUT OF CLOSED SESSION**

**R. CONFIRMATORY BY-LAW**

1. By-law 130-2018

144

Being a by-law to confirm the proceedings of the Council of The Corporation of the Town of Kingsville at its Monday, December 10, 2018 Regular Meeting

To be read a first, second and third and final time.

**S. ADJOURNMENT**

Town of Kingsville  
Kingsville, Ontario

Provincial Government Member of Parliament  
Essex, Ontario

Attention:  
Mayor of Kingsville  
Members of Town Council  
Member of Parliament

RE: Change of Zoning for Green Houses

We would like to inform all three levels of Government; Federal, Provincial and Municipal, which we as residents of Essex County are concerned about the problems of living in close proximity to greenhouse industrial complexes in our rural community.

A greenhouse complex starts with any land deemed agricultural or Zone 1A.

- Most greenhouses in our area have the top soil removed from the acreage. Beams are pounded into the ground, the structures are erected 30-40 feet high and are placed “under glass”.
- In many cases concrete flooring is poured, followed by water towers, offices, loading docks, parking lots, warehousing area, processing areas, chilling units, and seasonal worker dwellings.
- When these greenhouses are complete they are technically very sophisticated and rival many the most advanced manufacturing facilities in Canada.

Most Industrial complexes or manufacturing facilities fall under zoning and bylaws that have been developed to deal with the waste, noise, light, traffic, as well as proximity to residential dwellings and properties. The zoning and bylaws also have been developed to protect the wildlife and reduce the impact to the environment and surroundings.

In developing the bylaws and zoning for the industries and manufacturing facilities it enables the town and province to develop the planning for infrastructure needed to support the industry and growth of the surrounding communities.

In July 2017, a number of residents in Kingsville, Ontario in a small rural road, were informed that a parcel of land was to be purchased and greenhouse complexes are to be proposed for this and other large acreages in the area. We have assembled together to explore what we can do as homeowners and landowners in this rural community to stop the development of these greenhouse complexes in our backyards.

1. A greenhouse complex under the current provincial zoning guidelines is considered to be agricultural and may be erected on any farmland.
2. Greenhouse complexes can be built as close as 30 feet from the neighbouring properties.
3. Along with greenhouse complexes, all structures associated with the growing, preparation, packaging, transportation, and seasonal migrant housing can be built on the property to support this industry.

4. Services such as gas, hydro, and water as well as roads may be at the expense of the greenhouse operator; however, the maintenance of these items are at the cost of the municipality and taxpayer.

For residents who live near the greenhouse complexes we would face the noise of the industry and traffic in our own back yards, with in turn will drive our property values down, with limited selling power and often only to the neighbouring greenhouse complexes.

We will lose the open spaces, views, and interaction with the wildlife that brought us all to the rural communities into which we live.

Many of the local farms have been in the families for generations and farmed by more “traditional” methods. The traditional farmer cannot compete with the greenhouse owners and rising cost of acreage.

Our association, named the Kingsville Property Owners Group, are asking for your help for our area as well as many other areas in Ontario and throughout Canada being affected by this epidemic with the introduction of medicinal and recreational marijuana. This problem will only worsen without proper intervention.

There is a place for the greenhouse industry in Essex, in Ontario and Canada as a whole we all agree, but stronger zoning and bylaws must be put in place to accommodate the homeowners, municipal, provincial and the greenhouse industry.

We are asking you to sign the petition on the link below so that we can move forward with our goal.

Thank you from the Kingsville Property Owners Group

# Kingsville Property Owners Group

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10 December 2018 Council Meeting

# Who are the Kingsville Property Owners Group

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- We are a group of concerned citizens that are concerned with the prospect of greenhouses being developed in our rural communities.
- We would like to stop the development of greenhouses next to our properties.

Objective:

- Change the bylaws and zoning from A1 and A2 to lite industrial.
- Have greenhouses built in areas that are not adjacent to rural residential areas and traditional farming areas.



# Current Greenhouses Complexes





# Current Greenhouses Complexes

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# Traditional Farms

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# Current Zoning Definition of A1 Zoning

## Permitted Structures

- Accessory structures
- Agricultural buildings
- Bunkhouse
- Dog kennels
- Enclosed storage
- Farm produce outlet
- Fruit/vegetable processing facility
- Greenhouses
- Oil doreys
- Roadside stand a single detached dwelling
- Outdoor storage Seasonal worker housing

SUBSECTION 7.1		AGRICULTURE (A1) (general agricultural zone)	
a) Permitted Uses			
	Agricultural Uses	Rural Residential	Specialty Crops/All other Uses
i) Main use	<i>Agriculture</i> <i>Agricultural related service</i> <i>Agriculture research stations</i> <i>Agriculture co-op</i> <i>Agricultural operations</i> <i>Agricultural operations, intensive</i> <i>Agriculture produce storage, packaging, processing facility and/or shipping</i> <i>Aquaculture</i> <i>Dog kennel</i> <i>Farm produce outlet</i> <i>Farm machinery/equipment sales, rental, storage facility, parts and servicing facility</i> <i>Fish farm</i> <i>Forestry Use</i> <i>Fruit/vegetable processing facility</i> <i>Garden centres</i> <i>Greenhouses in compliance with Section 7.1 d)</i> <i>Hunting/gaming/wildlife preserve</i> <i>Landing strip and flying clubs</i>	Rural Residence	<i>Aquaculture</i>  <i>Farm produce outlet</i> <i>Fish farm</i> <i>Forestry use</i> <i>Greenhouses in compliance with 7.1 d)</i> <i>Hunting/gaming/wildlife preserve</i>  <i>Orchards</i> <i>Specialty crop as defined by Provincial Evaluation procedures</i> <i>Telecommunication tower</i> <i>Tree farms</i> <i>Wayside pits and quarries</i> <i>Winery</i>

## Concerns with living next to Greenhouses

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- Light pollution
- Noise Pollution
- Obstructed views
- Loss of Wildlife habitat
- Environmental Impacts on wetlands
- Garbage





# Concerns with living next to Greenhouses

Light  
Pollution



# Concerns with living next to Greenhouses

Transportation Noise 24/7





# Concerns with living next to Greenhouses

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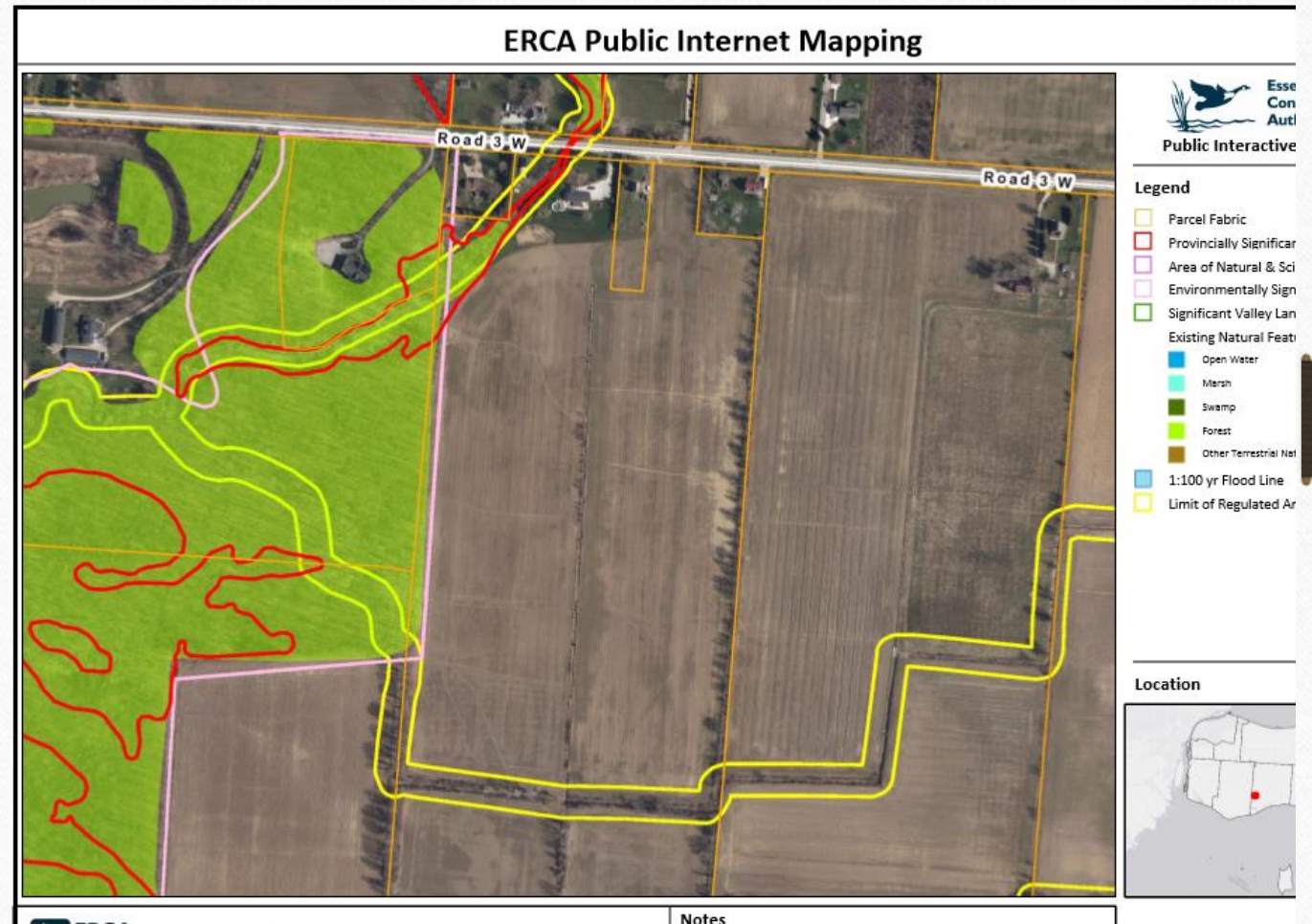
Garbage and dilapidated equipment

- The request being made is not to stand in the way of green house growth but not to the greenhouses in a zone that does not impact the rural communities
- We are asking for the governing bodies to consider changes to the zoning of these enormous complexes
- The consideration in the planning of our town and province to put these complexes in areas where the infrastructure can support the greenhouses needs.
- Where the impact to wildlife habitat and our waterways will not be impacted
- Where the noise and light will not effect neighbouring residences



## The property that started it all

- This property is adjacent to significant forest area
- As well there are Provincially Significant Wetland (PSW) Area of Natural & Scientific Interest (ANSI)
- In our county there is not enough green space.
- There could be significant impact to the wetlands and forested area





# Our Neighbours

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## Deer that live in the bush



## Turtles and hummingbirds



Of course there are many other creatures but we only have 10 minutes



# The views that we have chosen to live with are

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Current View



Possible View



Go to Change.org to sign our petition <https://www.change.org/p/all-three-levels-of-government-federal-stop-greenhouse-complexes-in-our-rural-communities>

## NOTICE OF COMPLETE APPLICATION AND PUBLIC MEETING: ZONING BY-LAW AMENDMENT

**APPLICATION:** ZONING BY-LAW AMENDMENT - ZBA/34/18  
(Section 34 of the Planning Act, R.S.O. 1990, C.P. 13)

**APPLICANTS:** Maurice Trepanier

**LOCATION OF PROPERTY:** 882 County Rd 8

**ZONING:** 'Agriculture (A1)'

**PURPOSE OF APPLICATION:** The Town of Kingsville has received the above-noted application for lands located on the south side of County Road 8, west of County Road 31 (Albuna Townline). The subject parcel is designated 'Agricultural' by the Official Plan and is zoned 'Agricultural (A1)' under the Kingsville Comprehensive Zoning By-law.

The parcel is 33.18 ha (42 ac.) in size and consists of two single detached dwellings, several outbuildings and vacant farmland. At the November 20, 2018 Committee of Adjustment meeting, the owner is seeking provisional consent (File B/16/18) to sever the existing dwellings and outbuildings, deemed surplus to the owner.

As a condition of that consent, it is required that the retained parcel be rezoned to prohibit the construction of future dwellings. Therefore an application has been made to rezone the retained farm lot from 'Agriculture (A1)' to 'Agriculture – Restricted (A2)'. This condition is required by both Provincial and Town policies.

### **A PUBLIC MEETING OF COUNCIL will be held on:**

**WHEN:** December 10, 2018  
**WHERE:** Town of Kingsville Municipal Building – Council Chambers  
**TIME:** 7:00 p.m.

Your input on these matters are important. If you have comments on this application, they may be forwarded in writing via email or mail, to the attention of: **Kristina Brcic, Town Planner, Planning Services**, 2021 Division Road North, Town of Kingsville, ON N9Y 2Y9. Comments and opinions submitted on these matters, including your name and address, may become part of the public record and may be viewed by the general public and may be published in a planning report or reproduced in a Council agenda and/or minutes.

**IF A PERSON** or public body would otherwise have an ability to appeal the decision of Council for the Town of Kingsville to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submission to the Town of Kingsville before the zoning by-law is adopted, the person or public body is not entitled to appeal the decision.

**IF A PERSON** or public body does not make oral submissions at a public meeting, or make written submission to Council before the zoning by-law is adopted or the zoning by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

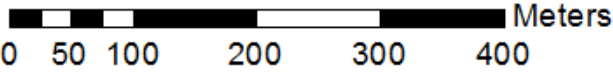
**ADDITIONAL INFORMATION** relating to this matter is available for review at the Kingsville Municipal Office during regular office hours.

**DATED AT  
THE TOWN OF KINGSVILLE  
on November 2, 2018.**

**Kristina Brcic, MSc, BURPI  
519-733-2305 (x 249)  
kbrbic@kingsville.ca**

KEY MAP- ZBA/34/18

Schedule A



**882 County Road 8**  
**Part Lot 25 CON 2 Except PT 1 12R8986**  
**ZBA/34/18**



Schedule "A", Map 25 of By-law 1-2014 is hereby requesting changing the zone symbol as shown on Schedule 'A' in cross-hatch attached hereto from 'Agriculture (A1)' to 'Agriculture - Restricted (A2)'.



## **MEETING LOCATION CHANGE**

### **NOTICE OF COMPLETE APPLICATION AND PUBLIC MEETING: ZONING BY-LAW AMENDMENT**

**APPLICATION:** ZONING BY-LAW AMENDMENT - ZBA/34/18  
(Section 34 of the Planning Act, R.S.O. 1990, C.P. 13)

**APPLICANTS:** Maurice Trepanier

**LOCATION OF PROPERTY:** 882 County Rd 8

**ZONING:** 'Agriculture (A1)'

**PURPOSE OF APPLICATION:** The Town of Kingsville has received the above-noted application for lands located on the south side of County Road 8, west of County Road 31 (Albuna Townline). The subject parcel is designated 'Agricultural' by the Official Plan and is zoned 'Agricultural (A1)' under the Kingsville Comprehensive Zoning By-law.

The parcel is 17 ha (42 ac.) in size and consists of two single detached dwellings, several outbuildings and vacant farmland. At the November 20, 2018 Committee of Adjustment meeting, the owner is seeking provisional consent (File B/16/18) to sever the existing dwellings and outbuildings, deemed surplus to the owner.

As a condition of that consent, it is required that the retained parcel be rezoned to prohibit the construction of future dwellings. Therefore an application has been made to rezone the retained farm lot from 'Agriculture (A1)' to 'Agriculture – Restricted (A2)'. This condition is required by both Provincial and Town policies.

#### **A PUBLIC MEETING OF COUNCIL will be held on:**

**WHEN:** December 10, 2018

**WHERE:** Auditorium "A" Kingsville Arena Complex,  
1741 Jasperson Lane

**TIME:** 7:00 p.m.

Your input on these matters are important. If you have comments on this application, they may be forwarded in writing via email or mail, to the attention of: **Kristina Brcic, Town Planner, Planning Services**, 2021 Division Road North, Town of Kingsville, ON N9Y 2Y9. Comments and opinions submitted on these matters, including your name and address, may become part of the public record and may be viewed by the general public and may be published in a planning report or reproduced in a Council agenda and/or minutes.

**IF A PERSON** or public body would otherwise have an ability to appeal the decision of Council for the Town of Kingsville to the Local Planning Appeal Tribunal but the person or public body does not make oral submissions at a public meeting or make written submission to the Town of Kingsville before the zoning by-law is adopted, the person or public body is not entitled to appeal the decision.

**IF A PERSON** or public body does not make oral submissions at a public meeting, or make written submission to Council before the zoning by-law is adopted or the zoning by-law is passed, the person or public body may not be added as a party to the hearing of an appeal before the Local Planning Appeal Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.

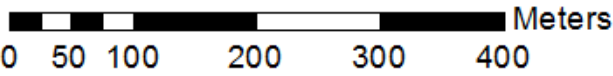
**ADDITIONAL INFORMATION** relating to this matter is available for review at the Kingsville Municipal Office during regular office hours.

**DATED AT  
THE TOWN OF KINGSVILLE  
on December 3, 2018.**

**Kristina Brcic, MSc, BURPI  
519-733-2305 (x 249)  
kbrbic@kingsville.ca**

KEY MAP- ZBA/34/18

Schedule A



**882 County Road 8**  
**Part Lot 25 CON 2 Except PT 1 12R8986**  
**ZBA/34/18**



Schedule "A", Map 25 of By-law 1-2014 is hereby requesting changing the zone symbol as shown on Schedule 'A' in cross-hatch attached hereto from 'Agriculture (A1)' to 'Agriculture - Restricted (A2)'.



2021 Division Road North  
Kingsville, Ontario N9Y 2Y9  
(519) 733-2305  
www.kingsville.ca  
kingsvilleworks@kingsville.ca

**Date:** November 30, 2018

**To:** Mayor and Council

**Author:** Kristina Brcic, MSc, BURPI  
Town Planner

**RE:** Application for Zoning By-law Amendment ZBA/34/18 by Maurice  
Trepanier  
882 County Rd 8, Pt Lot 25, CON 2, Except Pt 1 12R8986

**Report No.:** PDS 2018-063

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## **AIM**

To provide the Town of Kingsville Council with information regarding the requested Zoning By-law Amendment for lands known as 882 County Rd 8, Part Lot 25, Concession 2, Except Part 1 on 12R8986, as a condition of consent under file B/16/18.

## **BACKGROUND**

The subject parcel is 17 ha (42 ac.) in size and consists of two single detached dwellings, several outbuildings and vacant farmland.

At the November 20, 2018 Committee of Adjustment meeting, provisional consent was given to sever the existing dwellings and outbuildings (File B/16/18), deemed surplus to the owner.

As a condition of that consent, it was required that the retained parcel be rezoned to prohibit the construction of future dwellings. Therefore an application has been made to rezone the retained farm lot from 'Agriculture (A1)' to 'Agriculture – Restricted (A2)'. This condition is required by both Provincial and Town policies.

## **DISCUSSION**

When considering a request for a Zoning By-law Amendment, it is important to review the request on the basis of the following documents to determine whether the request is appropriate:

## **1) Provincial Policy Statement, 2014 (PPS):**

When reviewing a planning application to determine if it represents sound planning, it is imperative that the proposed development is consistent with the Provincial Policy Statement (PPS): “The Provincial Policy Statement provides policy direction for appropriate development while protecting resources of provincial interest, public health and safety, and the quality of the natural environment.”

Policy Section 2.3.4.1 states:

*Lot creation in prime agricultural areas is discouraged and may only be permitted for:*

*c) a residence surplus to a farming operation as a result of farm consolidation, provided that:*

- 1. the new lot will be limited to a minimum size needed to accommodate the use and appropriate sewage and water services; and*
- 2. the planning authority ensures that new residential dwellings are prohibited on any remnant parcel of farmland created by the severance. The approach used to ensure that no new residential dwellings are permitted on the remnant parcel may be recommended by the Province, or based on municipal approaches which achieve the same objective.*

Comment: The subject land was severed to separate a residence surplus to the needs of the farming operation. Therefore, the requested Zoning By-law Amendment from ‘Agriculture (A1)’ to ‘Agriculture – Restricted (A2)’ will ensure that the severance is consistent with the PPS by prohibiting residential development on the remnant parcel but still allow for farming operations to continue.

## **2) Town of Kingsville Official Plan**

The subject land is designated ‘Agriculture’ within the Official Plan for the Town of Kingsville. Section 3.1, pertaining to lands designated ‘Agriculture’, establishes goals to preserve prime agricultural land for agricultural purposes and restricts the type and amount of non-farm development in ‘Agriculture’ designated areas. Additionally, section 7.3.1, pertaining to Agriculture Land Division, permits the severance of a dwelling that is considered surplus to the needs of the farm operation conditional on the remnant parcel resulting from the severance being rezoned to prohibited new residential dwellings.

Comment: The requested Zoning By-law Amendment conforms to the relevant policies of the Official Plan for the Town of Kingsville.

### 3) Comprehensive Zoning By-law 1-2014

The subject land is currently zoned 'Agriculture (A1)' in the Comprehensive Zoning By-law for the Town of Kingsville. As a condition of the consent the Zoning By-law Amendment to 'Agriculture – Restricted (A2)' will prohibit new residences to be built on the retained farmland.

#### LINK TO STRATEGIC PLAN

Manage growth through sustainable planning.

#### FINANCIAL CONSIDERATIONS

There is no financial impact as a result of this zoning amendment.

#### CONSULTATIONS

##### 1) Public Consultations

In accordance to O. Reg 545/06 of the Planning Act, property owners within 120m of the subject site boundaries received the Notice of Public Meeting by mail. To date, no comments have been received by members of the public.

##### 2) Agency & Administrative Consultation

In accordance with O. Reg 545/06 of the *Planning Act*, Agencies and Town Administration received the Notice of Public Meeting by mail and/or email.

Agency or Administrator	Comment
Essex Region Conservation Authority	<ul style="list-style-type: none"><li>No objections. (See Appendix B).</li></ul>
Town of Kingsville Management Team	<ul style="list-style-type: none"><li>No concerns with the requested rezoning.</li></ul>
County of Essex	<ul style="list-style-type: none"><li>No comments expected.</li></ul>



## RECOMMENDATION

It is recommended that Council approve Zoning By-law Amendment application ZBA/34/18 to rezone the subject lands as a condition of Consent File B/16/18 from 'Agriculture (A1)' to 'Agriculture – Restricted (A2)' on the lands known as 882 Country Road 8, Part Lot 25, Concession 2, Except Part 1 on 12R8986, in the Town of Kingsville and adopt the implementing by-law.

*Kristina Brcic*

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Kristina Brcic, MSc, BURPI  
Town Planner

*Robert Brown*

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Robert Brown, H. Ba, MCIP, RPP  
Manager, Planning Services

*Peggy Van Mierlo-West*

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Peggy Van Mierlo-West, C.E.T.  
Chief Administrative Officer

Appendix A - Location Map

ZBA/34/18



**Notes**  
Enter Map Description

THIS MAP IS NOT TO BE USED FOR NAVIGATION  
Copyright the Corporation of the County of Essex, 2012. Data herein is provided by the Corporation of the County of Essex on an 'as is' basis. Assessment parcel provided by Teranet Enterprises Inc. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.



- Legend**
- Street
  - Severance
  - Kingsville Assessment

Zoning

<all other values>

- A1
- A2
- C1
- C2
- C3
- C4
- C5
- C6
- CG
- EG
- LR
- M1
- M2
- M3
- M4
- MG
- P
- PG
- R1
- R1.1
- R1.2
- R2
- R2.1
- R2.2
- R3.1
- R3.2
- R4
- RE

0 181.0Meters

12/3/2018

RG  
RR  
W  
WE



November 26, 2018

Ms. Kristina Brcic, Town Planner  
The Corporation of the Town of Kingsville  
2021 Division Road North  
Kingsville, Ontario, N9Y 2Y9

planning@erca.org  
P.519.776.5209  
F.519.776.8688  
360 Fairview Avenue West  
Suite 311, Essex, ON N8M 1Y6

Dear Ms. Brcic:

RE: Zoning By-Law Amendment ZBA-34-18 882 COUNTY RD 8 (888)  
ARN 371165000003100; PIN: 751530118  
Applicant: Maurice Trepanier

The following is provided for your information and consideration as a result of our review of Zoning By-Law Amendment ZBA-34-18. The purpose of the zoning application is to rezone a parcel of land to prohibit the construction of residential dwellings to satisfy a condition of consent (B-16-18). The subject parcel will be rezoned from Agriculture (A1) to Agriculture - Restricted (A2).

**DELEGATED RESPONSIBILITY TO REPRESENT PROVINCIAL INTEREST IN NATURAL HAZARDS, (PPS, 2014) AND REGULATORY RESPONSIBILITIES OF THE CONSERVATION AUTHORITIES ACT**

The following comments reflect our role as representing the provincial interest in natural hazards encompassed by Section 3.1 of the Provincial Policy Statement of the Planning Act as well as our regulatory role as defined by Section 28 of the Conservation Authorities Act.

The above noted lands are subject to our Development, Interference with Wetlands and Alteration to Shorelines and Watercourses Regulation under the *Conservation Authorities Act*, (Ontario Regulation No. 158/06). The parcel falls within the regulated area of the Hutchins Drain, Cameron Curry Drain and Irwin Drain. The property owner will be required to obtain a Permit and/or Clearance from the Essex Region Conservation Authority prior to any construction or site alteration or other activities affected by the regulations. Our office has no regulatory concerns associated with this application for rezoning.

**WATERSHED BASED RESOURCE MANAGEMENT AGENCY**

The following comments are provided in an advisory capacity as a public commenting body on matters related to watershed management.

Our office has reviewed the proposal and has no concerns relating to stormwater management.

**PLANNING ADVISORY SERVICE TO MUNICIPALITIES - NATURAL HERITAGE POLICIES OF THE PPS, 2014**



Ms. Brcic

November 26, 2018

The following comments are provided from our perspective as a service provider to the Municipality on matters related to natural heritage and natural heritage systems. The comments in this section do not necessarily represent the provincial position and are advisory in nature for the consideration of the Municipality as the planning authority.

The subject property is not within or adjacent to any natural heritage feature that may meet the criteria for significance under the Provincial Policy Statement (PPS 2014). Based on our review, we have no objection to the application with respect to natural heritage policies.

### **FINAL RECOMMENDATION**

Our office has no concerns with this application for zoning by-law amendment.

If you have any questions or require any additional information, please contact the undersigned.

Sincerely,



Michael Nelson, BSc, MSc (Planning)

*Watershed Planner*

/mn



THE CORPORATION OF THE TOWN OF KINGSVILLE

BY-LAW 129-2018

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***Being a By-law to amend By-law No. 1-2014,  
the Comprehensive Zoning By-law for the Town of Kingsville***

**WHEREAS** By-law No. 1-2014 is the Town's Comprehensive Zoning By-law to regulate the use of land and the character, location and use of buildings and structures in the Town of Kingsville;

**AND WHEREAS** the Council of the Corporation of the Town of Kingsville deems it expedient and in the best interest of proper planning to further amend By-law No. 1-2014 as herein provided;

**AND WHEREAS** there is an Official Plan in effect in the Town of Kingsville and this By-law is deemed to be in conformity with the Town of Kingsville Official Plan;

**NOW THEREFORE THE COUNCIL FOR THE CORPORATION OF THE TOWN OF KINGSVILLE ENACTS AS FOLLOWS:**

1. Schedule "A", Map 25 of By-law 1-2014 is hereby amended by changing the zone symbol on an approximately 15.67 ha (38.714 ac.) portion of land, known municipally as 882 County Road 8, in Part Lot 25, Concession 2, Except Part 1 on 12R8986, as shown on Schedule 'A' in cross-hatch attached hereto from 'Agriculture (A1)' to 'Agriculture - Restricted (A2)'.
2. This by-law shall come into force and take effect from the date of passing by Council and shall come into force in accordance with Section 34 of the Planning Act.

READ a FIRST, SECOND and THIRD time and FINALLY PASSED this 10<sup>th</sup> day of December, 2018.

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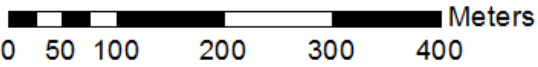
**MAYOR, Nelson Santos**

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**CLERK, Jennifer Astrologo**



Schedule A



**882 County Road 8**  
**Part Lot 25 CON 2 Except PT 1 12R8986**  
**ZBA/34/18**



Schedule "A", Map 25 of By-law 1-2014 is hereby amended by changing the zone symbol as shown on Schedule 'A' in cross-hatch attached hereto from 'Agriculture (A1)' to 'Agriculture - Restricted (A2)'.



**Town of Kingsville  
Council Summary Report  
2018**

**Cheque Distributions for the Month of:**

**NOVEMBER**

**Department Summary:**

Dept. No.	Department Name	Amount
	Credit Card Transactions	\$ 3,484.25
000	Default - Clearing	\$ 416,861.96
110	Council	\$ 195.36
112	General Administration	\$ 107,412.35
114	Information Technology	\$ 10,814.32
120	Animal Control	\$ 976.93
121	Fire	\$ 39,075.55
122	OPP	\$ 3,983.53
124	Building	\$ 24,657.46
130	Transportation - Public Works	\$ 555,023.96
131	Sanitation	\$ 217,875.22
151	Cemetery	\$ 14,826.67
170	Arena	\$ 26,806.87
171	Parks	\$ 83,018.35
172	Fantasy of Lights	\$ 4,985.05
173	Marina	\$ 2,578.21
174	Migration Festival	\$ 4,504.67
175	Recreation Programs	\$ 5,125.52
176	Communities in Bloom	\$ -
178	Facilities	\$ 37,377.46
180	Planning	\$ 18,948.48
181	BIA	\$ 34,213.08
184	Accessibility Committee	\$ 172.99
185	Tourism & Economic Development Committee	\$ 4,758.69
186	Heritage Committee	\$ 999.50
201	Environmental - Water	\$ 122,998.86
242	Kingsville/Lakeshore West Wastewater	\$ 339,732.72
243	Cottam Wastewater	\$ 53,633.43

**Total of Current Expenditures:** \$ 2,135,041.44

*\*Note HST Rebate details are omitted, but are included in the totals*

**Total Number of Current Cheques Issued:** 340

**Comparison Data:**

**NOVEMBER 2017**

**Total of Approved Expenditures:** \$ 1,449,611.94

**Total Number of Cheques Issued:** 310

*\* denotes monies to be recouped, billed to third party*



**Council Summary Report  
Credit Card Transactions  
November 2018**

<b>Cheque Number</b>	<b>Cheque Date</b>	<b>Vendor Name</b>	<b>Description</b>	<b>Account</b>	<b>Amount</b>
67290	11/23/2018	TD Canada Trust - RM Visa	Diamond Conf Hotel - D Broda	01-112-098-60254	\$ 885.80
67290	11/23/2018	TD Canada Trust - RM Visa	Posting - Town Planner	01-112-099-60306	\$ 477.25
67290	11/23/2018	TD Canada Trust - RM Visa	Corp Services Reference Books	01-112-099-60320	\$ 209.10
67290	11/23/2018	TD Canada Trust - RM Visa	Candy Canes - Santa Dinner	01-172-099-60623	\$ 170.73
67290	11/23/2018	TD Canada Trust - RM Visa	Parade Awards	01-174-099-60608	\$ 111.94
67290	11/23/2018	TD Canada Trust - RM Visa	OIT Cert - J Godin	02-201-098-60254	\$ 40.00
67290	11/23/2018	TD Canada Trust - RM Visa	OIT Cert - J Godin	02-201-098-60254	\$ 40.00
67290	11/23/2018	TD Canada Trust - RM Visa	Safe Operator Training - 1 Day	02-201-098-60254	\$ 648.00
67289	11/23/2018	TD Canada Trust - PVMW	Warden's Banquet - T Gaffan	01-110-103-60253	\$ 101.76
67289	11/23/2018	TD Canada Trust - PVMW	Warden's Banquet - T Neufeld	01-110-105-60253	\$ 50.88
67289	11/23/2018	TD Canada Trust - PVMW	Rental Dep - 2019 Bus Awards	01-112-006-12085	\$ 200.00
67289	11/23/2018	TD Canada Trust - PVMW	Dep Rental - Council Orientation	01-112-006-12085	\$ 100.00
67289	11/23/2018	TD Canada Trust - PVMW	Meeting - Mayor/Minister	01-112-099-60317	\$ 62.65
67289	11/23/2018	TD Canada Trust - PVMW	Flower arrangement - Ross Levy	01-112-099-60317	\$ 86.44
67289	11/23/2018	TD Canada Trust - PVMW	Morning meeting	01-112-099-60317	\$ 34.15
67289	11/23/2018	TD Canada Trust - PVMW	OGVG Refreshments	01-112-099-60317	\$ 73.06
67289	11/23/2018	TD Canada Trust - PVMW	Mig Fest - Parade candy	01-174-099-60821	\$ 192.49
TD Canada Trust - NS Visa					\$ -
<b>Total Credit Card Transactions</b>					<b>\$ 3,484.25</b>

**Town of Kingsville  
Council Summary Report**

**Ranges:** From:  
**Vendor ID:** First  
**Vendor Name:** First  
**Cheque Date:** 11/1/2018  
**Sorted By:** Cheque Number

**To:**  
**Last**  
**Last**  
11/30/2018

Distribution Types Included: PURCH

Cheque Number	Cheque Date	Vendor Name	Description	Amount
<b>Total For Department</b>				<b>\$0.00</b>
<u>000</u>	-			
0067124 ✕	11/15/2018	Bondy, Riley, Koski	REGISTRATION AGR/03/18 01-000-020-22301	\$333.67
0067124 ✕	11/15/2018	Bondy, Riley, Koski	REGISTRATION SPA/14/18 01-000-020-22304	\$333.67
0067129 ✕	11/15/2018	Anthony Burrell & Diane Balen	DEP REFUND - 279 HERITAGE RD 01-000-000-21413	\$150.00
0067145 ✕	11/15/2018	Pauline Creedy	DEP REFUND - 3068 CENTENNIAL 01-000-000-21410	\$1,000.00
0067154 ✕	11/15/2018	Denotter Farms	DEP REFUND - 1240 ROAD 3 E 01-000-000-21410	\$1,000.00
0067166 ✕	11/15/2018	Erie Accent Pools & Spas	DEP REFUND - 770 NORTH TALBOT 01-000-000-21410	\$1,000.00
0067181 ✕	11/15/2018	Daniel Haggins	DEP REFUND - 499 ROAD 2 W 01-000-000-21410	\$1,000.00
0067188 ✕	11/15/2018	I.B.E.W. #636	REMITTANCE 01-000-000-21006	\$826.55
0067188 ✕	11/15/2018	I.B.E.W. #636	REMITTANCE 01-000-000-21006	\$1,532.80
0067189 ✕	11/15/2018	Jeff Shepley Excavating Ltd.	EMERG ROAD REPAIR - ROAD 5 W 01-000-006-13199	\$3,235.90
0067195 ✕	11/15/2018	Kingsville Fire Fighter Assoc	REMITTANCE 01-000-000-21014	\$348.00
0067196 ✕	11/15/2018	Lakepoint Homes	DEP REFUND - 40 NORMANDY AVE 01-000-000-21410	\$1,000.00
0067208 ✕	11/15/2018	Ministry of Finance (Tile Loan)	TITLE DEBENTURE 98-2013 01-000-052-60441	\$2,471.16
0067208 ✕	11/15/2018	Ministry of Finance (Tile Loan)	TITLE DEBENTURE 98-2013 01-000-052-60442	\$1,034.23
0067208 ✕	11/15/2018	Ministry of Finance (Tile Loan)	TITLE DEBENTURE 115-2012 01-000-052-60441	\$2,680.35
0067208 ✕	11/15/2018	Ministry of Finance (Tile Loan)	TITLE DEBENTURE 115-2012 01-000-052-60442	\$906.56
0067224 ✕	11/15/2018	Pearsall Marshall Halliwell & Se	ROAD USE AGRMT MATTER 18-0990 01-000-006-13199	\$1,575.00
0067235 ✕	11/15/2018	RC Spencer Associates Inc.	SERVICES - SEPT 2018 01-000-006-13201	\$5,815.58
0067235 ✕	11/15/2018	RC Spencer Associates Inc.	MORLEY/WIGLE DRAIN 01-000-023-14080	\$305.28
0067242 ✕	11/15/2018	Sensible Septoc Design & Maint	DEP REFUND - CONTRACTOR DEP 01-000-000-21412	\$2,500.00

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067258	✖ 11/15/2018	Julie Thibeault	DEP REFUND - PAVILLION 01-000-030-21383	\$32.40
0067272	11/15/2018	Workplace Safety & Insurance E	REMITTANCE 01-000-000-21007	\$10,481.33
0067291	✖ 11/28/2018	1552843 Ont Ltd.	REFUND - GREENHILL LANE 01-000-000-21413	\$150.00
0067295	✖ 11/28/2018	Allsop Plumbing	REFUND - 1 MAIN ST W 01-000-000-21413	\$150.00
0067304	✖ 11/28/2018	Mary Elizabeth Bickford	REFUND - 985 BRIARWOOD CRES 01-000-000-21413	\$150.00
0067307	✖ 11/28/2018	Robert Brown	USB DRIVES - EFILES TO LPAT 01-000-020-22295	\$12.20
0067307	✖ 11/28/2018	Robert Brown	USB DRIVES - EFILES TO LPAT 01-000-020-22292	\$12.20
0067312	✖ 11/28/2018	Chapman Signs	STREET SIGNS 01-000-006-13199	\$782.88
0067321	✖ 11/28/2018	David DelGreco	DEP REF - 1500 UNION AVE 01-000-000-21413	\$150.00
0067332	✖ 11/28/2018	David Fehr	REFUND - VAC LOT CON 9 W 01-000-000-21413	\$150.00
0067332	✖ 11/28/2018	David Fehr	DEP REFUND-928 WRIDE AVE 01-000-000-21413	\$150.00
0067333	✖ 11/28/2018	Mark Ferris	TITLE LOAN 89-2018 01-000-099-60348	\$47,300.00
0067336	✖ 11/28/2018	Tony Gaffan	REFUND-ELECTION NOMINATION FEE 01-000-031-21420	\$100.00
0067338	✖ 11/28/2018	Kim Gilliland	REFUND-ELECTION NOMINATION FEE 01-000-031-21420	\$100.00
0067354	✖ 11/28/2018	John Kolbrick	DEP REFUND - 74 LAUREL ST 01-000-000-21410	\$572.61
0067361	✖ 11/28/2018	Jacob Peter Martens	RFD-PD RUSCOM RV DRAIN MTCEX2 01-000-023-14125	\$201.61
0067362	✖ 11/28/2018	Ted Mastronardi	REFUND-ELECTION NOMINATION FEE 01-000-031-21420	\$100.00
0067364	✖ 11/28/2018	Minister of Finance (Fynbo)	CLAIM NO. SC-17-58242 01-000-000-21016	\$90.57
0067372	✖ 11/28/2018	N.J. Peralta Engineering Ltd.	SCRATCH WIGLE DRAIN 01-000-006-13112	\$8,215.08
0067376	✖ 11/28/2018	HYDRO ONE	1 CONC LOT 22 MOROUN PUMP ST 01-000-023-14080	\$86.96
0067381	✖ 11/28/2018	Peanut Centre & Nursery	2018 TREE PLANTINGS 01-000-006-13199	\$1,080.00
0067385	✖ 11/28/2018	Pro Bid Contractors Ltd.	REF DEPOSIT-1919 SETTERINGTON 01-000-000-21413	\$150.00
0067387	✖ 11/28/2018	Purolator Courier Service	COURIER FEES 01-000-020-22295	\$33.67
0067387	✖ 11/28/2018	Purolator Courier Service	COURIER FEES 01-000-020-22292	\$36.47
0067389	✖ 11/28/2018	Gord Queen	REFUND-ELECTION NOMINATION FEE 01-000-031-21420	\$100.00
0067390	✖ 11/28/2018	RC Spencer Associates Inc.	ROAD 11 WATER WORKS PETITION 01-000-006-13201	\$9,020.25
0067390	✖ 11/28/2018	RC Spencer Associates Inc.	ROAD 11 EAST WATERMAIN 01-000-006-13201	\$9,020.25
0067401	✖ 11/28/2018	Andrea Shaughnessy	DEP REFUND-1056 MAPLE AVE 01-000-000-21413	\$150.00
0067402	✖ 11/28/2018	Sherway Contracting	34 ROAD 11 EAST WATERMAIN-PPC #1 01-000-006-13201	\$282,347.85

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067409 ✕	11/28/2018	Wayne & Connie Stockwell	DEP REFUND-182 CTY RD 27 E 01-000-000-21413	\$150.00
0067410 ✕	11/28/2018	Sunparlour Machine Maintenance	PHRAGMITES 2018 01-000-023-14080	\$6,919.68
0067410 ✕	11/28/2018	Sunparlour Machine Maintenance	PHRAGMITES 2018 01-000-023-14080	\$7,530.24
0067410 ✕	11/28/2018	Sunparlour Machine Maintenance	PHRAGMITES 2018 01-000-023-14080	\$2,136.96
0067413 ✕	11/28/2018	Dalen Toews	DEP REF-LOT W OF 101 GLADSTONE 01-000-000-21413	\$150.00

**Total For Department 000 \$416,861.96**

## 110

0067234	11/15/2018	Gord Queen	MILEAGE 01-110-101-60253	\$81.22
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-110-099-60327	\$45.79
0067389	11/28/2018	Gord Queen	MILEAGE - NOV 16 & 24, 2018 01-110-101-60253	\$68.35

**Total For Department 110 \$195.36**

## 112

0067115	11/15/2018	AMCTO	2019 MEMBERSHIP - J ASTROLOGO 01-112-006-12085	\$214.71
0067118	11/15/2018	Jennifer Astrologo	MILEAGE 01-112-099-60400	\$326.89
0067120	11/15/2018	Roberta Baines	TRAVEL - AMCTO 2018 CANNABIS 01-112-098-60254	\$275.41
0067123	11/15/2018	Boghossian + Allen LLP	INSURANCE - REID 01-112-099-60313	\$12,969.37
0067125	11/15/2018	Diane Broda	TRAVEL - CENTRAL SQUARE CONF 01-112-098-60254	\$129.09
0067130	11/15/2018	Canada Post Corporation	ELECTION 01-112-099-60325	\$3.56
0067130	11/15/2018	Canada Post Corporation	ELECTION 01-112-099-60325	\$2,974.65
0067132	11/15/2018	Canadian Network of Asset Mar	MEMBERSHIP RENEWAL - PLANCKE 01-112-006-12085	\$276.86
0067133 ✕	11/15/2018	Isabel Carreira	BRANCO & CORNIES - NOV 3/18 01-112-072-60129	\$271.58
0067136	11/15/2018	Chapman Signs	NAME PLATES - NEW COUNCILLORS 01-112-099-60301	\$87.72
0067137	11/15/2018	Cintas Canada Limited	TOWN HALL - MATS 01-112-099-60315	\$81.69
0067139	11/15/2018	Colasanti Farms Ltd	OGVG COMM EGAGEMENT DINNER 01-112-099-60317	\$1,090.46
0067141	11/15/2018	Community Heritage Ontario	MEMBERSHIP RENEWAL 2019 01-112-006-12085	\$75.00
0067142	11/15/2018	Compugen Inc.	35 TREASURY COPIES 01-112-099-60301	\$669.57

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067146	11/15/2018	Culligan Water	WATER COOLER - LUNCHROOM 01-112-099-60311	\$28.44
0067149	11/15/2018	dB Media	BILLBOARDS 01-112-006-12085	\$6,105.60
0067157	11/15/2018	Dominion Voting Systems	2018 ELECTION 01-112-099-60325	\$4,581.23
0067165	11/15/2018	Ergonow Incorporated	OFFICE CHAIR 01-112-099-60358	\$726.56
0067171	11/15/2018	Essex County Locksmiths	OPEN LOCKBOX 01-112-099-60315	\$61.06
0067174	11/15/2018	Jennifer Galea	ELECTION DAY - FOOD 01-112-099-60325	\$67.80
0067175	11/15/2018	Tanner Gallant	POLICE CHECK&DRIVERS ABSTRACT 01-112-099-60317	\$37.00
0067184	11/15/2018	Hicks Morley Hamilton Stewart &	PROF FEES - LEGAL/HR 01-112-099-60319	\$498.12
0067191	11/15/2018	Kavanaugh, Milloy	PROF FEES - LEGAL/HR 01-112-099-60319	\$274.75
0067191	11/15/2018	Kavanaugh, Milloy	PROF FEES - LEGAL/HR 01-112-099-60319	\$567.82
0067194	11/15/2018	Kercz International Ltd	MGMT DEVELOPMENT ASSESSMENT 01-112-099-60326	\$3,943.20
0067197	11/15/2018	Local Authority Services Ltd.	LAS-CLSED METT/INVEST RETAINER 01-112-099-60319	\$335.81
0067202 *	11/15/2018	Linda Lyman	PAPINEAU/SHYMANSKI, OCT 27/18 01-112-072-60129	\$271.58
0067204	11/15/2018	Marianne Love Consulting Servi	JOB EVALUATION AND PAY EQUITY 01-112-360-71721	\$2,664.07
0067206	11/15/2018	McTague Law Firm		\$1,139.86
0067207	11/15/2018	Merchant Paper Company	01-112-099-60319 TOWN HALL - SUPPLIES	\$450.12
0067210	11/15/2018	Monarch Office Supply	01-112-099-60315 OFFICE SUPPLIES - SEPT 2018	\$425.24
0067210	11/15/2018	Monarch Office Supply	01-112-099-60301 OFFICE SUPPLIES - SEPT 2018	\$7.90
0067210	11/15/2018	Monarch Office Supply	01-112-099-60317 FIX FILING DRAWERS-ASTROLOGO	\$152.64
0067210	11/15/2018	Monarch Office Supply	01-112-099-60315 OFFICE SUPPLIES - OCT 2018	\$618.55
0067210	11/15/2018	Monarch Office Supply	01-112-099-60301 OFFICE SUPPLIES - OCT 2018	\$7.65
0067210	11/15/2018	Monarch Office Supply	01-112-099-60317 OFFICE SUPPLIES - OCT 2018	\$77.85
0067218	11/15/2018	New Designs Flowers & Gifts	01-112-099-60325 FLOWERS - JOHN DRIEDGER	\$94.58
0067219	11/15/2018	OAPSB	01-112-099-60317 OAPSB MEMBERSHIP - 2019	\$684.06
0067221	11/15/2018	HYDRO ONE	01-112-006-12085 2021 DIVISION ADMIN J027150	\$2,165.09
0067223	11/15/2018	Ontario Professional Planners Ir	01-112-099-60314 JOB POSTING - TOWN PLANNER	\$814.08
0067233	11/15/2018	Purolator Courier Service	01-112-099-60306 COURIER FEES	\$27.20
0067233	11/15/2018	Purolator Courier Service	01-112-099-60305 COURIER FEES	\$20.71
0067233	11/15/2018	Purolator Courier Service	01-112-099-60305 COURIER FEES	\$27.20

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067245	11/15/2018	Shred-It International ULC	RECORDS ARCHIVE DESTRUCTION 01-112-099-60317	\$95.95
0067247	11/15/2018	Sims Publications Incorporated	SUBSCRIPTION RENEWAL 01-112-099-60320	\$48.80
0067247	11/15/2018	Sims Publications Incorporated	BUSINESS CARDS - V SAWATZKY 01-112-099-60301	\$86.50
0067247	11/15/2018	Sims Publications Incorporated	2019 DOG TAG FORMS 01-112-006-12085	\$483.36
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-112-099-60327	\$183.17
0067275	11/15/2018	Vanessa Young-Tome	XMAS PARTY - DJ SERVICES 01-112-099-60317	\$400.00
0067280	11/22/2018	KK Counselling & Serenity Seek	PLAQUES - OUTGOING MEMBERS 01-112-099-60317	\$213.70
0067297	11/28/2018	AMCTO	2019 MEMBERSHIP - S KITCHEN 01-112-006-12085	\$402.97
0067297	11/28/2018	AMCTO	2019 MEMBERSHIP - P VM WEST 01-112-006-12085	\$402.97
0067297	11/28/2018	AMCTO	2019 MEMEBERSHIP - R BAINES 01-112-006-12085	\$402.97
0067297	11/28/2018	AMCTO	2019 MEMBERSHIP - D BRODA 01-112-099-60320	\$402.97
0067299	11/28/2018	Attache Group Inc.	BARRACUDA RENEWAL-2019 01-112-006-12085	\$10,974.81
0067302	11/28/2018	Bell Canada	2021 DIVISION (PIPE) 01-112-099-60327	\$559.68
0067302	11/28/2018	Bell Canada	2021 DIVISION RD N 01-112-099-60327	\$644.96
0067313	11/28/2018	Cintas Canada Limited	TOWN HALL - MATS 01-112-099-60315	\$81.69
0067314	11/28/2018	Compugen Finance Inc.	TOWN HALL COPIER LEASE 01-112-099-60311	\$768.94
0067322	11/28/2018	D.H.Kingsville Investments Inc	MEDICAL CENTRE RENT 01-112-099-60366	\$3,013.68
0067331	11/28/2018	Essex County Agricultural Hall c	MEMBERSHIP-AGRI HALL OF FAME 01-112-099-60320	\$50.00
0067335	11/28/2018	Flags Unlimited	CANADIAN FLAGS x 10 01-112-099-60317	\$761.72
0067339	11/28/2018	Global Leasing	PHOTOCOPIER LEASE-JAN-MAR 2019 01-112-006-12085	\$358.77
0067352	11/28/2018	Kingsville Home Hardware	BATTERIES 01-112-099-60315	\$9.66
0067353	11/28/2018	Kingsville Non Profit Port Manag	ARBITRATION AWARD RULE21MOTION 01-112-099-60319	\$31,691.22
0067356	11/28/2018	LexisNexis Canada Inc.	2019 ONT MUNICIPAL ACT&COMMENT 01-112-099-60320	\$220.23
0067368	11/28/2018	Municipal Finance Off. Assoc.	MFOA MEMBERSHIP - 2019 01-112-006-12085	\$320.54
0067375	11/28/2018	Ontario Good Roads Associatio	2019 OGRA MEMBERSHIP 01-112-006-12085	\$1,284.36
0067380	11/28/2018	Pearsall Marshall Halliwell & Se	REG OF BYLAW 56-2018 PALMER DR 01-112-099-60319	\$802.31
0067380	11/28/2018	Pearsall Marshall Halliwell & Se	ERCA TRANS OF PROP FR WIGLE ES 01-112-099-60319	\$628.88
0067387	11/28/2018	Purolator Courier Service	COURIER FEES 01-112-099-60305	\$27.32
0067387	11/28/2018	Purolator Courier Service	37 COURIER FEES 01-112-099-60305	\$51.56



# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067393	11/28/2018	R. Moir Cleaning Service	CLEANING - TOWN HALL 01-112-099-60315	\$2,442.24
0067405	11/28/2018	Sims Publications Incorporated	AD - REMEMBRANCE DAY 01-112-099-60306	\$151.01
0067405	11/28/2018	Sims Publications Incorporated	AD - DOG BYLAWS 01-112-099-60306	\$163.48
0067408	11/28/2018	Stone Orchard Software	SOFTWARE MAINTENANCE - 2019 01-112-006-12085	\$2,123.43
0067415	11/28/2018	Transportation Association of C	2019 ANNUAL DUES 01-112-006-12085	\$498.62
0067416	11/28/2018	Tri-County Copiers Plus	ARENA/ADMIN COPIES 01-112-099-60311	\$137.92
0067418	11/28/2018	Union Gas Limited	2021 DIVISION RD N TOWN HALL 01-112-099-60314	\$199.63

**Total For Department 112 \$107,412.35**

## 114

0067116	11/15/2018	Applied Computer Solutions Inc	SERVICE WORK - OCTOBER 01-114-099-60310	\$763.20
0067168	11/15/2018	eSCRIBE Software Ltd	ESCRIBE MAINTENANCE & APP 01-114-099-60309	\$7,186.29
0067187	11/15/2018	Tony Iacobelli	MILEAGE 01-114-099-60400	\$41.60
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-114-099-60327	\$91.58
0067347	11/28/2018	Tony Iacobelli	STAPLES - OFFICE SUPPLIES 01-114-099-60301	\$21.30
0067347	11/28/2018	Tony Iacobelli	ASS CELL PHONE/CABLE/PWR ADAPT 01-114-099-60308	\$107.64
0067403	11/28/2018	SHI CANADA ULC	SECURITY SOFTWARE 01-114-360-71869	\$2,602.71

**Total For Department 114 \$10,814.32**

## 120

0067327	11/28/2018	Erie Veterinary Hospital	CAT VOUCHER PROGRAM 01-120-280-60377	\$75.00
0067327	11/28/2018	Erie Veterinary Hospital	CAT VOUCHER PROGRAM 01-120-280-60377	\$150.00
0067329	11/28/2018	Essex Free Press	AD - DOGS BY-LAW CHANGES 01-120-099-60306	\$182.07
0067369	11/28/2018	Municipality of Leamington	ANIMAL CONTROL-TRAPPING 01-120-280-60124	\$569.86

**Total For Department 120 \$976.93**

## 121

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067109	11/15/2018	Accent Safety Training & Consu	CHAINSAW OPERATION 01-121-072-60118	\$3,205.44
0067111	11/15/2018	A.J. Stone Company Ltd.	HELMET - SHEPLEY 01-121-099-60701	\$445.01
0067112	11/15/2018	AKA Solutions O/A Blacks Adve	SPECIALTY TEAM EQUIPMENT 01-121-099-60756	\$2,307.91
0067127	11/15/2018	B&S Emblem Limited	UNIFORMS - CRESTS 01-121-072-60216	\$506.76
0067137	11/15/2018	Cintas Canada Limited	FIRE - MATS 01-121-099-60315	\$40.56
0067137	11/15/2018	Cintas Canada Limited	FIRE - MATS 01-121-099-60315	\$70.67
0067148	11/15/2018	Darch Fire	UNIT 123 - REPLACEMENT CHARGER 01-121-099-60316	\$2,112.38
0067148	11/15/2018	Darch Fire	UNIT 219 - REPLACE TRANSDUCER 01-121-099-60316	\$1,740.01
0067148	11/15/2018	Darch Fire	FORT GARRY - PUMP SERVICE 01-121-099-60316	\$423.08
0067148	11/15/2018	Darch Fire	FORT GARRY - TANK LEAK 01-121-099-60316	\$829.00
0067148	11/15/2018	Darch Fire	E-COUNTER BALANCE VALVES 01-121-099-60316	\$784.26
0067148	11/15/2018	Darch Fire	UNIT 219 - PUMP SERVICE 01-121-099-60316	\$744.78
0067148	11/15/2018	Darch Fire	FORT GARRY - PUMP SERVICE 01-121-099-60316	\$516.69
0067148	11/15/2018	Darch Fire	METALFAB - PUMP SERVICE 01-121-099-60316	\$516.69
0067148	11/15/2018	Darch Fire	FIRE HOSE 01-121-100-60352	\$3,235.97
0067150	11/15/2018	Jeff Dean	TECH RESCUE - TEAM LUNCH 01-121-098-60254	\$54.17
0067151	11/15/2018	Amanda Dean	PHONECASE BELT CLIP 01-121-099-60327	\$34.73
0067151	11/15/2018	Amanda Dean	PHONECASE BELT CLIP 01-121-099-60327	\$34.73
0067161	11/15/2018	Economy Rental Centre	CHAINSAW REPAIR 01-121-099-60316	\$56.73
0067161	11/15/2018	Economy Rental Centre	CHAINSAW 01-121-099-60358	\$2,004.62
0067161	11/15/2018	Economy Rental Centre	REPAIR CHAINSAW 01-121-099-60316	\$553.03
0067161	11/15/2018	Economy Rental Centre	REPAIR CHAINSAW 01-121-099-60316	\$70.16
0067164	11/15/2018	E.L.K. Energy Inc	120 FOX ST 01-121-099-60314	\$207.53
0067173	11/15/2018	Fisher's Regalia & Uniform Ac	NEW RECRUIT BADGES 01-121-072-60216	\$740.40
0067180	11/15/2018	Gosfield North Communications	COTTAM FIRE HALL 01-121-099-60327	\$126.46
0067185	11/15/2018	Sean Humenny	TECH RESCUE - TEAM WATER 01-121-098-60254	\$19.10
0067200	11/15/2018	Tyler Lloyd	TRAVEL-ROPES COURSE OCT 27/18 01-121-098-60254	\$86.06
0067200	11/15/2018	Tyler Lloyd	TRAVE-ROPES COURSE OCT 27/18 01-121-098-60254	\$70.21
0067207	11/15/2018	Merchant Paper Company	39 FIRE - SUPPLIES 01-121-099-60315	\$243.94

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - SEPT 2018 01-121-099-60301	\$179.25
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - SEPT 2018 01-121-099-60317	\$36.68
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-121-099-60301	\$272.39
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-121-099-60317	\$36.68
0067211	11/15/2018	Scott Moore	FIRE PREVENTION WEEK - MEALS 01-121-099-60317	\$165.78
0067213	11/15/2018	Municipality of Leamington (LKF	TRAINING 01-121-072-60118	\$204.94
0067233	11/15/2018	Purolator Courier Service	COURIER FEES 01-121-099-60305	\$3.99
0067243	11/15/2018	Dorothy Shepley (fire)	JANITORIAL 01-121-099-60341	\$333.33
0067249	11/15/2018	Southwest Diesel Service Inc	218 TANK 01-121-099-60316	\$1,217.09
0067249	11/15/2018	Southwest Diesel Service Inc	ANNUAL SAFETY 01-121-099-60316	\$255.92
0067249	11/15/2018	Southwest Diesel Service Inc	215 TRAILER PLUG 01-121-099-60316	\$149.28
0067249	11/15/2018	Southwest Diesel Service Inc	220 - OIL SERVICE 01-121-099-60316	\$783.61
0067249	11/15/2018	Southwest Diesel Service Inc	122 - CHECK BATTERY 01-121-099-60316	\$97.08
0067249	11/15/2018	Southwest Diesel Service Inc	124 - OIL, INSPECTION, REPAIR 01-121-099-60316	\$604.88
0067249	11/15/2018	Southwest Diesel Service Inc	218 - WASHER LINE 01-121-099-60316	\$48.61
0067249	11/15/2018	Southwest Diesel Service Inc	215 - REPAIR 01-121-099-60316	\$256.18
0067254	11/15/2018	Talbot Marketing Inc.	UNIFORMS 01-121-072-60216	\$65.94
0067254	11/15/2018	Talbot Marketing Inc.	DRESSWEAR 01-121-072-60216	\$3,501.25
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-121-099-60327	\$157.73
0067257	11/15/2018	Thames Communications Ltd.	PAGER 01-121-099-60316	\$97.89
0067257	11/15/2018	Thames Communications Ltd.	PAGER 01-121-099-60316	\$77.28
0067261	11/15/2018	Town of Kingsville (water)	120 FOX ST 01-121-099-60314	\$123.95
0067267	11/15/2018	Windsor Factory Supply	VULCAN CHARGER 01-121-099-60316	\$38.19
0067267	11/15/2018	Windsor Factory Supply	AIR COUPLER 01-121-099-60316	\$42.29
0067273	11/15/2018	Work Authority	BOOTS - HALSEY 01-121-072-60216	\$86.49
0067274	11/15/2018	Xerox Canada Ltd.	FIRE - COPIES 01-121-099-60311	\$55.54
0067286	11/23/2018	Allstream Business Inc	FIRE EMERG CALLS - 733-2399 01-121-099-60327	\$43.34
0067293	11/28/2018	A.J. Stone Company Ltd.	COMBUSTIBLE SENSOR 01-121-099-60316	\$344.71
0067293	11/28/2018	A.J. Stone Company Ltd.	40 DECON PAK 01-121-099-60358	\$1,166.22

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067294	11/28/2018	AKA Solutions O/A Blacks Adve	GLOVES 01-121-072-60216	\$66.14
0067305	11/28/2018	Laurie Bilokraly	LAMINATE KINGSVILLE MAPS 01-121-099-60317	\$24.42
0067313	11/28/2018	Cintas Canada Limited	FIRE - MATS 01-121-099-60315	\$40.56
0067313	11/28/2018	Cintas Canada Limited	FIRE - MATS 01-121-099-60315	\$70.67
0067318	11/28/2018	Jeff Dean	ROPES COURSE - MEALS & TRAVEL 01-121-098-60254	\$392.02
0067318	11/28/2018	Jeff Dean	O AFC ANNUAL MEETING-TRAVEL 01-121-098-60254	\$470.62
0067320	11/28/2018	DeLage Landen	FIRE - COPIER LEASE 01-121-099-60311	\$137.83
0067334	11/28/2018	Fireservice Management Ltd.	EQUIPMENT REPAIR 01-121-099-60316	\$115.27
0067334	11/28/2018	Fireservice Management Ltd.	EQUIPMENT REPAIR 01-121-099-60316	\$177.49
0067344	11/28/2018	Sean Humenny	BEST BUY - TRIPOD 01-121-100-60710	\$71.22
0067348	11/28/2018	Inland Liferrafts & Marine Limitec	FIRE - SEPCIALTY TEAM EQUIP 01-121-099-60756	\$555.68
0067350	11/28/2018	Jim's Division Auto Ltd	CAR 3 - COOLANT 01-121-099-60316	\$45.86
0067352	11/28/2018	Kingsville Home Hardware	LIGHT BULBS 01-121-099-60315	\$14.24
0067352	11/28/2018	Kingsville Home Hardware	FACILITY MAINTENANCE 01-121-099-60315	\$13.48
0067352	11/28/2018	Kingsville Home Hardware	RESCUE TRAILER 01-121-099-60316	\$9.67
0067352	11/28/2018	Kingsville Home Hardware	FORCIBLE ENTRY TRAINING 01-121-072-60118	\$22.55
0067352	11/28/2018	Kingsville Home Hardware	FUEL 01-121-099-60340	\$109.78
0067352	11/28/2018	Kingsville Home Hardware	REPLACE TARPS 01-121-099-60316	\$67.10
0067352	11/28/2018	Kingsville Home Hardware	FACILITY MAINTENANCE 01-121-099-60315	\$38.15
0067352	11/28/2018	Kingsville Home Hardware	EQUIPMENT REPAIR 01-121-099-60316	\$13.13
0067352	11/28/2018	Kingsville Home Hardware	TRAINING 01-121-072-60118	\$12.17
0067352	11/28/2018	Kingsville Home Hardware	FIRE PREVENTION SIGN 01-121-099-60315	\$1.82
0067352	11/28/2018	Kingsville Home Hardware	TRAILER TV CABLE 01-121-099-60316	\$30.52
0067352	11/28/2018	Kingsville Home Hardware	TRAILER FOG MACHINE 01-121-099-60316	\$15.81
0067352	11/28/2018	Kingsville Home Hardware	TRAILER GENERATOR - GAS CAN 01-121-099-60316	\$20.34
0067352	11/28/2018	Kingsville Home Hardware	FUEL 01-121-099-60340	\$109.78
0067352	11/28/2018	Kingsville Home Hardware	SMOKE ALARM SUPPLIES 01-121-099-60711	\$68.04
0067352	11/28/2018	Kingsville Home Hardware	215 - ANITFREEZE 01-121-099-60316	\$24.38
0067366	11/28/2018	Scott Moore	4 OMFPOA MEETINGS&ROPE COURSE 01-121-098-60254	\$58.36

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067376	11/28/2018	HYDRO ONE	1720 DIVISION RD N 01-121-099-60314	\$613.62
0067378	11/28/2018	Chuck Parsons	O AFC ANNUAL MEETING - TRAVEL 01-121-099-60340	\$69.01
0067378	11/28/2018	Chuck Parsons	O AFC ANNUAL MEETING - TRAVEL 01-121-098-60254	\$390.14
0067386	11/28/2018	Public Safety Services	CAR 1 - RADIO 01-121-099-60702	\$711.30
0067387	11/28/2018	Purolator Courier Service	COURIER FEES 01-121-099-60305	\$4.08
0067391	11/28/2018	Red Recon Corp	ROPE COURSE - DEAN/MOORE 01-121-072-60118	\$1,007.42
0067396	11/28/2018	Royal Benefits Inc	BENEFIT CLAIMS - OCTOBER 01-121-072-60222	\$348.49
0067405	11/28/2018	Sims Publications Incorporated	SUBSCRIPTION RENEWAL 01-121-099-60317	\$85.05
0067407	11/28/2018	Southwest Diesel Service Inc	218 - WASHER NOZZEL 01-121-099-60316	\$126.21
0067407	11/28/2018	Southwest Diesel Service Inc	220 - DEFROST 01-121-099-60316	\$147.22
0067407	11/28/2018	Southwest Diesel Service Inc	DIESEL EXHAUST FLUID 01-121-099-60316	\$37.97
0067411	11/28/2018	Talbot Marketing Inc.	STATION CHIEF EPAULETTES 01-121-072-60216	\$64.62
0067418	11/28/2018	Union Gas Limited	120 FOX ST 01-121-099-60314	\$167.71
0067418	11/28/2018	Union Gas Limited	1720 DIVISION RD N 01-121-099-60314	\$176.46
0067426	11/28/2018	Windsor Factory Supply	SAFETY GLASSES 01-121-072-60216	\$101.56

**Total For Department 121 \$39,075.55**

## 122

0067108	11/15/2018	ABSOLUTE CANADIAN	OPP WATER 01-122-099-60317	\$52.15
0067137	11/15/2018	Cintas Canada Limited	OPP - MATS 01-122-099-60315	\$81.17
0067164	11/15/2018	E.L.K. Energy Inc	41 DIVISION ST S 01-122-099-60314	\$497.01
0067171	11/15/2018	Essex County Locksmiths	OPP - CHANGED LOCK 01-122-099-60315	\$203.52
0067180	11/15/2018	Gosfield North Communications	OPP - TALBOT ST COTTAM 01-122-099-60327	\$121.88
0067203	11/15/2018	Margie's	CELL CLEANING 01-122-099-60315	\$127.20
0067236	11/15/2018	Reliance Home Comfort	41 DIVISION ST S 01-122-099-60314	\$37.61
0067236	11/15/2018	Reliance Home Comfort	41 DIVISION ST S 01-122-099-60314	\$38.24
0067238	11/15/2018	Ricoh Canada	COPIER LEASE - OPP 01-122-099-60311	\$319.40
0067313	11/28/2018	Cintas Canada Limited	OPP - MATS 01-122-099-60315	\$81.17

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067349	11/28/2018	John and Michelle Ivanisko	COTTAM OPP LEASE 01-122-260-60342	\$540.31
0067393	11/28/2018	R. Moir Cleaning Service	CLEANING - COTTAM OPP 01-122-099-60341	\$203.52
0067393	11/28/2018	R. Moir Cleaning Service	CLEANING - K'VILLE OPP 01-122-099-60341	\$1,424.64
0067418	11/28/2018	Union Gas Limited	41 DIVISION ST S 01-122-099-60314	\$159.04
0067423	11/28/2018	Warkentin Plumbing	PLUMBING SERVICE CALL 01-122-099-60315	\$96.67

**Total For Department 122 \$3,983.53**

## 124

0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-124-099-60301	\$94.02
0067225	11/15/2018	Albert J Peach	CONTRACT SERVICE 01-124-072-60120	\$1,240.00
0067230	11/15/2018	Jean Pouliot	DEP REFUND - 4165 01-124-064-41120	\$716.80
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-124-099-60327	\$183.17
0067328	11/28/2018	ESRI Canada Limited	BLDG PERMIT IMPLEMENTATION 01-124-360-71823	\$22,062.34
0067396	11/28/2018	Royal Benefits Inc	BENEFIT CLAIMS - OCTOBER 01-124-072-60222	\$361.13

**Total For Department 124 \$24,657.46**

## 130

0067110	11/15/2018	AGO Industries Inc.	Q4 CLOTHING - PUBLIC WORKS 01-130-072-60216	\$482.37
0067114	11/15/2018	Aluminous Lighting Products	ELLIPTICAL BRACKETS 01-130-114-60413	\$1,458.22
0067114	11/15/2018	Aluminous Lighting Products	ELLIPTICAL BRACKET 01-130-114-60413	\$388.72
0067117	11/15/2018	Arbor Tree Care	TREE REMOVAL - WIGLE/MURRAY 01-130-099-60426	\$1,984.32
0067136	11/15/2018	Chapman Signs	VETERAN SPACES 01-130-132-60428	\$595.30
0067138	11/15/2018	Coco Paving Inc	DIVISION RD S MILL AND PAVE 01-130-360-71837	\$340,657.18
0067143	11/15/2018	Corp. of the County of Essex	LINE PAINTING - 2018 01-130-110-60401	\$10,883.88
0067144	11/15/2018	County Wide Tree Service	TREE REMOVAL - 83 COMMISSIONER 01-130-099-60426	\$240.15
0067144	11/15/2018	County Wide Tree Service	TREE REMOVAL-MCCALLUM CULVERT 01-130-360-71828	\$1,994.49
0067144	11/15/2018	County Wide Tree Service	TREE REMOVAL - 71 DIVISION N 01-130-099-60426	\$1,568.12
0067144	11/15/2018	County Wide Tree Service	TREE REMOVAL-1513/1516 WHITEWD 01-130-099-60426	\$3,720.34



# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067147	11/15/2018	D & L Digging	REMOVE & REPAIR STORM SEWER 01-130-099-60452	\$1,819.47
0067147	11/15/2018	D & L Digging	STORM LEAD REPAIR-1253 OXFORD 01-130-099-60452	\$1,607.81
0067147	11/15/2018	D & L Digging	REPLACE CULVERT BEHIND LIBRARY 01-130-099-60452	\$3,531.07
0067153	11/15/2018	Tim Del Greco	TRAVEL - OGRA ROAD ASSET MGMT 01-130-098-60254	\$812.09
0067155	11/15/2018	Dependable Door and Dock Ser	P&W - REPAIR BROKEN OPERATOR 01-130-099-60315	\$629.89
0067156	11/15/2018	Dillon Consulting	BRIDGE#18 - REHABILITATION 01-130-360-71825	\$1,218.80
0067156	11/15/2018	Dillon Consulting	BRIDGE#503-CULVERT REPLACEMENT 01-130-360-71828	\$2,414.52
0067156	11/15/2018	Dillon Consulting	BRIDGE#46-CULVERT REPLACEMENT 01-130-360-71827	\$542.36
0067158	11/15/2018	Dominion Tree Service Inc	TREE REMOVAL - MILL CREEK 01-130-099-60426	\$19,843.19
0067161	11/15/2018	Economy Rental Centre	ROLLER FOR MARSH RD 01-130-138-60432	\$358.19
0067164	11/15/2018	E.L.K. Energy Inc	390 MAIN ST E TRAFFIC LIGHTS 01-130-110-60402	\$51.97
0067164	11/15/2018	E.L.K. Energy Inc	WIGLE TRAFFIC LIGHTS 01-130-110-60402	\$37.94
0067164	11/15/2018	E.L.K. Energy Inc	JASPERSON TRAFFIC LIGHTS 01-130-110-60402	\$133.57
0067164	11/15/2018	E.L.K. Energy Inc	STREETLIGHTS - KINGSVILLE 01-130-114-60412	\$5,300.10
0067164	11/15/2018	E.L.K. Energy Inc	DIVISION TRAFFIC LIGHTS 01-130-110-60402	\$103.99
0067164	11/15/2018	E.L.K. Energy Inc	SPRUCE TRAFFIC LIGHTS 01-130-110-60402	\$133.57
0067164	11/15/2018	E.L.K. Energy Inc	SANTOS & MAIN TRAFFIC LIGHTS 01-130-110-60402	\$24.41
0067164	11/15/2018	E.L.K. Energy Inc	STREET LIGHTS - COTTAM 01-130-114-60412	\$1,102.27
0067169	11/15/2018	Essex Region Conservation Aut	ERCA PERMIT APP - MILL CREEK 01-130-360-71828	\$800.00
0067178	11/15/2018	Jeffrey Godin	OACETT MEMBERSHIP DUES 01-130-098-60254	\$50.14
0067179	11/15/2018	Golder Associates	GEOTECH - DIVISION S 01-130-360-71837	\$3,294.58
0067179	11/15/2018	Golder Associates	PROFESSIONAL SERVICES 01-130-360-71744	\$2,311.82
0067186	11/15/2018	Hurricane SMS Inc	CLEAN STORM SEWERS-POST FLOOD 01-130-099-60452	\$2,116.61
0067186	11/15/2018	Hurricane SMS Inc	INSPECT STORM SEWER-POST FLOOD 01-130-099-60452	\$1,785.89
0067189	11/15/2018	Jeff Shepley Excavating Ltd.	CRACK SEALING - 2018 01-130-110-60418	\$28,670.86
0067192	11/15/2018	Kelcom Radio Division	AVL AND RADIOS 01-130-099-60460	\$1,440.92
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-130-099-60301	\$179.54
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-130-099-60317	\$76.93
0067221	11/15/2018	HYDRO ONE	44 STREETLIGHTS - KRATZ 01-130-114-60412	\$4.22

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067221	11/15/2018	HYDRO ONE	STREETLIGHTS - MUCCI DR 01-130-114-60412	\$23.33
0067221	11/15/2018	HYDRO ONE	STREETLIGHTS - REGENT ST 01-130-114-60412	\$29.68
0067221	11/15/2018	HYDRO ONE	STREETLIGHTS - WOODLAND 01-130-114-60412	\$60.26
0067221	11/15/2018	HYDRO ONE	STREETLIGHTS - ROAD 3 E 01-130-114-60412	\$4.22
0067227	11/15/2018	Andrew Plancke	NURSERY TREES FOR PLANTING 01-130-099-60425	\$124.66
0067232	11/15/2018	Pro Bid Contractors Ltd.	WATER ASPHALT REPAIRS 01-130-110-60418	\$1,711.03
0067233	11/15/2018	Purolator Courier Service	COURIER FEES 01-130-099-60305	\$20.71
0067235	11/15/2018	RC Spencer Associates Inc.	ESSELTIN TRIBUNAL HEARING PREP 01-130-360-71547	\$5,896.44
0067235	11/15/2018	RC Spencer Associates Inc.	ESSEL DR-TRIBUNAL HEARING PREP 01-130-360-71547	\$1,343.23
0067235	11/15/2018	RC Spencer Associates Inc.	ESSELTINE - ENGINEER'S REPORT 01-130-360-71547	\$2,831.47
0067237	11/15/2018	Rene Blain Trucking Ltd	BULK COLD PATCH 01-130-110-60418	\$2,573.45
0067246	11/15/2018	Signs by Nommel	SIGNS - CHRISTMAS TREE PROGRAM 01-130-132-60428	\$508.80
0067252	11/15/2018	Stantec Consulting Ltd.	PARK ST - CONS SERVICES 01-130-360-71744	\$15,223.45
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-130-099-60327	\$45.79
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-130-099-60327	\$457.92
0067262	11/15/2018	Truax Lumber	STOCK ZINC WASHERS 01-130-099-60335	\$26.27
0067262	11/15/2018	Truax Lumber	PAINT FOR SNOW PLOWS 01-130-099-60316	\$18.30
0067264	11/15/2018	Viking Cives Ltd.	QUICK HITCH FOR SNOW PLOW 01-130-099-60316	\$258.07
0067265	11/15/2018	Waddick Fuels	UNLD GAS 01-130-099-60340	\$732.11
0067265	11/15/2018	Waddick Fuels	CLEAR ULS 01-130-099-60340	\$2,011.07
0067265	11/15/2018	Waddick Fuels	UNLD GAS 01-130-099-60340	\$1,405.75
0067265	11/15/2018	Waddick Fuels	CLEAR ULS 01-130-099-60340	\$1,653.93
0067265	11/15/2018	Waddick Fuels	UNLD GAS 01-130-099-60340	\$893.41
0067269	11/15/2018	Windsor-Essex County Health L	WEST NILE VIRUS 01-130-099-60399	\$703.62
0067292	11/28/2018	AGO Industries Inc.	SAFETY VESTS - EVENTS 01-130-099-60347	\$248.65
0067298	11/28/2018	Association of Ontario Road Su	WINTER MAINTENANCE TRAINING 01-130-098-60254	\$1,182.24
0067316	11/28/2018	County Wide Tree Service	TREE BRANCHES-63 LAUREL ST 01-130-099-60426	\$651.26
0067316	11/28/2018	County Wide Tree Service	TRIM TREE - 18 WILLIAM ST 01-130-099-60426	\$325.63
0067316	11/28/2018	County Wide Tree Service	45 TRIM TREES - 73 LAUREL ST 01-130-099-60426	\$325.63

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067316	11/28/2018	County Wide Tree Service	TRIM TREE - 116 ELM ST 01-130-099-60426	\$651.26
0067326	11/28/2018	Ennis Paint Canada ULC	PAINT FOR VETERANS SPACES 01-130-099-60424	\$675.28
0067345	11/28/2018	Hurricane SMS Inc	POST HOLE&ANCHOR-384 LAKEVIEW 01-130-114-60413	\$565.00
0067351	11/28/2018	Kelcom Radio Division	AVL AND RADIOS FOR FLEET 01-130-099-60460	\$1,440.92
0067352	11/28/2018	Kingsville Home Hardware	FIX HOSES ON SALTER 01-130-099-60314	\$12.57
0067352	11/28/2018	Kingsville Home Hardware	CATCH BASIN ON HEMLOCK 01-130-141-60439	\$9.75
0067352	11/28/2018	Kingsville Home Hardware	PAINT FOER VETERAN PARKING 01-130-099-60455	\$16.32
0067352	11/28/2018	Kingsville Home Hardware	STOCK ELECTRICAL TAPE 01-130-099-60335	\$8.11
0067357	11/28/2018	Linde Canada Limited 15687	RENTAL CHARGES 01-130-099-60335	\$101.84
0067359	11/28/2018	LSI Supply Inc	P.T.O PINS 01-130-099-60316	\$3.09
0067376	11/28/2018	HYDRO ONE	PW GARAGE 01-130-099-60314	\$492.98
0067376	11/28/2018	HYDRO ONE	COMBINATION ALL STREET LIGHTS 01-130-114-60412	\$1,716.11
0067381	11/28/2018	Peanut Centre & Nursery	2018 TREE PLANTINGS 01-130-099-60424	\$1,648.51
0067381	11/28/2018	Peanut Centre & Nursery	2018 TREE PLANTINGS 01-130-099-60425	\$23,119.86
0067383	11/28/2018	Pollard Highway Products Ltd	MARSH RD GRAVEL ADDITION 01-130-138-60432	\$2,494.54
0067388	11/28/2018	Queens Auto Supply	HEAT SHRINK TUBES FOR WIRING 01-130-099-60335	\$29.67
0067388	11/28/2018	Queens Auto Supply	STOCK BRAKE CLEAN 01-130-099-60335	\$46.52
0067388	11/28/2018	Queens Auto Supply	RUST CONVERTER SHOP 01-130-099-60335	\$13.42
0067388	11/28/2018	Queens Auto Supply	SOAP FOR SHOP 01-130-099-60335	\$43.06
0067388	11/28/2018	Queens Auto Supply	WIPER BLADES FOR SNOW TRUCKS 01-130-099-60316	\$27.21
0067388	11/28/2018	Queens Auto Supply	2 POLE CONNECTORS-STOCK 01-130-099-60335	\$6.88
0067388	11/28/2018	Queens Auto Supply	WINTER SERVICE - 12-01 01-130-099-60316	\$54.22
0067388	11/28/2018	Queens Auto Supply	LAMP FOR SHOP 01-130-099-60357	\$4.21
0067388	11/28/2018	Queens Auto Supply	BLUE LIGHT FOR SNOWPLOW 01-130-099-60316	\$44.35
0067388	11/28/2018	Queens Auto Supply	STOCK DIESEL EXHAUST FLUID 01-130-099-60335	\$261.31
0067388	11/28/2018	Queens Auto Supply	3/8 NUTS BULK 01-130-099-60335	\$19.94
0067390	11/28/2018	RC Spencer Associates Inc.	ESSELTIN TRIBUNAL HEARING 01-130-360-71547	\$2,907.79
0067390	11/28/2018	RC Spencer Associates Inc.	MAIN ST E TRAFFIC IMPACT STUDY 01-130-360-71836	\$6,980.73
0067392	11/28/2018	Rene Blain Trucking Ltd	MARSH RD MAINTENANCE 01-130-138-60432	\$14,409.68

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067396	11/28/2018	Royal Benefits Inc	BENEFIT CLAIMS - OCTOBER 01-130-072-60222	\$174.55
0067398	11/28/2018	Sam's Service Facility	18-01 - SERVICE 01-130-099-60316	\$153.60
0067400	11/28/2018	Security One Alarm Systems	MONITORING 12/1/18 - 2/28/19 01-130-099-60327	\$51.87
0067405	11/28/2018	Sims Publications Incorporated	AD - WINTER CONTROL 01-130-099-60306	\$96.16
0067412	11/28/2018	Target Building Materials Ltd.	GLASS BEADS FOR LINE PAINT 01-130-110-60401	\$228.96
0067418	11/28/2018	Union Gas Limited	2021 DIVISION GARAGE 01-130-099-60314	\$94.22
0067418	11/28/2018	Union Gas Limited	2021 DIVISION RD N P.W. GARAGE 01-130-099-60314	\$88.37
0067421	11/28/2018	Viking Cives Ltd.	PLOW HARNESS U JOINT 01-130-099-60318	\$131.20
0067422	11/28/2018	Waddick Fuels	CLEAR ULS 01-130-099-60340	\$1,315.25
0067422	11/28/2018	Waddick Fuels	DYED ULS 01-130-099-60340	\$426.95
0067422	11/28/2018	Waddick Fuels	UNLD GAS 01-130-099-60340	\$1,296.52
0067422	11/28/2018	Waddick Fuels	UNLD GAS 01-130-099-60340	\$583.80
0067422	11/28/2018	Waddick Fuels	UNLD GAS 01-130-099-60340	\$880.82
0067425	11/28/2018	Williams Nurseries Ltd	PAW PAW TREES 01-130-099-60425	\$40.70
0067428	11/28/2018	Windsor-Essex County Health U	WEST NILE VIRUS 01-130-099-60399	\$1,900.87
0067429	11/28/2018	Wolseley Canada Inc	PAINT FOR MARKER STAKES 01-130-122-60420	\$160.21
0067430	11/28/2018	Wood Environment & Infrastruct	ROAD 11 BRIDGE REPLACEMENT 01-130-360-71825	\$3,934.59

**Total For Department 130 \$555,023.96**

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0067170	11/15/2018	Essex-Windsor Solid Waste	WHITE GOODS - JULY - SEPT 2018 01-131-400-60381	\$1,392.08
0067170	11/15/2018	Essex-Windsor Solid Waste	YARD WASTE - SEPT 2018 01-131-400-60370	\$2,240.94
0067170	11/15/2018	Essex-Windsor Solid Waste	FIXED COSTS - SEPT 2018 01-131-400-60370	\$35,001.00
0067170	11/15/2018	Essex-Windsor Solid Waste	WASTE DISPOSAL - SEPT 2018 01-131-400-60370	\$16,025.24
0067268	11/15/2018	Windsor Disposal Services Ltd.	YARD WASTE COLLECTION-SEPT 01-131-400-60382	\$4,185.14
0067268	11/15/2018	Windsor Disposal Services Ltd.	EXTRA FRONT END SERVICE-ARENA 01-131-400-60380	\$42.49
0067268	11/15/2018	Windsor Disposal Services Ltd.	WASTE COLLECTION - NOVEMBER 01-131-400-60380	\$42,945.04
0067268	11/15/2018	Windsor Disposal Services Ltd.	WASTE COLLECTION - CRYSTAL APT 01-131-400-60380	\$231.17



**Town of Kingsville  
Council Summary Report**

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067268	11/15/2018	Windsor Disposal Services Ltd.	WASTE COLLECTION - COTTAM 01-131-400-60380	\$231.17
0067330	11/28/2018	Essex-Windsor Solid Waste	FIXED COSTS - OCT 2018 01-131-400-60370	\$35,001.00
0067330	11/28/2018	Essex-Windsor Solid Waste	PERPETUAL CARE-NOV-DEC/18 01-131-400-60404	\$9,425.00
0067330	11/28/2018	Essex-Windsor Solid Waste	WASTE DISPOSAL - OCT 2018 01-131-400-60370	\$17,624.01
0067330	11/28/2018	Essex-Windsor Solid Waste	YARD WASTE - OCT 2018 01-131-400-60370	\$3,547.05
0067427	11/28/2018	Windsor Disposal Services Ltd.	WASTE COLLECTION - COTTAM MINI 01-131-400-60380	\$231.17
0067427	11/28/2018	Windsor Disposal Services Ltd.	WASTE COLLECTION - DECEMBER 01-131-400-60380	\$42,924.23
0067427	11/28/2018	Windsor Disposal Services Ltd.	WASTE COLLECTION - CRYSTAL APT 01-131-400-60380	\$287.96
0067427	11/28/2018	Windsor Disposal Services Ltd.	YARD WASTE COLLECTION-OCTOBER 01-131-400-60382	\$6,540.53

**Total For Department 131**

**\$217,875.22**

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0067135	11/15/2018	Cedar Creek Landscaping	CEMETERY GRASS CUTTING-SEPT 01-151-072-60120	\$5,545.00
0067135	11/15/2018	Cedar Creek Landscaping	CEMETERY GRASS CUTTING - OCT 01-151-072-60120	\$6,625.00
0067144	11/15/2018	County Wide Tree Service	CLEAN UP - COTTAM CEMETERY 01-151-128-60426	\$1,400.00
0067164	11/15/2018	E.L.K. Energy Inc	GREENHILL CEMETERY 01-151-099-60314	\$18.47
0067325	11/28/2018	Economy Rental Centre	CEMETERY DIG - GREENHILL 01-151-072-60121	\$277.60
0067346	11/28/2018	Hutchins Monuments	LOWER'G DEVICE-COTTAM CEMETERY 01-151-072-60121	\$100.00
0067346	11/28/2018	Hutchins Monuments	RUTHVEN - OPENING 01-151-072-60121	\$600.00
0067352	11/28/2018	Kingsville Home Hardware	FLAG AT CEMETERY 01-151-099-60337	\$39.87
0067405	11/28/2018	Sims Publications Incorporated	AD - BAO BYLAW REVIEW 01-151-099-60306	\$163.48
0067418	11/28/2018	Union Gas Limited	MILL ST CEMETERY 01-151-099-60314	\$57.25

**Total For Department 151**

**\$14,826.67**

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0067110	11/15/2018	AGO Industries Inc.	ARENA CLOTHING 01-170-072-60216	\$223.24
0067113	11/15/2018	Allstream Business Inc	ARENA/CARNEGIE ELEVATOR 01-170-099-60327	\$41.00
0067113	11/15/2018	Allstream Business Inc	ARENA - FAX/DEBIT 01-170-099-60327	\$82.09

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067119	11/15/2018	B&T Waechter Holdings Ltd (Cc	RAIN COATS 01-170-072-60216	\$279.98
0067119	11/15/2018	B&T Waechter Holdings Ltd (Cc	ARENA - SUPPLIES 01-170-099-60335	\$21.98
0067122	11/15/2018	Black & McDonald Limited	COMPRESSOR REPAIR 01-170-099-60315	\$1,176.20
0067128	11/15/2018	BSM Technologies Ltd (formerly	P&R - FLEET TRACKING 01-170-099-60327	\$47.50
0067136	11/15/2018	Chapman Signs	WASHROOM SIGNAGE 01-170-099-60315	\$118.14
0067137	11/15/2018	Cintas Canada Limited	ARENA - MATS 01-170-099-60315	\$48.80
0067146	11/15/2018	Culligan Water	ARENA - COOLER 01-170-099-60318	\$27.95
0067162	11/15/2018	Electrical Wholesale Supp.	T8 TUBE LIGHTING 01-170-099-60315	\$25.10
0067190	11/15/2018	Jutzi Water Technologies (D.H..	ARENA - EQUIPMENT RENTAL 01-170-099-60315	\$75.00
0067190	11/15/2018	Jutzi Water Technologies (D.H..	WATER CHEMICAL 01-170-099-60315	\$1,134.00
0067198	11/15/2018	Limelight & Electric	FLUORESCENT TUBING 01-170-099-60315	\$66.94
0067199	11/15/2018	Linde Canada Limited 15687	ARENA - PROPANE 01-170-099-60340	\$135.84
0067199	11/15/2018	Linde Canada Limited 15687	ARENA - RENTAL CHARGES PROPANE 01-170-099-60340	\$82.95
0067199	11/15/2018	Linde Canada Limited 15687	ARENA - PROPANE 01-170-099-60340	\$135.84
0067199	11/15/2018	Linde Canada Limited 15687	ARENA - PROPANE 01-170-099-60340	\$169.75
0067207	11/15/2018	Merchant Paper Company	ARENA - SUPPLIES 01-170-099-60335	\$386.14
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - SEPT 2018 01-170-099-60301	\$60.64
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-170-099-60301	\$108.04
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-170-099-60317	\$56.40
0067217	11/15/2018	Nella Cutlery (Hamilton) Inc.	BLADE SHARPENING 01-170-099-60316	\$30.00
0067221	11/15/2018	HYDRO ONE	ARENA COMPLEX 01-170-099-60314	\$15,523.48
0067248	✱ 11/15/2018	Skate Kingsville	P2P 102,103,108,106,107 & 077 01-170-000-15000	\$1,885.00
0067255	11/15/2018	Technical Standards & Safety	LICENSE RENEWAL 01-170-099-60315	\$105.00
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-170-099-60327	\$457.92
0067258	✱ 11/15/2018	Julie Thibeault	DEP REFUND - PAVILLION 01-170-006-12063	\$400.00
0067287	11/23/2018	Cogeco	1741 JASPERSON 01-170-099-60327	\$109.33
0067288	11/23/2018	Maggie Durocher	ARENA - OFFICE SUPPLIES 01-170-099-60301	\$15.99
0067292	11/28/2018	AGO Industries Inc.	ARENA - UNIFORMS 01-170-072-60216	\$499.38
0067306	11/28/2018	Black & McDonald Limited	49 COMPRESSOR MAINTENANCE 01-170-099-60315	\$966.20

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067313	11/28/2018	Cintas Canada Limited	ARENA - MATS 01-170-099-60315	\$48.80
0067352	11/28/2018	Kingsville Home Hardware	TAPE 01-170-099-60315	\$7.29
0067352	11/28/2018	Kingsville Home Hardware	PAINT & SUPPLIES 01-170-099-60335	\$194.89
0067352	11/28/2018	Kingsville Home Hardware	BATTERIES 01-170-099-60315	\$26.96
0067352	11/28/2018	Kingsville Home Hardware	BULBS 01-170-099-60315	\$3.99
0067352	11/28/2018	Kingsville Home Hardware	TAPE 01-170-099-60315	\$26.43
0067352	11/28/2018	Kingsville Home Hardware	BATTERIES 01-170-099-60315	\$67.65
0067352	11/28/2018	Kingsville Home Hardware	KEYS 01-170-099-60315	\$7.28
0067352	11/28/2018	Kingsville Home Hardware	SUPPLIES 01-170-099-60335	\$83.56
0067352	11/28/2018	Kingsville Home Hardware	KEYS 01-170-099-60315	\$9.04
0067360	11/28/2018	Mark's Commercial	SAFETY BOOTS - RYAN SPITES 01-170-072-60216	\$183.16
0067370	11/28/2018	Nella Cutlery (Hamilton) Inc.	BLADE SHARPENING 01-170-099-60316	\$30.53
0067377	11/28/2018	Orkin Canada Corporation	PEST CONTROL 01-170-099-60315	\$87.50
0067416	11/28/2018	Tri-County Copiers Plus	ARENA/ADMIN COPIES 01-170-099-60301	\$106.45
0067418	11/28/2018	Union Gas Limited	1741 JASPERSON LANE 01-170-099-60314	\$1,327.52
0067424 *	11/28/2018	Adam Whittle	DEP REFUND COTTAM HALL 01-170-006-12063	\$100.00

**Total For Department 170 \$26,806.87**

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0067106	11/15/2018	1797465 Ontario Limited	PORT RENTAL 01-171-099-60318	\$284.93
0067113	11/15/2018	Allstream Business Inc	ARENA/CARNEGIE ELEVATOR 01-171-171-60327	\$47.98
0067113	11/15/2018	Allstream Business Inc	LIONS HALL 01-171-159-60327	\$41.00
0067113	11/15/2018	Allstream Business Inc	PARK PAVILION 01-171-155-60327	\$44.30
0067119	11/15/2018	B&T Waechter Holdings Ltd (Cc	P&R - SUPPLIES 01-171-099-60335	\$258.38
0067135	11/15/2018	Cedar Creek Landscaping	GRASS CUTTING - SEPT 2018 01-171-072-60120	\$15,244.66
0067144	11/15/2018	County Wide Tree Service	TREE REMOVAL - LAKESIDE PARK 01-171-099-60339	\$768.29
0067144	11/15/2018	County Wide Tree Service	TREE MAIN'T-MILLBROOK RET POND 01-171-099-60339	\$773.38
0067144	11/15/2018	County Wide Tree Service	TREE REMOVAL - LAKESIDE PARK 01-171-099-60339	\$4,879.39

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067163	11/15/2018	Electrozad Supply	PARTS/BATTERY 01-171-099-60316	\$263.03
0067164	11/15/2018	E.L.K. Energy Inc	QUEEN ST - NE CORNER 01-171-099-60314	\$17.14
0067164	11/15/2018	E.L.K. Energy Inc	QUEEN ST - NW CORNER 01-171-099-60314	\$17.84
0067164	11/15/2018	E.L.K. Energy Inc	21 MILL ST - LIONS HALL 01-171-159-60314	\$18.12
0067164	11/15/2018	E.L.K. Energy Inc	28 DIVISION ST S 01-171-171-60314	\$171.23
0067164	11/15/2018	E.L.K. Energy Inc	315 QUEEN ST - METER CAB 01-171-099-60314	\$21.18
0067164	11/15/2018	E.L.K. Energy Inc	315 QUEEN ST - PAVILION 01-171-155-60314	\$185.09
0067164	11/15/2018	E.L.K. Energy Inc	21 MILL ST - LIONS HALL 01-171-159-60314	\$271.55
0067164	11/15/2018	E.L.K. Energy Inc	37 BEECH ST (42 MAIN) 01-171-172-60314	\$115.13
0067164	11/15/2018	E.L.K. Energy Inc	103 PARK ST 01-171-135-60314	\$51.50
0067164	11/15/2018	E.L.K. Energy Inc	124 FOX - RIDGEVIEW PARK 01-171-176-60314	\$183.71
0067164	11/15/2018	E.L.K. Energy Inc	122 FOX ST 01-171-173-60314	\$223.66
0067164	11/15/2018	E.L.K. Energy Inc	169 CTY RD 34 W COTTAM ROTARY 01-171-099-60314	\$60.99
0067193	11/15/2018	Kelcom Telemessaging	EMERGENCY ELEVATOR LINE 01-171-171-60315	\$28.04
0067205	11/15/2018	McGrail Farm Equipement LP	PARTS FOR REPAIR 01-171-099-60316	\$511.96
0067209	11/15/2018	Modular Service Group Inc	STORAGE RENTAL 01-171-099-60318	\$76.32
0067214	11/15/2018	Vincent Murphy	BOOK 7 TRAINING - MEALS 01-171-098-60254	\$32.05
0067226	11/15/2018	Phasor Industrial	ELECTRICAL WORK - METTAWA PARK 01-171-360-71154	\$1,134.04
0067232	11/15/2018	Pro Bid Contractors Ltd.	SHORELINE IMPRV - 1515 HERITAG 01-171-360-71564	\$29,851.73
0067236	11/15/2018	Reliance Home Comfort	315 QUEEN 01-171-155-60314	\$81.57
0067236	11/15/2018	Reliance Home Comfort	24 MILL ST - LIONS HALL 01-171-159-60314	\$24.00
0067236	11/15/2018	Reliance Home Comfort	24 MILL ST - LIONS HALL 01-171-159-60314	\$24.41
0067239	11/15/2018	Russco Training Services	MTO BOOK 7 TRAINING 01-171-098-60254	\$559.68
0067240	11/15/2018	Ryder Material Handling ULC	EQUIPMENT REPAIR 01-171-099-60316	\$560.39
0067241	11/15/2018	Sam's Service Facility	17-04 ANNUAL SAFETY 01-171-099-60316	\$482.94
0067244	11/15/2018	Shilson Excavation & Trucking I	GROUND MAINT - BERNATH 01-171-099-60337	\$5,189.76
0067244	11/15/2018	Shilson Excavation & Trucking I	GROUND MAINT - BERNATH 01-171-099-60337	\$1,844.40
0067251	11/15/2018	Ryan Spitse	MILEAGE - BOOK 7 TRAINING 01-171-099-60400	\$25.26
0067261	11/15/2018	Town of Kingsville (water)	122 FOX ST 01-171-173-60314	\$183.54



# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067261	11/15/2018	Town of Kingsville (water)	FOX ST - RED WORKS SHED 01-171-176-60314	\$76.48
0067261	11/15/2018	Town of Kingsville (water)	124 FOX ST - SPLASH PAD 01-171-176-60314	\$2,075.92
0067261	11/15/2018	Town of Kingsville (water)	122 FOX - RIDGEVIEW PARK 01-171-176-60314	\$128.92
0067262	11/15/2018	Truax Lumber	PT WOOD - ROTARY BENCH 01-171-099-60315	\$41.82
0067263	11/15/2018	Union Gas Limited	103 PARK ST 01-171-135-60314	\$21.37
0067263	11/15/2018	Union Gas Limited	315 QUEEN ST 01-171-155-60314	\$40.93
0067265	11/15/2018	Waddick Fuels	DYED ULS 01-171-099-60340	\$300.22
0067266	11/15/2018	Warkentin Plumbing	KVILL LIBRARY - HVAC REPAIR 01-171-175-60315	\$570.11
0067271	11/15/2018	Wolseley Canada Inc	CONCRETE PLATFORMS 01-171-099-60315	\$1,254.75
0067287	11/23/2018	Cogeco	37 BEECH ST 01-171-172-60327	\$55.92
0067300	11/28/2018	Alan Batke	HS - TOWN HALL TREE 01-171-150-60344	\$493.54
0067300	11/28/2018	Alan Batke	HS - PLANTS 01-171-150-60344	\$165.42
0067325	11/28/2018	Economy Rental Centre	CHAINSAW REPAIR 01-171-099-60316	\$125.00
0067352	11/28/2018	Kingsville Home Hardware	SUPPLIES 01-171-150-60344	\$150.96
0067352	11/28/2018	Kingsville Home Hardware	LEAF BAGS 01-171-150-60344	\$24.34
0067352	11/28/2018	Kingsville Home Hardware	SUPPLIES 01-171-150-60344	\$42.15
0067352	11/28/2018	Kingsville Home Hardware	LAWN EQUIPMENT 01-171-099-60337	\$42.73
0067352	11/28/2018	Kingsville Home Hardware	PAINT 01-171-099-60315	\$4.37
0067352	11/28/2018	Kingsville Home Hardware	PAINT & TAPE 01-171-099-60315	\$36.59
0067352	11/28/2018	Kingsville Home Hardware	PAINT SUPPLIES 01-171-176-60315	\$35.96
0067352	11/28/2018	Kingsville Home Hardware	BATTERIES 01-171-175-60315	\$43.31
0067352	11/28/2018	Kingsville Home Hardware	SUPPLIES 01-171-175-60315	\$28.44
0067352	11/28/2018	Kingsville Home Hardware	SCREWS 01-171-099-60315	\$1.78
0067352	11/28/2018	Kingsville Home Hardware	FENCE REPAIR 01-171-099-60315	\$67.11
0067352	11/28/2018	Kingsville Home Hardware	PHONE SUPPLIES 01-171-172-60315	\$24.22
0067352	11/28/2018	Kingsville Home Hardware	TAPE 01-171-099-60315	\$10.17
0067352	11/28/2018	Kingsville Home Hardware	SUPPLIES 01-171-099-60335	\$24.33
0067352	11/28/2018	Kingsville Home Hardware	SUPPLIES 01-171-175-60315	\$56.41
0067352	11/28/2018	Kingsville Home Hardware	52 SUPPLIES 01-171-176-60315	\$33.45

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067365	11/28/2018	Modular Service Group Inc	STORAGE RENTAL 01-171-099-60318	\$76.32
0067376	11/28/2018	HYDRO ONE	ERCA - TICKET BOOTH 01-171-099-60314	\$28.03
0067376	11/28/2018	HYDRO ONE	1741 JASPERSON LANE 01-171-177-60314	\$163.57
0067384	11/28/2018	Practica	DOGGY BAGS 01-171-099-60335	\$291.81
0067388	11/28/2018	Queens Auto Supply	PARTS 01-171-099-60316	\$32.46
0067388	11/28/2018	Queens Auto Supply	PARTS 01-171-099-60316	\$14.18
0067388	11/28/2018	Queens Auto Supply	PARTS 01-171-099-60316	\$9.27
0067388	11/28/2018	Queens Auto Supply	AUTOMOTIVE BELT 01-171-099-60316	\$52.35
0067388	11/28/2018	Queens Auto Supply	LAMP FOR SHOP 01-171-099-60316	\$35.51
0067388	11/28/2018	Queens Auto Supply	PARTS 01-171-099-60315	\$29.84
0067388	11/28/2018	Queens Auto Supply	PARTS 01-171-099-60316	\$116.15
0067388	11/28/2018	Queens Auto Supply	PARTS FOR REPAIRS 01-171-099-60316	\$93.31
0067388	11/28/2018	Queens Auto Supply	SUPPLIES 01-171-099-60316	\$15.72
0067388	11/28/2018	Queens Auto Supply	PARTS 01-171-099-60316	\$109.57
0067393	11/28/2018	R. Moir Cleaning Service	CLEANING - CARNEGIE 01-171-171-60315	\$1,221.12
0067393	11/28/2018	R. Moir Cleaning Service	CLEANING - UNICO 01-171-172-60315	\$400.00
0067395	11/28/2018	Ron Koudys Landscape Archite	LANDSCAPE ARCH-LIONS HALL/PARK 01-171-360-71645	\$3,094.98
0067397	11/28/2018	Sam's Shell	CHECK TRACKLESS - START ISSUE 01-171-099-60316	\$249.31
0067398	11/28/2018	Sam's Service Facility	07-01 - REPAIR GAS TANK 01-171-099-60316	\$307.88
0067417	11/28/2018	Truax Lumber	PARTS 01-171-099-60315	\$23.59
0067417	11/28/2018	Truax Lumber	PARTS 01-171-099-60315	\$20.33
0067417	11/28/2018	Truax Lumber	PARTS 01-171-099-60316	\$6.10
0067417	11/28/2018	Truax Lumber	PARTS 01-171-099-60315	\$36.61
0067418	11/28/2018	Union Gas Limited	37 BEECH ST 01-171-172-60314	\$119.36
0067418	11/28/2018	Union Gas Limited	124 FOX ST 01-171-176-60314	\$78.09
0067418	11/28/2018	Union Gas Limited	MILL ST LIONS HALL 01-171-159-60314	\$245.22
0067418	11/28/2018	Union Gas Limited	28 DIVISION ST S 01-171-171-60314	\$42.87
0067418	11/28/2018	Union Gas Limited	122 FOX ST 01-171-173-60314	\$279.57
0067418	11/28/2018	Union Gas Limited	53103 PARK ST 01-171-135-60314	\$21.72

**Town of Kingsville  
Council Summary Report**

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067419	11/28/2018	Verhaegen Stubberfield	SURVEY-METTAWAS PARK 01-171-360-71645	\$3,866.88
0067420	11/28/2018	Vertechs Elevators Ontario Inc.	ELEVATOR MAINTENANCE 01-171-171-60315	\$330.72
0067431	11/28/2018	Work Equipment Ltd.	TRACKLESS - TIRES 01-171-099-60316	\$1,076.62
<b>Total For Department 171</b>				<b>\$83,018.35</b>
<u>172</u>	-			
0067152	11/15/2018	Dekra-Lite Industries Incorporat	FOL - LIGHTING 01-172-099-60315	\$3,626.61
0067229	11/15/2018	Nancy Platsko	Vendor had to Cancel 01-172-066-40643	\$10.00
0067270	11/15/2018	Kelly Wolters	FOL - FLOAT 01-172-099-60317	\$150.00
0067270	11/15/2018	Kelly Wolters	FOL - TRAIN FLOAT 01-172-099-60317	\$100.00
0067312	11/28/2018	Chapman Signs	SIGN - FOL TRAIN 01-172-099-60315	\$296.73
0067352	11/28/2018	Kingsville Home Hardware	PARTS 01-172-099-60316	\$56.92
0067352	11/28/2018	Kingsville Home Hardware	PAINT & SCREWS 01-172-099-60316	\$60.02
0067352	11/28/2018	Kingsville Home Hardware	FOL - SUPPLIES 01-172-099-60315	\$42.66
0067352	11/28/2018	Kingsville Home Hardware	FOL - PARTS 01-172-099-60315	\$45.78
0067352	11/28/2018	Kingsville Home Hardware	PAINTING 01-172-099-60315	\$83.51
0067352	11/28/2018	Kingsville Home Hardware	FOL - PARTS 01-172-099-60315	\$1.17
0067355	11/28/2018	Marg Laman	FOL - CHILDRENS ACTIVITIES 01-172-099-60634	\$33.12
0067358	11/28/2018	Loblaw Inc.	FOL - CHRISTMAS ASSORT 01-172-099-60625	\$95.88
0067358	11/28/2018	Loblaw Inc.	FOL - REFRESHMENTS 01-172-099-60623	\$242.97
0067388	11/28/2018	Queens Auto Supply	PARTS FOR TRAIN 01-172-099-60315	\$33.84
0067388	11/28/2018	Queens Auto Supply	FOL LIGHTS - PARTS FOR REPAIR 01-172-099-60315	\$55.99
0067394	11/28/2018	Rona Inc	PARTS 01-172-099-60315	\$49.85
<b>Total For Department 172</b>				<b>\$4,985.05</b>
<u>173</u>	-			
0067113	11/15/2018	Allstream Business Inc	BOAT RAMP - 599 CEDAR DR 01-173-099-60327	\$44.30
0067228	11/15/2018	Playpower Lt Canada Inc.	54 GARBAGE RECEPTACLE-DOCKS 01-173-099-60315	\$2,259.72

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067376	11/28/2018	HYDRO ONE	BOAT RAMP BOOTH-599 CEDAR DR 01-173-099-60314	\$38.54
0067376	11/28/2018	HYDRO ONE	CEDAR ISLAND WASHROOMS 01-173-099-60314	\$53.21
0067376	11/28/2018	HYDRO ONE	CEDAR ISLAND BOAT SLIPS 01-173-099-60314	\$127.52
0067376	11/28/2018	HYDRO ONE	CEDAR BEASH MARINA-WEST DOCK 01-173-099-60314	\$54.92

**Total For Department 173 \$2,578.21**

## 174

0067134	11/15/2018	Carmen's Catering Service Inc.	MIG FEST - APPETIZERS 01-174-099-60820	\$580.03
0067247	11/15/2018	Sims Publications Incorporated	AD - MIGRATION FEST (EXTRA) 01-174-099-60306	\$63.09
0067247	11/15/2018	Sims Publications Incorporated	AD - MIGRATION FEST 01-174-099-60306	\$158.75
0067303	11/28/2018	Bell Media Inc	MIG FEST - ADVERTISING 01-174-099-60306	\$3,052.80
0067309	11/28/2018	Xander Campbell	MIG FEST-3RD PL PHOTO CONTEST 01-174-099-60828	\$150.00
0067341	11/28/2018	Brett Groves	MIG FEST-2ND PL PHOTO CONTEST 01-174-099-60828	\$200.00
0067363	11/28/2018	Vicki McKay	MIG FEST-1ST PL PHOTO CONTEST 01-174-099-60828	\$300.00

**Total For Department 174 \$4,504.67**

## 175

0067105	11/1/2018	W.C.C.B Inc.	PERFORMANCE NOV 4/18 - PAV 01-175-099-60628	\$750.00
0067105	11/1/2018	W.C.C.B Inc.	PERFORMANCE NOV 4/18 - PAV 01-175-099-60646	\$750.00
0067131	11/15/2018	Canadian Red Cross	BABYSITTER & STAY SAFE COURSE 01-175-099-60254	\$793.24
0067201	11/15/2018	Loblaws Inc.	SUPPLIES FOR BABYSITTIN COURSE 01-175-099-60627	\$9.05
0067247	11/15/2018	Sims Publications Incorporated	AD - RED CROSS COURSE 01-175-099-60627	\$316.73
0067247	11/15/2018	Sims Publications Incorporated	AD - BABYSITTING COURSE 01-175-099-60627	\$316.73
0067288	11/23/2018	Maggie Durocher	MILEAGE - FIRST AID (SARNIA) 01-175-099-60400	\$297.18
0067288	11/23/2018	Maggie Durocher	MILEAGE 01-175-099-60400	\$442.59
0067310	11/28/2018	Canadian Red Cross	ANNUAL RENEWAL FEE 01-175-099-60254	\$100.00
0067340	11/28/2018	The Greater Windsor Concert B	CONCERT - DECEMBER 5, 2018 01-175-099-60646	\$1,000.00
0067404	11/28/2018	The Silver Ambassadors Concert	LAKESIDE CONCERT DEC 5/18 01-175-099-60646	\$350.00



# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
<b>Total For Department 175</b>				<b>\$5,125.52</b>
<u>178</u>	-			
0067107	11/15/2018	Aace Home Improvements	RUTHVEN LIBRARY-WIND/DOOR 01-178-360-71857	\$17,401.40
0067177	11/15/2018	Glos Associates Inc	KINGS LANDING-ADDITIONAL COSTS 01-178-360-71630	\$600.38
0067215	11/15/2018	Musical Strings 'n' Things Ltd.	AV/PA INSTALLATION - GROVEDALE 01-178-360-71630	\$15,000.00
0067379	11/28/2018	PCS Automation Services Inc	CAPITAL IMPROVEMENT TO LIBRARY 01-178-360-71857	\$4,375.68
<b>Total For Department 178</b>				<b>\$37,377.46</b>
<u>180</u>	-			
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - SEPT 2018 01-180-099-60301	\$23.11
0067210	11/15/2018	Monarch Office Supply	OFFICE SUPPLIES - OCT 2018 01-180-099-60301	-\$8.62
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 01-180-099-60327	\$45.79
0067311	11/28/2018	CDW Canada	MONITOR ARM - K BRCIC 01-180-099-60317	\$186.48
0067319	11/28/2018	Dekra-Lite Industries Incorporat	FOL DISPLAY - COTTAM 01-180-360-71870	\$13,276.08
0067432	11/28/2018	WSP Canada Group Limited	5 YEAR OP REVIEW PPC #8 01-180-360-71742	\$5,425.64
<b>Total For Department 180</b>				<b>\$18,948.48</b>
<u>181</u>	-			
0067140 ✕	11/15/2018	Colour Wheel Home Center	BIA DOLLARS 01-181-028-20216	\$1,790.00
0067159 ✕	11/15/2018	Dr. Mark Olivito & Associates	BIA DOLLARS 01-181-028-20216	\$880.00
0067167 ✕	11/15/2018	Ernie's TV and Appliances	BIA DOLLARS 01-181-028-20216	\$3,800.00
0067167 ✕	11/15/2018	Ernie's TV and Appliances	BIA DOLLARS 01-181-028-20216	\$2,680.00
0067212 ✕	11/15/2018	Movati Athletic	BIA DOLLARS 01-181-028-20216	\$2,530.00
0067253 ✕	11/15/2018	The Strand on Main	BIA DOLLARS 01-181-028-20216	\$300.00
0067276 ✕	11/22/2018	The Chop Shop Market	BIA BATCH #3 - 2018 01-181-028-20216	\$490.00
0067277 ✕	11/22/2018	Dan McCall's Custom Jewellery	BIA BATCH #3 - 2018 01-181-028-20216	\$140.00

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067278	X 11/22/2018	Kingsville Golf and Country	BIA BATCH #3 - 2018 01-181-028-20216	\$4,290.00
0067279	X 11/22/2018	Kingsville I.D.A. Pharmacy	BIA BATCH #3 - 2018 01-181-028-20216	\$2,000.00
0067279	X 11/22/2018	Kingsville I.D.A. Pharmacy	BIA BATCH #3 - 2018 01-181-028-20216	\$880.00
0067281	X 11/22/2018	Main Street Pharmacy	BIA BATCH #3 - 2018 01-181-028-20216	\$60.00
0067282	X 11/22/2018	Pinstripes Ladies Fashion	BIA BATCH #3 - 2018 01-181-028-20216	\$750.00
0067283	X 11/22/2018	Red Apple Store 52967	BIA BATCH #3 - 2018 01-181-028-20216	\$1,120.00
0067284	X 11/22/2018	Towne Emporium	BIA BATCH #3 - 2018 01-181-028-20216	\$430.00
0067285	X 11/22/2018	Vernon's Tap & Grill	BIA BATCH #3 - 2018 01-181-028-20216	\$300.00
0067301	11/28/2018	Christina Bedal	CLOCK GARDEN - XMAS LIGHTS 01-181-170-60839	\$396.80
0067302	11/28/2018	Bell Canada	BIA PHONE 01-181-099-60327	\$103.04
0067302	11/28/2018	Bell Canada	BIA INTERNET 01-181-099-60327	\$34.60
0067337	11/28/2018	Marina Gibela	FACELIFT GRANT-PAINTED BLDG FR 01-181-099-60833	\$214.50
0067342	11/28/2018	The Harrow News & County Pri	AD - BIA DOLLAR PROMO 01-181-099-60306	\$54.14
0067367	11/28/2018	Collette Mouawad	FACELIFT GRANT-BRICKWORK 01-181-099-60833	\$500.00
0067433	X 11/29/2018	A & A Flooring	BIA BATCH #4 - 2018 01-181-028-20216	\$1,500.00
0067434	X 11/29/2018	Beach House Grill	BIA DOLLARS BATCH #4-2018 01-181-028-20216	\$1,940.00
0067435	X 11/29/2018	Butcher of Kingsville	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$570.00
0067436	X 11/29/2018	Cindy's Home and Garden	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$1,360.00
0067437	X 11/29/2018	Dr. N. Whitfield	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$200.00
0067438	X 11/29/2018	Dutch Boys Chocolate	BIA DOLLARS BATCH # 4 - 2018 01-181-028-20216	\$450.00
0067439	X 11/29/2018	Ernie's TV and Appliances	BIA BATCH #4 - 2018 01-181-028-20216	\$300.00
0067440	X 11/29/2018	Kingsville I.D.A. Pharmacy	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$1,050.00
0067441	X 11/29/2018	Main West	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$600.00
0067442	X 11/29/2018	Mary Kathryn's Ladies Shop	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$360.00
0067443	X 11/29/2018	Pelee Island Winery	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$670.00
0067444	X 11/29/2018	Sam's Shell	BIA BATCH #4-2018 01-181-028-20216	\$1,290.00
0067445	X 11/29/2018	The Sanctuary Gifts and Books	BIA BATCH # 4 - 2018 01-181-028-20216	\$100.00
0067445	X 11/29/2018	The Sanctuary Gifts and Books	BIA DOLLARS BATCH #4 - 2018 01-181-028-20216	\$80.00

**Town of Kingsville  
Council Summary Report**

<b>Cheque Number</b>	<b>Cheque Date</b>	<b>Vendor Name</b>	<b>Description</b>	<b>Cheque Amount</b>
<b>Total For Department 181</b>				<b>\$34,213.08</b>
<u>184</u>	-			
0067182	11/15/2018	Hall Telecommunications Suppl	TEXTNET PHONE LINE 01-184-099-63300	\$172.99
<b>Total For Department 184</b>				<b>\$172.99</b>
<u>185</u>	-			
0067149	11/15/2018	dB Media	BILLBOARD DESIGN 01-185-099-63102	\$2,747.52
0067250	11/15/2018	Speedprint Inc.	ECDEV/EDC PROMOTIONS 01-185-099-63103	\$642.37
0067260	11/15/2018	Tourism Windsor Essex Pelee I	KEY CHAINS 01-185-099-63103	\$1,368.80
<b>Total For Department 185</b>				<b>\$4,758.69</b>
<u>186</u>	-			
0067126	11/15/2018	Veronica Brown	MICROFILM & LAND REG COPY CARD 01-186-099-60301	\$193.73
0067126	11/15/2018	Veronica Brown	RESEARCH ASSISTANT (KMHAC) 01-186-099-63200	\$420.00
0067247	11/15/2018	Sims Publications Incorporated	KMHAC CD ARCHIVES 01-186-099-60301	\$20.35
0067247	11/15/2018	Sims Publications Incorporated	NOTICE DESIGNATE OLD FIREHALL 01-186-099-60306	\$365.42
<b>Total For Department 186</b>				<b>\$999.50</b>
<u>201</u>	-			
0067110	11/15/2018	AGO Industries Inc.	Q4 CLOTHING - ENV SERVICES 02-201-072-60216	\$649.82
0067121	11/15/2018	Bartel Machine & Welding Inc	FIX WATER TAPPING MACHINE 02-201-099-60316	\$178.08
0067130	11/15/2018	Canada Post Corporation	GN WATER & ARREARS 02-201-099-60303	\$1,688.20
0067172	11/15/2018	Fastenal Canada	BOLTS FOR WATER VALVES 02-201-099-60335	\$73.64
0067176	11/15/2018	Gillett Sheet Metal Inc.	FLAT PLATE FOR METER PITS 02-201-099-63017	\$263.30
0067183	11/15/2018	Heaton Sanitation	BROKEN MAINLINE VALVE-HERITAGE 02-201-099-63030	\$702.14
0067186	11/15/2018	Hurricane SMS Inc	INVESTIGATE SERVICE LEAK-RD 2 02-201-099-63025	\$2,070.81

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067216	11/15/2018	Myer's Truck & Trailer Repairs L	12-01 KROWN SPRAY 02-201-099-60316	\$290.02
0067216	11/15/2018	Myer's Truck & Trailer Repairs L	13-03 KROWN SPRAY 02-201-099-60316	\$290.02
0067216	11/15/2018	Myer's Truck & Trailer Repairs L	14-05 KROWN SPRAY 02-201-099-60316	\$213.70
0067216	11/15/2018	Myer's Truck & Trailer Repairs L	15-01 KROWN SPRAY 02-201-099-60316	\$290.02
0067216	11/15/2018	Myer's Truck & Trailer Repairs L	12-03 KROWN SPRAY 02-201-099-60316	\$290.02
0067216	11/15/2018	Myer's Truck & Trailer Repairs L	17-05 KROWN SPRAY 02-201-099-60316	\$254.40
0067222	11/15/2018	Ontario One Call	NOTIFICATIONS - OCT 02-201-099-63020	\$294.48
0067231	11/15/2018	Preview Inspections and Consul	BACKFLOW PREVENTION - OCT 2018 02-201-180-60405	\$2,772.96
0067231	11/15/2018	Preview Inspections and Consul	BACKFLOW PREVENTION - JULY/18 02-201-180-60405	\$3,841.44
0067232	11/15/2018	Pro Bid Contractors Ltd.	WATER ASPHALT REPAIRS 02-201-099-60418	\$5,133.09
0067232	11/15/2018	Pro Bid Contractors Ltd.	WATERMAIN BREAK - ROAD 11 02-201-099-63030	\$2,279.42
0067232	11/15/2018	Pro Bid Contractors Ltd.	REPAIR BROKEN VALVE-HERITAGERD 02-201-099-63030	\$3,311.27
0067241	11/15/2018	Sam's Service Facility	08-02 - EXHAUST HANGER 02-201-099-60316	\$65.27
0067247	11/15/2018	Sims Publications Incorporated	DOOR HANGERS - ENVIRO 02-201-099-60301	\$308.33
0067256	11/15/2018	Telus Mobility	CELL PHONES - OCT 28 - NOV 27 02-201-099-60327	\$320.54
0067271	11/15/2018	Wolseley Canada Inc	REFELCTIVE HYDRANT MARKERS 02-201-099-63045	\$3,342.81
0067271	11/15/2018	Wolseley Canada Inc	STOCK COPPER FOR SERVICES 02-201-099-63025	\$2,381.79
0067296	11/28/2018	Erica Allen	SNOW PLOW TRAINING/STAFF MEET 02-201-098-60254	\$89.47
0067308	11/28/2018	Caduceon Enterprises Inc.	SAMPLE - ROAD 4 & CTY RD 31 02-201-099-63030	\$77.34
0067308	11/28/2018	Caduceon Enterprises Inc.	SAMPLE - ROAD 4 & CTY RD 31 02-201-099-63030	\$77.34
0067315	11/28/2018	Corix Water Products LP	METER CALIBRATION-GEN FARMS 02-201-099-63017	\$437.57
0067324	11/28/2018	DiMenna Excavating	WATER SERVICE - DIVISION RD 02-201-099-63025	\$793.73
0067343	11/28/2018	Heaton Sanitation	WATERMAIN REPAIR-CTY RD 18 02-201-099-63030	\$702.14
0067343	11/28/2018	Heaton Sanitation	EXC. HOLE-189 HERITAGE/914ERIE 02-201-099-63045	\$1,518.77
0067343	11/28/2018	Heaton Sanitation	EXC. HOLE-189 HERITAGE/914ERIE 02-201-180-60403	\$506.26
0067345	11/28/2018	Hurricane SMS Inc	BO & ROD REPLMNTS-1785HERITAGE 02-201-180-60403	\$508.80
0067352	11/28/2018	Kingsville Home Hardware	KEYS FOR ENVIRO SHOP 02-201-099-60315	\$6.68
0067352	11/28/2018	Kingsville Home Hardware	BULB FOR VALVE ON HERITAGE 02-201-099-63040	\$19.70
0067352	11/28/2018	Kingsville Home Hardware	59 METER ANCHORS 02-201-099-63017	\$4.24



# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067352	11/28/2018	Kingsville Home Hardware	STOCK 5" DISCS 02-201-099-60357	\$9.66
0067352	11/28/2018	Kingsville Home Hardware	PACK OF RAGS 02-201-099-60335	\$13.20
0067352	11/28/2018	Kingsville Home Hardware	PROPANE TANK EXCHANGE 02-201-098-60254	\$23.39
0067371	11/28/2018	John Neufeld	REF DEP-WTR SERVICE NOT REQ'D 02-201-006-12068	\$500.00
0067373	11/28/2018	David & Sharon O'Beid	REF UNUSED DEP-168 HAROLD CULL 02-201-006-12068	\$23.28
0067388	11/28/2018	Queens Auto Supply	HITCH PIN FOR 18-06 02-201-360-71859	\$4.37
0067396	11/28/2018	Royal Benefits Inc	BENEFIT CLAIMS - OCTOBER 02-201-072-60223	\$2,303.76
0067399	11/28/2018	Kevin Scratch	BBQ LAST DAY/STAFF MEETING 02-201-098-60254	\$64.65
0067402	11/28/2018	Sherway Contracting	ROAD 11 EAST WATERMAIN-PPC #1 02-201-360-71862	\$71,231.96
0067406	11/28/2018	Southwestern Sales Corp. Ltd.	CLEAR STONE-HERITAGE BREAK 02-201-099-63030	\$86.74
0067414	11/28/2018	Town of LaSalle	STOCK METER PIT & BONNETS 02-201-099-63025	\$2,197.64
0067429	11/28/2018	Wolseley Canada Inc	BLUE PAINT & FLAGS 02-201-099-63020	\$540.43
0067429	11/28/2018	Wolseley Canada Inc	STOCK 6" x 3/4" SADDLE 02-201-099-63025	\$135.42
0067429	11/28/2018	Wolseley Canada Inc	STOCK 6" x 1" SERVICE SADDLE 02-201-099-63025	\$354.73
0067429	11/28/2018	Wolseley Canada Inc	WATERMAIN BREAK -CTY31 & CTY18 02-201-099-63030	\$10.51
0067429	11/28/2018	Wolseley Canada Inc	FLAGS FOR LOCATES 02-201-099-63020	\$29.90
0067429	11/28/2018	Wolseley Canada Inc	3/4" METER COUPLERS 02-201-099-63017	\$307.72
0067429	11/28/2018	Wolseley Canada Inc	METER PIT EXTENSION 02-201-099-63025	\$204.97
0067429	11/28/2018	Wolseley Canada Inc	METER PIT EXTENSION & LID 02-201-099-63025	\$256.97
0067429	11/28/2018	Wolseley Canada Inc	3/4" METER VALVE WITH HANDLE 02-201-099-63017	\$1,847.80
0067429	11/28/2018	Wolseley Canada Inc	WATERMAIN BRK-CTY RD 31 & 18 02-201-099-63030	\$5,332.65
0067429	11/28/2018	Wolseley Canada Inc	2" METER SETTER RD 3 SERVICE 02-201-099-63025	\$1,471.50
Total For Department			201	\$122,998.86
<u>242</u>	-			
0067147	11/15/2018	D & L Digging	SANITARY REPAIR - 384 LAKEVIEW 02-242-320-64365	\$4,085.66
0067156	11/15/2018	Dillon Consulting	FLOW MONITORING & SAN. SYSTEM 02-242-360-71357	\$1,752.92
0067156	11/15/2018	Dillon Consulting	LAKESIDE PARK-TRUNK SAN. SEWER 02-242-360-71864	\$7,349.61

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
0067164	11/15/2018	E.L.K. Energy Inc	98 MCCALLUM 02-242-099-60314	\$53.15
0067164	11/15/2018	E.L.K. Energy Inc	BERNATH PUMP STATION 02-242-099-60314	\$24.14
0067164	11/15/2018	E.L.K. Energy Inc	67 HERITAGE SEWAGE 2 02-242-099-60314	\$1,524.94
0067164	11/15/2018	E.L.K. Energy Inc	250 QUEEN ST 02-242-099-60314	\$305.22
0067183	11/15/2018	Heaton Sanitation	SEWER REPAIR - 384 LAKEVIEW 02-242-320-64365	\$720.46
0067186	11/15/2018	Hurricane SMS Inc	REPAIR SANITARY SEWER-LAKEVIEW 02-242-320-64365	\$2,035.20
0067220	11/15/2018	Ontario Clean Water Agency	CWWF PROGRAM 02-242-360-71865	\$147,603.25
0067220	11/15/2018	Ontario Clean Water Agency	CWWF PROJECTS 02-242-360-71865	\$29,496.31
0067220	11/15/2018	Ontario Clean Water Agency	CWWF PROJECTS 02-242-360-71866	\$2,238.00
0067220	11/15/2018	Ontario Clean Water Agency	OPERATIONS & MAINT - NOV 2018 02-242-320-64360	\$81,052.65
0067220	11/15/2018	Ontario Clean Water Agency	EMERGENCY REPAIR 02-242-099-60316	\$7,917.14
0067220	11/15/2018	Ontario Clean Water Agency	NON ROUTINE MAJOR EMERG REPAIR 02-242-099-64367	\$18,816.24
0067221	11/15/2018	HYDRO ONE	18 HWY LANE SEWAGE LAGOON 02-242-099-60314	\$26.66
0067259	11/15/2018	Thompson Flow Investigations I	SANITARY FLOW MONITORING 02-242-360-71357	\$12,109.43
0067317	11/28/2018	Daniher Top Soil Ltd	SEWER REPAIRS - TOP SOIL 02-242-320-64365	\$45.79
0067323	11/28/2018	Dillon Consulting	LAKESIDE PARK-TRUNK SAN. SEWER 02-242-360-71864	\$6,616.57
0067345	11/28/2018	Hurricane SMS Inc	BIANNUAL FLUSHING BY BAYVIEW 02-242-320-64365	\$1,628.16
0067374	11/28/2018	Ontario Clean Water Agency	CWWF PROJECTS 02-242-360-71866	\$2,108.07
0067374	11/28/2018	Ontario Clean Water Agency	CWWF PROJECTS 02-242-360-71865	\$10,917.72
0067376	11/28/2018	HYDRO ONE	1460 ROAD 2 EAST PUMP 02-242-099-60314	\$383.74
0067376	11/28/2018	HYDRO ONE	FORCEMAIN OVER BRIDGE 02-242-099-60314	\$26.66
0067376	11/28/2018	HYDRO ONE	1902 HERITAGE RD PUMP 5 02-242-099-60314	\$45.03
0067376	11/28/2018	HYDRO ONE	1053 CEDAR DR 02-242-099-60314	\$80.90
0067376	11/28/2018	HYDRO ONE	PUMP STATION CEDAR ISLAND 02-242-099-60314	\$151.96
0067376	11/28/2018	HYDRO ONE	1562 HERITAGE RD PUMP 4 02-242-099-60314	\$55.89
0067376	11/28/2018	HYDRO ONE	NORMANY PUMP STATION 02-242-099-60314	\$64.57
0067382	11/28/2018	Andrew Plancke	WSTWTR COLLECTION RENEWAL 02-242-099-60345	\$340.00
0067382	11/28/2018	Andrew Plancke	WSTWTR COLLECTION RENEWAL 02-242-098-60254	\$140.00
0067427	11/28/2018	Windsor Disposal Services Ltd	FRONT END PICKUP AT THE PLANT 02-242-099-60317	\$16.68

# Town of Kingsville Council Summary Report

Cheque Number	Cheque Date	Vendor Name	Description	Cheque Amount
<b>Total For Department 242</b>				<b>\$339,732.72</b>
<b><u>243</u></b>	-			
0067164	11/15/2018	E.L.K. Energy Inc	168 CTY RD 27 N 02-243-099-60314	\$217.55
0067164	11/15/2018	E.L.K. Energy Inc	REAR 17 LYLE 02-243-099-60314	\$32.27
0067164	11/15/2018	E.L.K. Energy Inc	16 WHITEWOOD (BEHIND) 02-243-328-64365	\$15.61
0067164	11/15/2018	E.L.K. Energy Inc	168 CTY RD 27 N - LAGOON 02-243-099-60314	\$61.47
0067180	11/15/2018	Gosfield North Communications	PUMP HOUSE ALARM 02-243-099-60327	\$48.15
0067220	11/15/2018	Ontario Clean Water Agency	COTTAM PS#1-GENERATOR & SWITCH 02-243-360-71867	\$45,161.09
0067220	11/15/2018	Ontario Clean Water Agency	CWWF PROJECTS 02-243-360-71867	\$1,091.71
0067220	11/15/2018	Ontario Clean Water Agency	OPERATIONS & MAINT - NOV 2018 02-243-320-64360	\$5,924.21
0067374	11/28/2018	Ontario Clean Water Agency	CWWF PROJECTS 02-243-360-71867	\$1,081.37

**Total For Department 243 \$53,633.43**

\* Note GST Rebate details are omitted, but are included in the totals **\$2,131,557.19**



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[kingsvilleworks@kingsville.ca](mailto:kingsvilleworks@kingsville.ca)

**Date:** December 4, 2018  
**To:** Mayor and Council  
**Author:** Peggy Van Mierlo-West, CAO  
**RE:** Report on Cannabis  
**Report No.:** CAO 13-2018

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## **AIM**

The purpose of this report is provide an update on the Government of Ontario's proposed changes to Bill 174 – the Cannabis, Smoke-Free Ontario and Road Safety Statute Law Amendment Act, 2017.

## **BACKGROUND**

On December 12, 2017, the previous Ontario government passed Bill 174 – the Cannabis, Smoke-Free Ontario and Road Safety Statute Law Amendment Act, 2017. Bill 174 establishes a legal framework for the sale, distribution and consumption of recreational cannabis within the Province when cannabis becomes legal Canada-wide on October 17, 2018.

On August 13, 2018, the newly elected Government of Ontario publicly announced that they would be making changes to the legal cannabis framework established by the previous Provincial government. Specifically, the Government will propose legislative changes as to where and how cannabis would be sold within the Province. These proposed changes include:

- allowing for the legal sale of cannabis to only occur online through the Ontario Cannabis Store (OCS) beginning on October 17, 2018;
- permitting privately licensed stores to sell cannabis, rather than provincially operated stores (OCSs) beginning April 1, 2019;
- permitting local councils to opt-out of having physical cannabis retail location(s) within their municipality



Under the previous Provincial government, legal recreational cannabis was set to be sold through provincially operated OCSs. The recently proposed changes would reduce the function of the OCS to an online distributor of cannabis starting October 17, 2018, rather than having them operate as a chain of physical locations similar to the LCBO. Further, the Government will establish a private retail model for cannabis sales starting on April 1, 2019. More specifically, cannabis will only be available for purchase online, through the OCS, from October 17, 2018, until private retail locations begin opening in April 2019. Additionally, the Government has now indicated that municipal governments will be given a “one-time opportunity” to “opt-out” of having a physical cannabis retail location within their municipality once the new term of Council begins in December 2018.

The provincial government’s Bill 36, Cannabis Statute Law Amendment Act, 2018 would make the Alcohol and Gaming Commission of Ontario the licensing authority for private cannabis retail stores. Under the provincial legislation, the Town cannot regulate the location of Cannabis stores. The Cannabis Licence Act, 2018, section 42(2) states that the Town’s ability to pass a by-law under the Planning Act, such as a land use regulation or zoning by-law, does not include the authority to pass a by-law that would regulate based on a use of land, a building or a structure for the sale of cannabis.

The Association of Municipalities of Ontario is seeking clarification on municipal zoning by-law implications – whether cannabis stores will have to follow municipal zoning for commercial retail land uses, or whether they are exempt from the municipal zoning by-laws.

The provincial government’s Bill 36 states that the Registrar of the Alcohol and Gaming Commission of Ontario must consider, among other things, the public interest, having regard to the needs and wishes of the residents of the municipality. The proposed legislation would allow for public notice of an application for a cannabis retail store and an opportunity to make written submissions. Written submissions must be made no later than 15 days after the public notice is first given. The provincial government’s Licence Appeal Tribunal would be authorized to adjudicate appeals relating to cannabis retail store licences, similar to its process for alcohol licences.

The provincial government is allowing municipalities to “opt out” by passing a resolution by January 22, 2019 to prohibit cannabis retail stores from being located in the municipality. If a municipality decides to opt out, it could then choose to lift the prohibition through a subsequent motion, but that decision would be final – the municipality would not be able to continue to go back and forth between allowing and prohibiting cannabis retail stores. Even if a municipality prohibits cannabis retail stores from being located in the municipality, cannabis use would remain legal in the municipality under federal and provincial laws and the online sale of cannabis would continue to take place through the provincial government’s online retailer.

The Cannabis Licence Act, 2018, would set a minimum distance that a cannabis retail store must be located away from a school as well as “any other prescribed land use.” The proposed provincial legislation requires that only cannabis and any other things that may be specified by regulations made under the Cannabis Licence Act, 2018, may be sold in a cannabis retail store.

## **DISCUSSION**

On Monday December 17<sup>th</sup>, 2018 a Special Council meeting will be held to provide further information to Council and residents. Mary Durocher – Fox D Consulting will be presenting an information session regarding Cannabis regulations. Fox D Consulting is a regulatory consulting firm focusing in the Canadian cannabis industry. They offer a diverse range of consulting services for the cannabis industries in Canada. Their firm specializes in providing regulatory consulting focusing on quality assurance and facility optimization in the Canadian Cannabis Industry.

This Special Council meeting will provide Council the ability to ask questions to Fox D Consulting and to hear public comment from residents regarding Cannabis Retail Outlets. An online survey will be available on December 18<sup>th</sup>, 2018 which will remain active until January 8<sup>th</sup>, 2019. The survey will be advertised on the Town's Facebook page, website and local newspapers. It will be a short survey that will include the following questions; should the Town opt in or opt out, demographic age and residency. (Schedule A)

A subsequent report will come to Council to the January 14<sup>th</sup>, 2019 meeting to discuss results and provide recommendations. The results of the survey and comments from the December 17<sup>th</sup> meeting will be included within the report.

## **LINK TO STRATEGIC PLAN**

To promote a safe community.

## **FINANCIAL CONSIDERATIONS**

The Ontario Cannabis Legalization Implementation Fund has been created to assist Municipalities who decide to opt in. This letter has been attached to this report for your information. (Schedule B)

## **CONSULTATIONS**

## **RECOMMENDATION**

That Council receive the report titled Report on Cannabis for information

*Peggy Van Mierlo-West*

Peggy Van Mierlo-West, C.E.T.  
Chief Administrative Officer

**The Town of Kingsville is asking for your input regarding Storefront Cannabis operations.**

**On October 17, 2018 Cannabis was legalized in Canada by the Federal Government. As of October 17, 2018 consumers 19 years of age or older became legally able to purchase recreational cannabis but through an online retail platform only, one operated by the Ontario Cannabis store.**

**Next Step**

**On April 1, 2019 Ontario will allow licensed private sector retailers to sell recreational cannabis from store fronts in communities across the Province.**

**Municipalities are faced with an all or nothing decision to regulating retail cannabis stores:**

- 1. Municipalities can opt out of allowing retail storefront sales entirely**
- OR**
- 2. Municipalities can allow retail storefront sales**

**These are the two options available to Municipalities:**

**Opt Out:**

**Town Council must pass a resolution and provide it to the province by January 22, 2019 to opt out.**

**The Town can subsequently opt in at any time, but will be unable to opt out in the future. If the Town opts out, the province will not issue any retail store authorizations for locations in Kingsville and there will be no legal storefronts located within The Town of Kingsville limits.**

**Individuals can purchase recreational cannabis online from the Ontario Cannabis Store or from a cannabis retail store in a municipality that has not opted out.**

**If the Town opts out, we will still receive a first payment from the Ontario Cannabis Legalization Implementation Fund but the second payment will be limited to \$5,000 and there will be no opportunity to share in the federal excise duty.**

**The province is setting aside \$10 million from the Fund for “unforeseen circumstances” and priority will be given to municipalities that did not opt out as of January 22, 2019.**

**Opt In:**

**If the Town doesn't opt out the Town is automatically deemed to have opted in and cannot opt out**

**in the future. The province controls the licensing and operation of the private cannabis retail stores. The province requires a cannabis retail store to be a minimum distance of 150 metres from a school.**

**The Town is not permitted to impose any additional restrictions specific to cannabis retail stores through its zoning by-law (i.e. distance separation from: other cannabis retail stores, addiction treatment facilities, parks, sports fields, community centres, long-term care homes, etc.).**

**The Town is not permitted to limit the number of cannabis retail stores in the boundary of the Town of Kingsville.**

**The Town is not permitted to create business licensing regulations specific to cannabis retail stores.**

**The AGCO will require applicants to post a placard at a proposed store location for 15 calendar days. The AGCO will also post a notice on its website. During the 15 day notice period the Town and its residents may provide written submissions to the AGCO through its website. The submissions can only relate to 3 public interest factors: (1) protection of public health and safety; (2) protection of youth and the restriction of their access to cannabis; and (3) prevention of illicit activities in relation to cannabis. By opting in, the Town will receive the first payment under the Fund but will also receive a second payment that is based on a per household basis and priority access to the “unforeseen circumstances” funding.**

**If the province’s portion of the federal excise duty on recreational cannabis over the first two years of legalization exceeds \$100 million, the province will provide 50% of the surplus only to those municipalities that have not opted out as of January 22, 2019.**

**\* 1. What do you believe is the best option for the Town of Kingsville:**

- ☐ The Town of Kingsville should ban private cannabis retail stores
- ☐ The Town of Kingsville should allow private cannabis retail stores

**2. I wish to provide more comments**

**3. What is your postal code?**

4. What is your gender?

- ☐ Female
- ☐ Male
- ☐ Transgender
- ☐ No answer

5. Are you a registered voter?

- ☐ Yes
- ☐ No
- ☐ Unsure / Don't know

6. What is your age?

- ☐ 18 or younger
- ☐ 19-20
- ☐ 21-29
- ☐ 30-39
- ☐ 40-49
- ☐ 50-59
- ☐ 60 or older





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Telephone: 416-314-6331

7<sup>e</sup> étage, Édifice Frost Sud  
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Toronto ON M7A 1Y7  
Téléphone: 416-314-6331

November 20, 2018

Mr. Jamie McGarvey  
President  
Association of Municipalities of Ontario  
200 University Ave, Suite 801  
Toronto, Ontario  
M5H 3C6

Dear Mr. McGarvey:

Recently, Ontario's Government for the People moved to a new cannabis retail model to meet our key priorities of combatting the illegal market and keeping our children and communities safe.

Today, the Province is beginning the fulfillment of its commitment to provide \$40 million in funding over two years to municipalities to help with the implementation costs of recreational cannabis legalization.

The Ontario Cannabis Legalization Implementation Fund (OCLIF) will be distributed as follows:

- In early January, the first payment of \$15 million will be made to all municipalities on a per household basis, adjusted so that at least \$5,000 is provided to each municipality. This will enable all municipalities to proceed with their planned legalization activities.
- A second payment of \$15 million will then be distributed following the deadline for municipalities to opt-out under the *Cannabis Licence Act*, which is January 22, 2019.
  - Municipalities that have not opted-out as of January 22, 2019 will receive funding on a per household basis, adjusted so that at least \$5,000 is provided to each municipality. This funding will support initial costs related to hosting retail storefronts.
  - Municipalities that have opted-out will receive only a second \$5,000 each.

.../cont'd

- The Province is setting aside \$10 million of the municipal funding to address costs from unforeseen circumstances related to the legalization of recreational cannabis, and priority will be given to municipalities that have not opted-out. Further details will be provided at a later date.
- Finally, if Ontario's portion of the federal excise duty on recreational cannabis over the first two years of legalization exceeds \$100 million, the Province will provide 50 per cent of the surplus only to municipalities that have not opted-out as of January 22, 2019.

Lower-tier and upper-tier municipalities will receive a 50/50 split of the allocation. The household numbers will be split between the upper- and lower-tier, and the allocation calculated accordingly. Decisions to adjust the split in allocation and transfer funding can be made at the local level as needed. Upper-tier municipalities will receive funding in relation to opt-out decisions made by the lower-tier municipality.

This is information also being communicated to Heads of Councils. The Deputy Minister of Finance will communicate to each municipality's Treasurer further details on administration of this funding and attach each municipality's specific allocation notice.

Our government is committed to respecting taxpayers and their hard-earned money. We believe municipalities have an obligation to do likewise.

As such, municipalities must use this funding to address the implementation costs that directly relate to the legalization of recreational cannabis. Examples of permitted costs include:

- increased enforcement (e.g., police, public health and by-law enforcement, court administration, litigation);
- increased response to public inquiries (e.g., 311 calls, correspondence);
- increased paramedic services; increased fire services; and
- by-law / policy development (e.g., police, public health, workplace safety policy).

To assess the impact of the funding, it's my request that the Association of Municipalities of Ontario and the City of Toronto work with the Ministry of Finance to establish a process by which a sample group of municipalities can assess the use and impact of these funds. The Ministry of Finance will contact your staff to discuss this process further.

.../cont'd

Our government is committed to building a retail system for cannabis sales that will help eliminate the illegal market and is safe and reliable with rules that keep cannabis out of the hands of children and youth, while keeping our roads safe. Complementary to this municipal funding, the Province continues to do the following:

- Increase the capacity of law enforcement to help detect drug impaired driving through training. The Province has also created a specialized legal team to support drug impaired driving prosecutions, increased capacity at the Province's Centre of Forensic Sciences, and has created a Cannabis Intelligence Coordination Centre.
- Support local boards of health (public health units) by providing a suite of tools and resources for enforcement of the *Smoke-Free Ontario Act, 2017*, which includes rules for smoking and vaping of cannabis.
- Conduct an integrated public awareness campaign to communicate the rules and regulations for recreational cannabis and educate Ontarians about the health and safety measures in place to protect them.

We appreciate the efforts of municipalities in the implementation of the federal government's legalization of cannabis and look forward to continuing to work together.

Sincerely,



Vic Fedeli  
Minister of Finance

- c. The Honourable Caroline Mulroney, Attorney General  
The Honourable Steve Clark, Minister of Municipal Affairs and Housing  
Pat Vanini, Executive Director, AMO  
Dan Miles, Chief of Staff  
Paul Boniferno, Deputy Attorney General  
Greg Orencsak, Deputy Minister of Finance  
Laurie LeBlanc, Deputy Minister of Municipal Affairs and Housing  
Renu Kulendran, Ontario Legalization of Cannabis Secretariat, Ministry of Attorney General  
Nicole Stewart, Executive Lead, Cannabis Retail Implementation Project, Ministry of Finance  
Kate Manson-Smith, Assistant Deputy Minister, Local Government and Planning Policy Division, Ministry of Municipal Affairs and Housing



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kingsvilleworks@kingsville.ca

**Date:** November 23, 2018

**To:** Mayor and Council

**Author:** Robert Brown, H. Ba, MCIP, RPP  
Manager, Planning Services

**RE:** 2018 Site Plan Approval Update

**Report No.:** PDS 2018-061

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## **AIM**

To provide the Mayor and Council with information on the administrative approval of site plans and/or site plan amendment as per Site Plan Control By-law 128-2015.

## **BACKGROUND**

In December of 2015 Council approved a new site plan control by-law to replace the 2001 by-law. The new by-law provided for a much more detailed outline of where site plan approval was required, reinforced and expanded on the enforcement provisions and provided a tiered approval approach. Site plan approvals were also divided into two categories, Council approved and Administrative approval. This was intended to provide the ability to deal with minor additions and amendments for properties with existing site plan approval in place and to better process smaller new site plan approvals where the development was below a specific dollar value, did not require any other planning approval and was not located next to residentially zoned property. Council approved this approach on the basis that administration would provide periodic updates on administrative approvals.

During 2018 a total of seven application were reviewed and approved by staff. Three applications were for site plan amendments, three were for site plan approval and one was the result of a severance application that required each property to have separate agreements in place.

Item 1 – Mastron Enterprises – 2100 Road 4 E and Bull Market Farms - 2633 County Road 31 (Albuna Town Line). (Appendix A)

Item 2 – Universal Greenhouse Structures – 1956 Settrington Drive. (Appendix B)

Item 3 – Sunvalley Hydroponics Ltd. – 3080 Graham Side Road. (Appendix C)

Item 4 – Sunrite Greenhouses Ltd. – 1462 Seacliff Drive. (Appendix D)

Item 5 – Century 21 Erie Shores Realty Inc. 12 & 14 Main St. W. (Appendix E)

Item 6 – Global Pack Packing Solutions Inc. 32 Dimar Drive. (Appendix F)

Item 7 – Load Boss Logistics - 1971 Road 3 E. (Appendix G)

## **DISCUSSION**

Item 1 - In late 2017 an application for consent was approved that created separate lots for the existing greenhouse and the processing/shipping and office building. As a condition of that approval the applicant was required to make application to amend the existing single site plan agreement and re-register individual agreements specific to each of the new properties. This provides the Town with the ability to address any future growth on the properties separately and updated the agreements to include the new legal descriptions created because of the severance.

Item 2 - The property in question had an existing site plan approval from 2004. The purpose of the amendment application was for the addition of 2,007 sq. m (21,600 sq. ft.) of new production area and a new storage building to replace an older smaller existing building. Storm water management was required for the proposed addition.

Item 3 - The greenhouse on the subject property received site plan approval in 2015 for a multiple phase expansion. The requested amendment related to the final phase of development and involved the adding of one extra bay of greenhouse, the enlargement of the new warehouse area and the demolition and replacement of an existing support area of the original greenhouse. The increase in lot coverage was minimal however, the storm water management plan from 2015 was reviewed and the applicant's engineer confirmed that the existing system would not be impact by the minor increase.

Item 4 - The amendment for the property included the relocation of the proposed future bunkhouses and the addition of a multi-phase containerized growing system to produce lettuce. This addition replaced what was originally proposed as a third phase of warehouse space. The reconfigured bunkhouses are more compact and well located for access, particularly in the case of emergency.

Item 5 - The subject property contained two existing buildings. The proposed redevelopment called for the removal of the smaller single storey building at 12 Main St. W. and construction of a new larger two-story building that would be added to a renovated 14 Main St. W. The entire building would then provide enlarged office space for the business. There is limited parking available to the subject properties now however as part of the approval a third property, also owned by the applicant. will be incorporated as part of the overall development and will supplement the necessary parking for the increase in square footage.



Item 6 - This site plan approval represents the first development in the Ruthven Industrial Park. The proposal was for a 2,392 sq. m (25,750 sq. ft.) warehouse/manufacturing and supporting office area. The new development is for the relocation of an existing business in Kingsville that provides thermoform packaging to a variety of businesses including the greenhouse industry.

Item 7 - The property contains an existing office and service building. The proposed development was for a separate 892 sq. m (9,600 sq. ft.) warehouse to the rear of the existing building. The property did not have an existing site plan approval in place as such a site plan application was required prior to construction. Storm water management was required for the proposed addition along with the installation of the new septic system.

## **LINK TO STRATEGIC PLAN**

Support growth of the business community.

## **FINANCIAL CONSIDERATIONS**

Each of the developments will result in increased assessment upon completion of the respective projects. Building permit fees will be required in all cases along with development charges where applicable.

## **CONSULTATIONS**

<b>Agency or Administrator</b>	<b>Comment</b>
Essex Region Conservation Authority Watershed Planner	<ul style="list-style-type: none"> <li>• ERCA comment from each of the proposed developments was related to the completion of storm water drainage and obtaining ERCA permits where applicable.</li> <li>• No objection was noted to any of the approvals</li> </ul>
Town of Kingsville Management Team	<ul style="list-style-type: none"> <li>• No concerns with the requested amendments or approvals</li> <li>• Any proposed building will need to comply with the requirements of the OBC.</li> <li>• Municipal Services required completion of storm water management on all new items and updates to those where only small revisions had occurred.</li> </ul>
County of Essex	<ul style="list-style-type: none"> <li>• County comment was limited to setbacks where applicable and the requirement of permits for any new access or modifications to existing access.</li> <li>• No access changes were proposed on any of the properties fronting a County Road.</li> </ul>

## RECOMMENDATION

It is recommended that Council receive the 2018 site plan update report for information purposes.

*Robert Brown*

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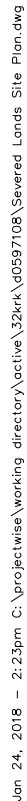
Robert Brown, H. Ba, MCIP, RPP  
Manager, Planning Services

*Peggy Van Mierlo-West*

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Peggy Van Mierlo-West, C.E.T.  
Chief Administrative Officer

[illegible]



Jan 25, 2018 - 9:58am C:\project\wise\working directory\active\32krk\00597108\Severed Lands Site Plan.dwg



SPC XXX/XX

SITE STATISTICS:

PART 4 (EXISTING GREEN HOUSE)	= 81.17ac (32.86ha)
PART 5 (SIGN)	= 0.02ac (0.01ha)
TOTAL SITE AREA	= 81.19ac (32.87ha)

PARKING REQUIREMENTS:

TOTAL PARKING REQUIREMENTS	= 2,392,726.35 sq.ft (222,291.55sq.m)
BUILDING 'A'	= 5,524.30 sq.ft ( 513.22sq.m)
BUILDING 'B'	= 2,398,250.65 sq.ft (222,804.77sq.m)

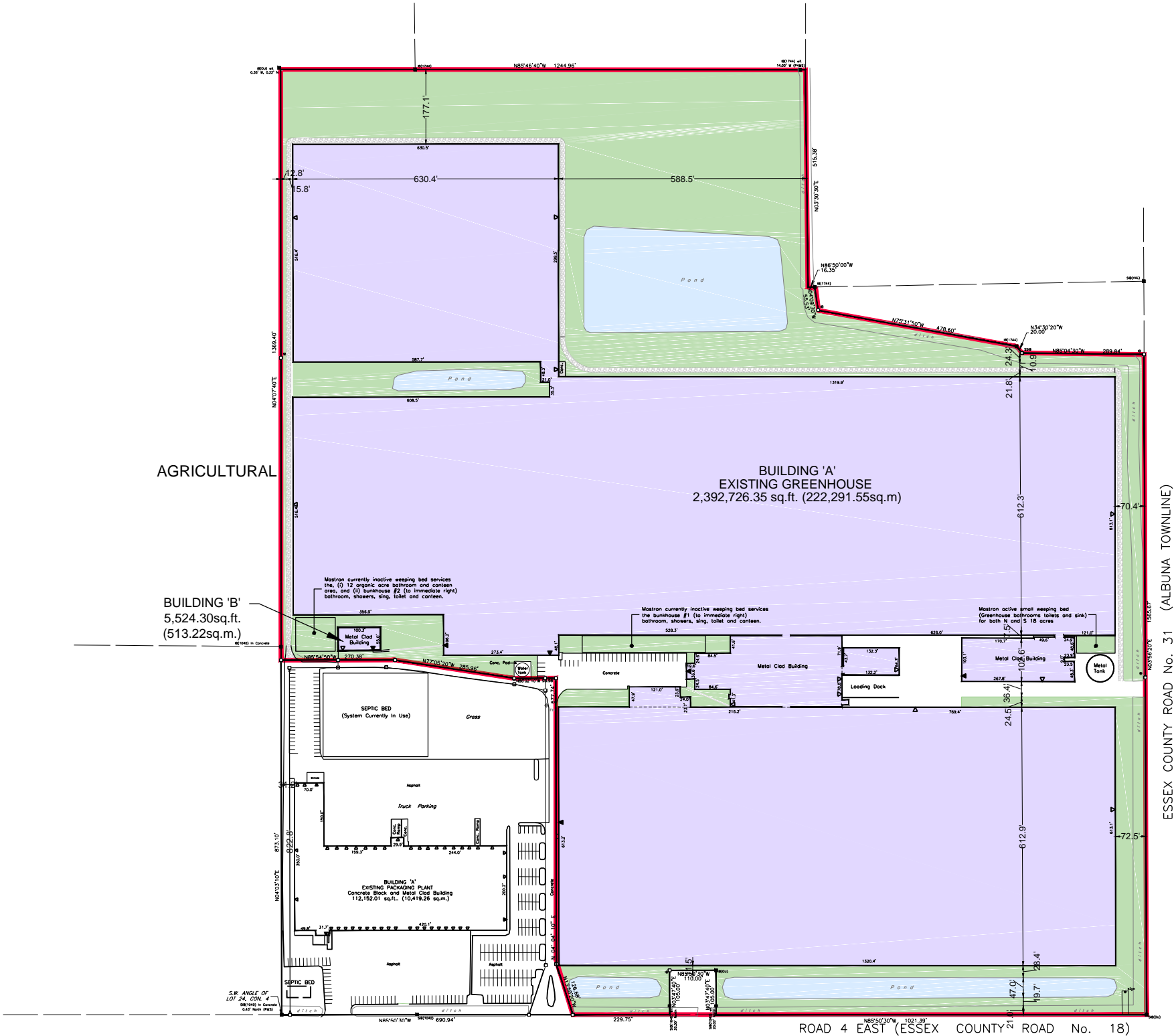
PARKING SPACES REQUIRED	= 12
PARKING SPACES PROVIDED	= 30
HANDICAPPED PARKING SPACES REQUIRED	= 1
HANDICAPPED PARKING SPACES PROVIDED	= 0
LOADING SPACES REQUIRED	= 4
LOADING SPACES PROVIDED	= 3

TOTAL LANDSCAPED AREA	= 793,323.96sq.ft (73,702.21sq.m)
HARD LANDSCAPING	= 1,639.12sq.ft ( 152.28sq.m)
SOFT LANDSCAPING	= 791,684.84sq.ft (73,549.93sq.m)

CURBING LENGTH	= 596.52ft (181.82m)
----------------	----------------------

NOTE: All roadways are to be treated as fire routes within the development.

LEGEND	
	BUILDING
	SOFT LANDSCAPING
	HARD LANDSCAPING
	SWM POND
	GRAVEL ACCESS ROAD
	PRIMARY DOOR
	SECONDARY DOOR/LOADING BAY
	FIRE HYDRANT



**DILLON**  
CONSULTING

3200 Deziel Drive, Suite 108, Windsor, ON N8W 5K8  
Phone: (519) 948-5000 Fax (519) 948-5054

1	MUNICIPAL SPC COMMENTS	JAN 22/18	KRK/MAM
No.	ISSUED FOR	DATE	BY

1.0" = 1'-0"

MASTRON ENTERPRISES LTD.  
2633 ALBUNA TOWNLINE

SITE PLAN CONTROL  
OVERALL SITE PLAN

PROJECT NO.  
17-6582-1000

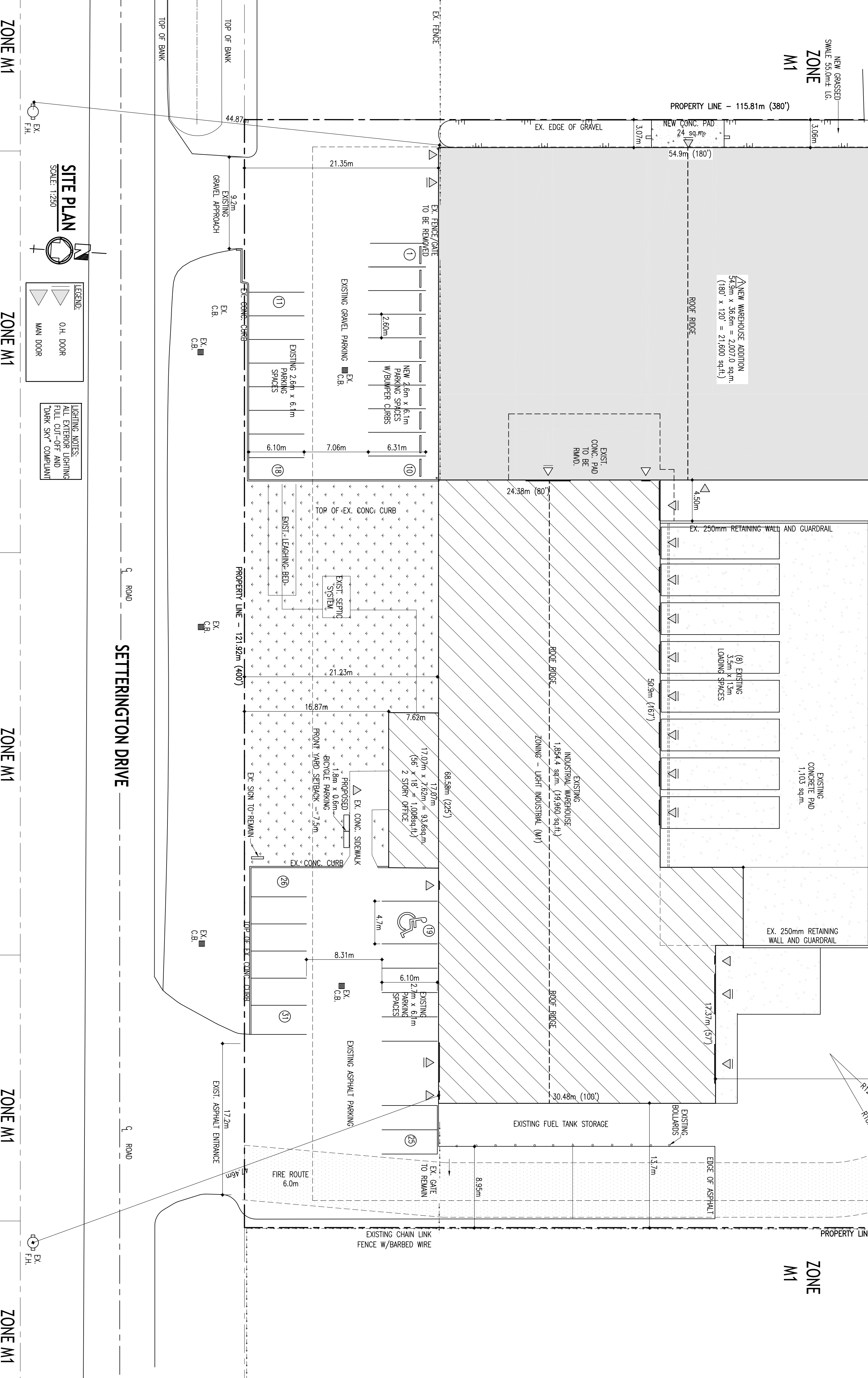
SHEET NO.  
2



[illegible]

PARKING REQUIREMENTS					
WARMHOUSE PARKING SPACE (2.7m x 6.0m SPACES)	SPACE PER 200 sq.m.	= 2007/200			
	(WARMHOUSE)	= 11 REQUIRED			
OFFICE SPACE (2.7m x 6.0m SPACES)	1 SPACE PER 40 sq.m.	= 1827/400			
	(OFFICE)	= 5 ROUNDED			
INDUSTRIAL SPACE (2.7m x 6.0m SPACES)	1 SPACE PER 100 sq.m.	= 1854/100			
	(WAREHOUSE)	= 19 ROUNDED			
TOTAL PARKING SPACES REQUIRED =	35				
TOTAL B.F. PARKING SPACE PROVIDED =	38				
TOTAL LOADING SPACES REQUIRED =	3				
	B.F. LOADING SPACE PROVIDED =	8			

BUILDING DATA	
BUILDING	AREA, m <sup>2</sup> (ft <sup>2</sup> )
EXIST. INDUSTRIAL WAREHOUSE	1,854.4 sqm. (19,960 sq.ft.)
EXIST. OFFICE BUILDING	93.6 sqm. (1,008 sq.ft.)
PROPOSED BUILDING EXPANSION	2,007 sqm. (21,600 sq.ft.)
TOTAL	3,955 sq.m. (42,568 sq.ft.)



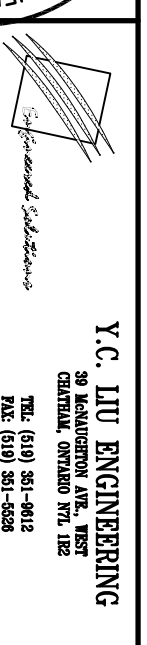
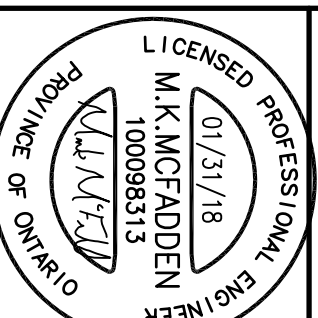
REVISIONS	ISSUED FOR	DATE
Δ	OWNER APPROVAL PROPOSED BUILDING WIDTH ADJUSTED SITE PLAN AMENDMENT	FEB. 18/2016 JULY 20/2017 AUG. 9/2017
	OWNER APPROVAL	JAN. 23/2018
	STORM WATER MANAGEMENT	JAN. 31/2018

PRO

NEW WAREHOUSE ADDITION  
FOR

1956 SETTERINGTON DR. (LOT 12, CONCESSION III E.D.)      KINGSVILLE, ONTARIO

SHEET TITLE: SITE PLAN











**NOTES:**

1. THE ACCURACY OF THE UTILITIES SHOWN ON THESE DRAWINGS ARE NOT GUARANTEED BY THE CITY OF N. H. & P. UTILITIES ENGINEERING LTD. OTHER UTILITIES MAY BE PRESENT OR NOT SHOWN MAY DIFFER IN SIZE OR LOCATION SHOWN.
2. ALL ELEVATIONS SHOWN IN METRES.
3. DENOTES EXISTING SITE ELEVATIONS.
4. **(191.405)** APPROXIMATE PROPOSED TOP ELEVATION.
5. **(190.205)** APPROXIMATE PROPOSED INVERT.
6. **(191.405)** APPROXIMATE PROPOSED SITE ELEVATION.
7. APPROXIMATE PROPOSED SWALE GRADES.
8. (H) INDICATE SLOPES NO STEEPER THAN 4:1 (H) TO 1 (V) (c).
9. PLACE TOPSOIL ON ALL SLOPES AND DISTURBED AREAS AND SEED TO GRASS.
10. ALL NEW COVERED DRAIN AND SURFACE SWALES HAVE TO OUTLET EROSION PROTECTION.
11. EROSION PROTECTION TO COMPRISE OF 300mm THICK CRUSHED LIMESTONE RIP RAP COVERED WITH FLIES CLIN MINIMUM 12cm deep.
12. PROVIDE ROAD GRATES ON ALL DRAIN.
13. TOP ELEVATION OF PHASE 1 & 2 DETENTION POND BANK IS TO BE NO LESS THAN 197.20m.
14. STORM DRAIN IN EXCESS OF THE 1:100 YEAR STORM MAY CAUSE FLOODING.
15. STORM DETENTION AND DETENTION DESIGN BASED ON SITE LAYOUT ESTABLISHED BY OWNER. ACCURACY OF LAYOUT IS THE RESPONSIBILITY OF THE OWNER.
16. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE STORMWATER MANAGEMENT REPORT DATED APRIL 2017.
17. OWNER/CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE SEDIMENT CONTROLS MEASURES DURING CONSTRUCTION. FOR DETAILS SEE SEDIMENT CONTROL.
18. DETAILS FOR SPILL WET CONTROL MEASURES AND LIME IN APPLICATION OF THE STORMWATER MANAGEMENT REPORT.
19. CATCHBASINS TO BE PRECAST CONCRETE FOUR FOOT OR HEAVY DUTY CAST IRON GRADE OR EQUIVALENT.
20. ALL EXTERIOR LIGHTING TO BE DARK SKY

1. TOP NUT OF FIRE HYDRANT AT NORTHWEST CORNER OF PROPERTY ON THE WEST SIDE OF GRAHAM SIDE ROAD.  
ELEV. 201.484m

2. NAIL ON POST NEAR IB, 90m WEST OF SOUTHEAST CORNER OF PROPERTY.  
ELEV. 202.552m

BUILDING PERMIT	W.L.L.	16 MAY 2018
PERMIT/APPROVAL	W.L.L.	2 MAR. 2018
ISSUED FOR:	BY	DATE
REVISIONS		

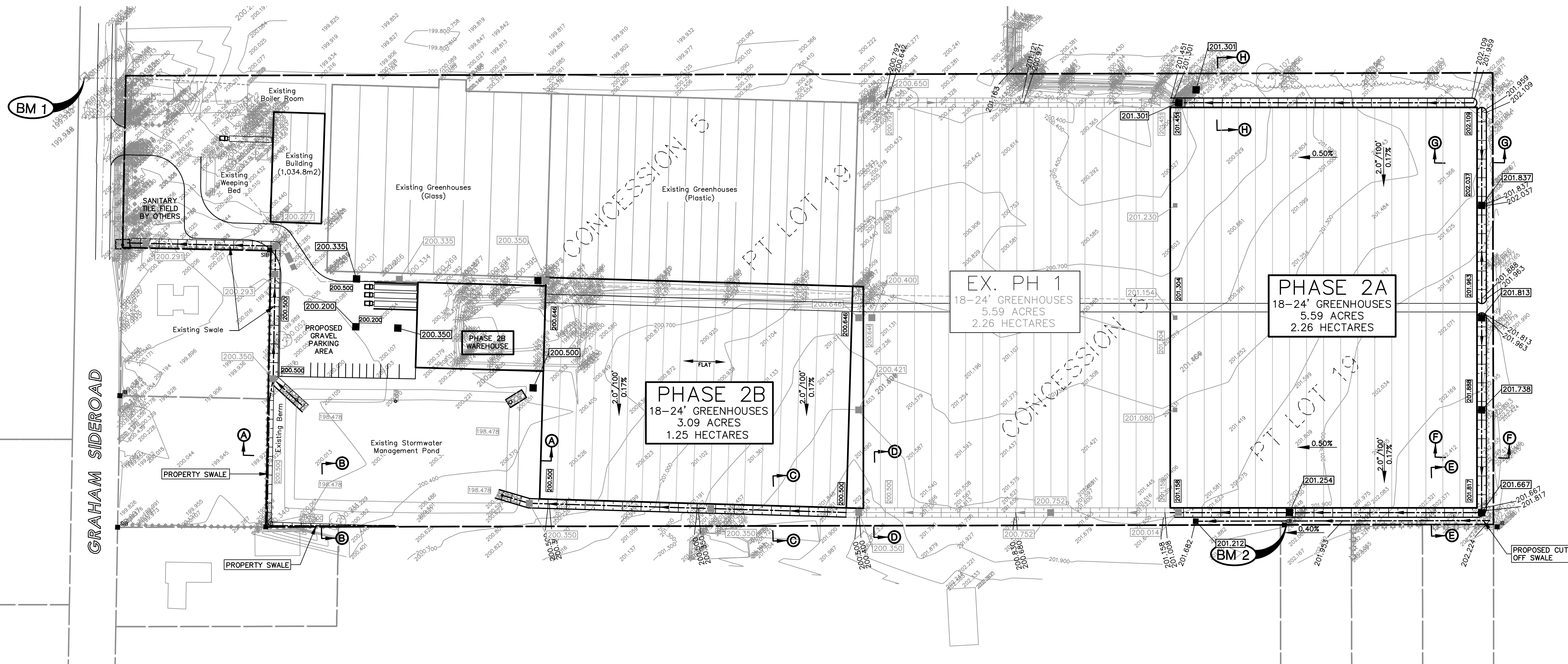
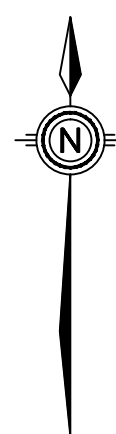
Kingsville Ontario

## PHASE 2A & 2B

SHEET TITLE

## SITE PLAN

DESIGNED BY: <b>H.C.M</b>	DATE: <b>FEB. 13th, 2018</b>
DRAWN BY: <b>R.A.L</b>	SCALE: <b>1:1000</b>
SHEET No.: <b>1</b>	OF: <b>4</b>
PROJECT No.: <b>E17-113</b>	



GRADING PLAN

Scale = 1:1000

- NOTES:
1. THE ACCURACY OF THE UTILITIES SHOWN ON THESE DRAWINGS ARE NOT GUARANTEED BY THE OWNER OR N. J. PERALTA ENGINEERING LTD. OTHER UTILITIES MAY BE PRESENT OR THE UTILITIES SHOWN MAY DIFFER IN SIZE OR LOCATION SHOWN.
  2. ALL ELEVATIONS SHOWN IN METRES.
  3. DENOTES EXISTING SITE ELEVATIONS.
  4. APPROXIMATE PROPOSED TOP ELEVATION.
  5. DENOTES PROPOSED INVERTS.
  6. APPROXIMATE PROPOSED SITE GRADE.
  7. APPROXIMATE PROPOSED SWALE GRADES.
  8. ALL POND SIDE SLOPES NO STEEPER THAN 4 (HVS) TO 1 (HVS).
  9. PLACE TOPSOIL ON ALL SLOPES AND DISTURBED AREAS AND SEED TO GRASS.
  10. ALL NEW COVERED DRAINS AND SURFACE SWALES TO HAVE OUTLET EROSION PROTECTION.
  11. EROSION PROTECTION TO COMPRISE OF 300mm THICK QUARRIED LIMESTONE RIP RAP ON NON-WOVEN FILTER CLOTH MINIMUM 2.0m WIDE.
  12. PROVIDE RODENT GRATES ON ALL DRAIN OUTLETS.
  13. TOP ELEVATION OF PHASE 1 & 2 DETENTION POND BANK IS TO BE NO LESS THAN 187.720m.
  14. STORM EVENTS IN EXCESS OF THE 1-100 YEAR STORM MAY CAUSE FLOODING.
  15. STORM DRAINAGE AND DETENTION DESIGN BASED ON SITE LAYOUT ESTABLISHED BY OWNER. ADEQUACY OF SITE LAYOUT IS THE RESPONSIBILITY OF THE OWNER.
  16. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE STORMWATER MANAGEMENT REPORT DATED APRIL 2017.
  17. OWNER/CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. FOR DETAILS SEE OPS5 577.
  18. DETAILS FOR SEDIMENT CONTROL MEASURES ARE AVAILABLE IN APPENDIX 'D' OF THE STORMWATER MANAGEMENT REPORT.
  19. CATCHBASINS TO BE PRECAST CONCRETE WITH CAST IRON OR HEAVY DUTY STEEL GRATE OR EQUIVALENT.
  20. ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT AND FULL CUT-OFF.

BENCHMARK:

1. TOP NUT OF FIRE HYDRANT AT NORTHWEST CORNER OF PROPERTY ON THE WEST SIDE OF GRAHAM SIDE ROAD.  
ELEV. 201.484m
2. NAIL ON POST NEAR IS 90m WEST OF SOUTHEAST CORNER OF PROPERTY.  
ELEV. 202.552m

BUILDING PERMIT	W.L.L.	16 MAY 2018
PERMIT/APPROVAL	W.L.L.	2 MAR. 2018
ISSUED FOR:	BY	DATE

REVISIONS

**N. J. Peralta**  
**Engineering Ltd.**

Consulting Engineers

Kingsville Ontario

ENGINEERING STAMPS:



**SUNVALLEY**  
**HYDROPONICS**

**PHASE 2A & 2B**

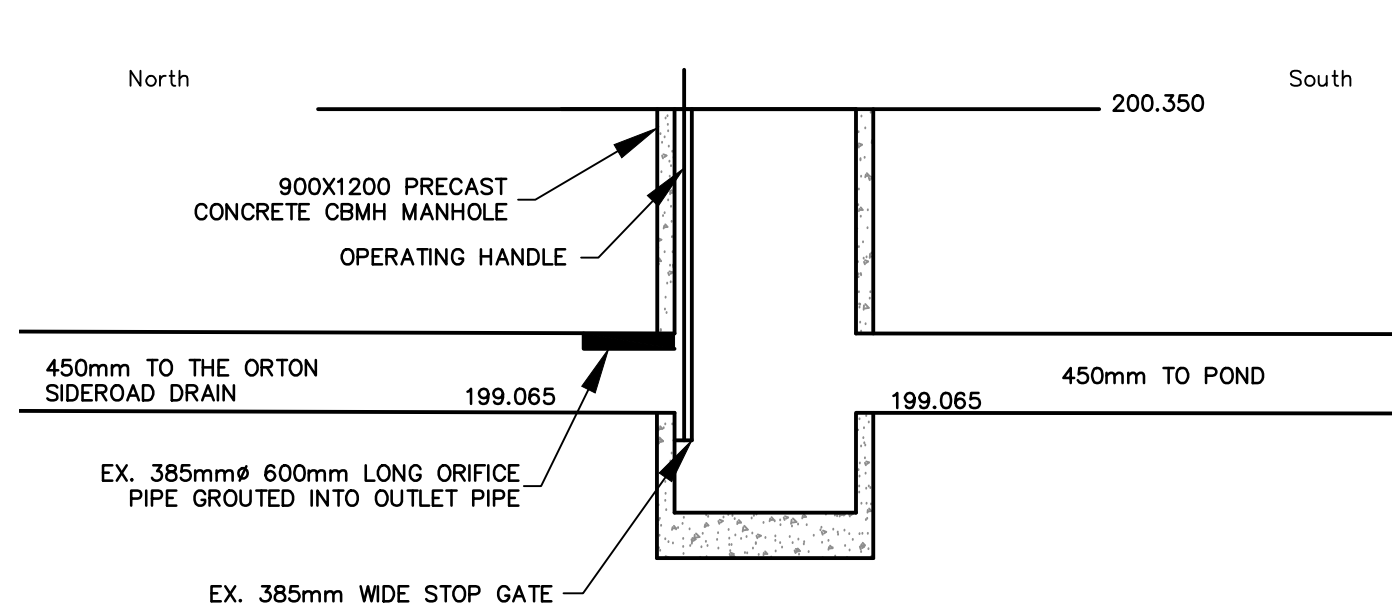
**3080 GRAHAM SIDEROAD**  
**KINGSVILLE, ONTARIO**

SHEET TITLE:

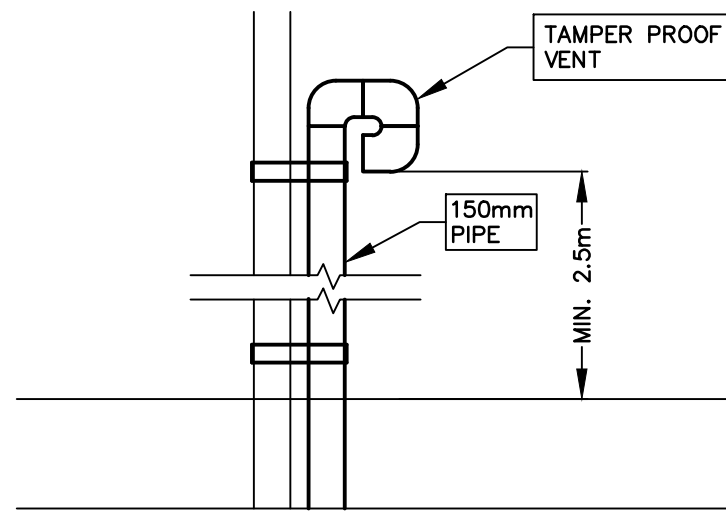
GRADING PLAN

DESIGNED BY:	H.C.M	DATE:	FEB. 13th, 2018
DRAWN BY:	R.A.L.	SCALE:	1:1000
SHEET No.:	2	OF:	4
PROJECT No.:	E17-113		

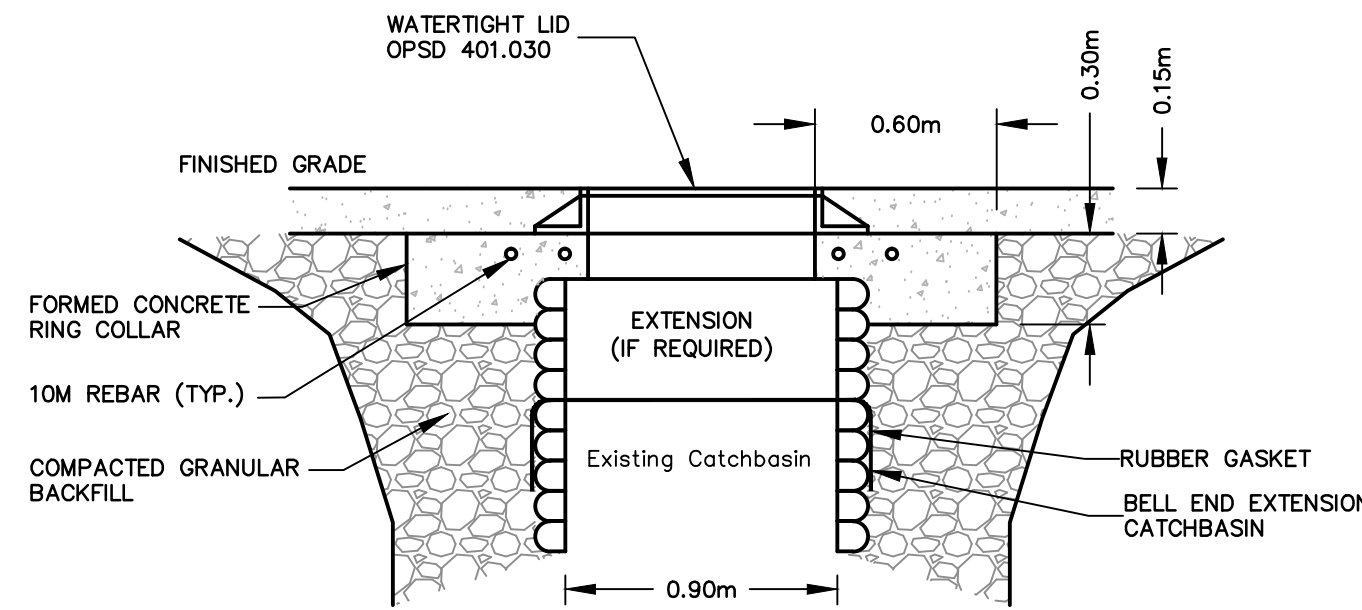




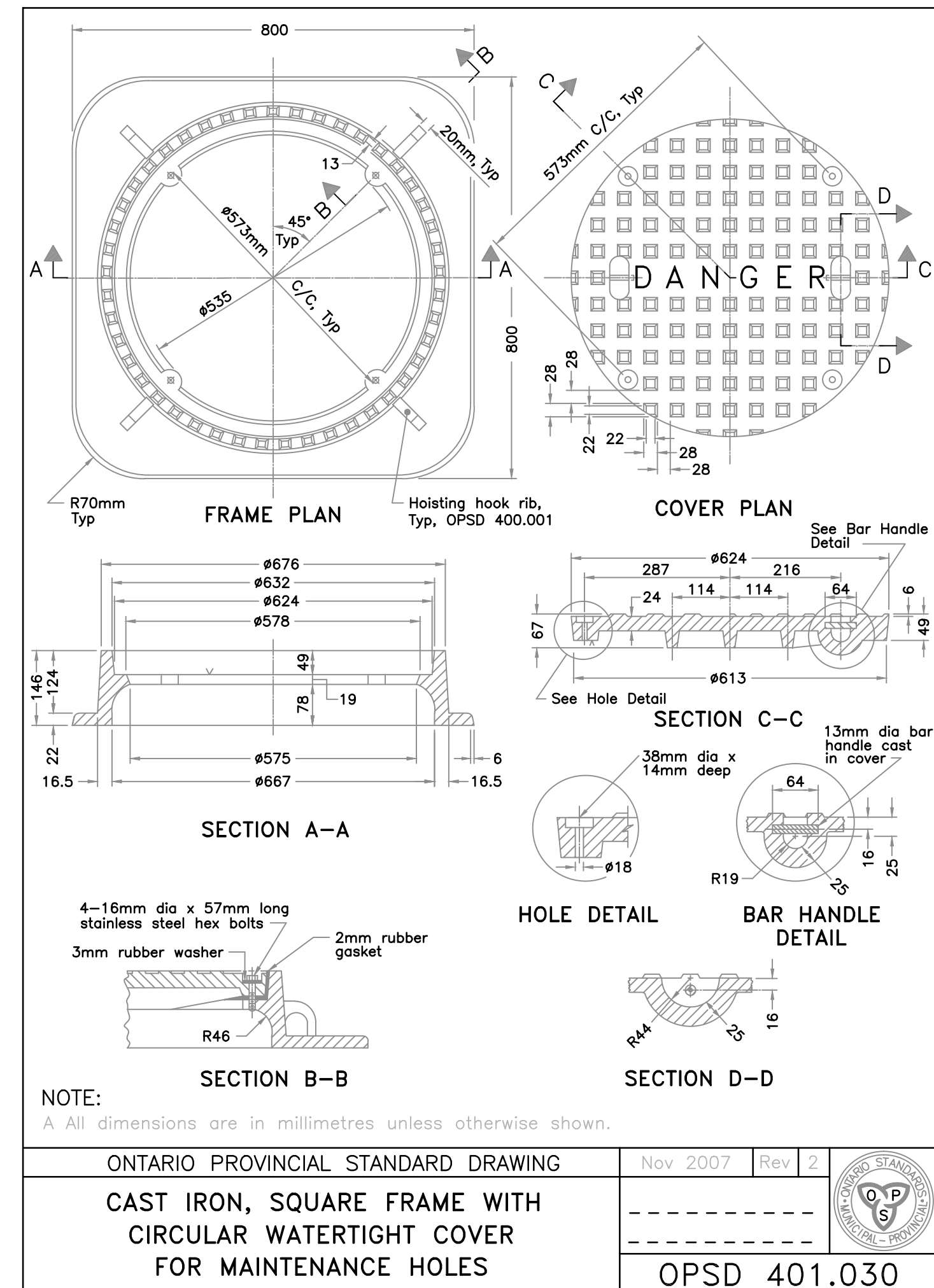
EX. CB-MH 4 DETAIL  
NTS



DRAINAGE PIPE VENT DETAIL  
NTS



EXISTING CATCHBASIN - WATERTIGHT LID DETAIL  
NTS



NOTE:  
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2007 Rev 2

CAST IRON, SQUARE FRAME WITH  
CIRCULAR WATERTIGHT COVER  
FOR MAINTENANCE HOLES

OPSD 401.030

- NOTES:
1. THE ACCURACY OF THE UTILITIES SHOWN ON THESE DRAWINGS ARE NOT GUARANTEED BY THE OWNER OR N. J. PERALTA ENGINEERING LTD. OTHER UTILITIES MAY BE PRESENT OR THE UTILITIES SHOWN MAY DIFFER IN SIZE OR LOCATION SHOWN.
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  5. DENOTES PROPOSED INVERTS.
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  7. APPROXIMATE PROPOSED SWALE GRADES.
  8. ALL POND SIDE SLOPES NO STEEPER THAN 4 (HVS) TO 1 (HVS).
  9. PLACE TOPSOIL ON ALL SLOPES AND DISTURBED AREAS AND SEED TO GRASS.
  10. ALL NEW COVERED DRAINS AND SURFACE SWALES TO HAVE OUTLET EROSION PROTECTION.
  11. EROSION PROTECTION TO COMPRISE OF 300mm THICK QUARRIED LESTONITE RIF RAP ON NON-MOVING FILTER CLOTH MINIMUM 2.0m WIDE.
  12. PROVIDE RODENT GRATES ON ALL DRAIN OUTLETS.
  13. TOP ELEVATION OF PHASE 1 & 2 DETENTION POND BANK IS TO BE NO LESS THAN 187.720m.
  14. STORM EVENTS IN EXCESS OF THE 1-100 YEAR STORM MAY CAUSE FLOODING.
  15. STORM DRAINAGE AND DETENTION DESIGN BASED ON SITE LAYOUT ESTABLISHED BY OWNER. ADEQUACY OF SITE LAYOUT IS THE RESPONSIBILITY OF THE OWNER.
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  17. OWNER/CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. FOR DETAILS SEE OPSD 577.
  18. DETAILS FOR SEDIMENT CONTROL MEASURES ARE AVAILABLE IN APPENDIX 'D' OF THE STORMWATER MANAGEMENT REPORT.
  19. CATCHBASINS TO BE PRECAST CONCRETE WITH CAST IRON OR HEAVY DUTY STEEL GRATE OR EQUIVALENT.
  20. ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT AND FULL CUT-OFF.

BENCHMARK:

1. TOP NUT OF FIRE HYDRANT AT NORTHWEST CORNER OF PROPERTY ON THE WEST SIDE OF GRAHAM SIDE ROAD.  
ELEV. 201.484m
2. NAIL ON POST NEAR B. 90m WEST OF SOUTHEAST CORNER OF PROPERTY.  
ELEV. 202.552m

BUILDING PERMIT	W.L.L.	16 MAY 2018
PERMIT/APPROVAL	W.L.L.	2 MAR. 2018
ISSUED FOR:	BY	DATE
REVISIONS		

**N. J. Peralta**  
**Engineering Ltd.**

Consulting Engineers

Kingsville Ontario

ENGINEERING STAMPS:



**SUNVALLEY**  
**HYDROPONICS**

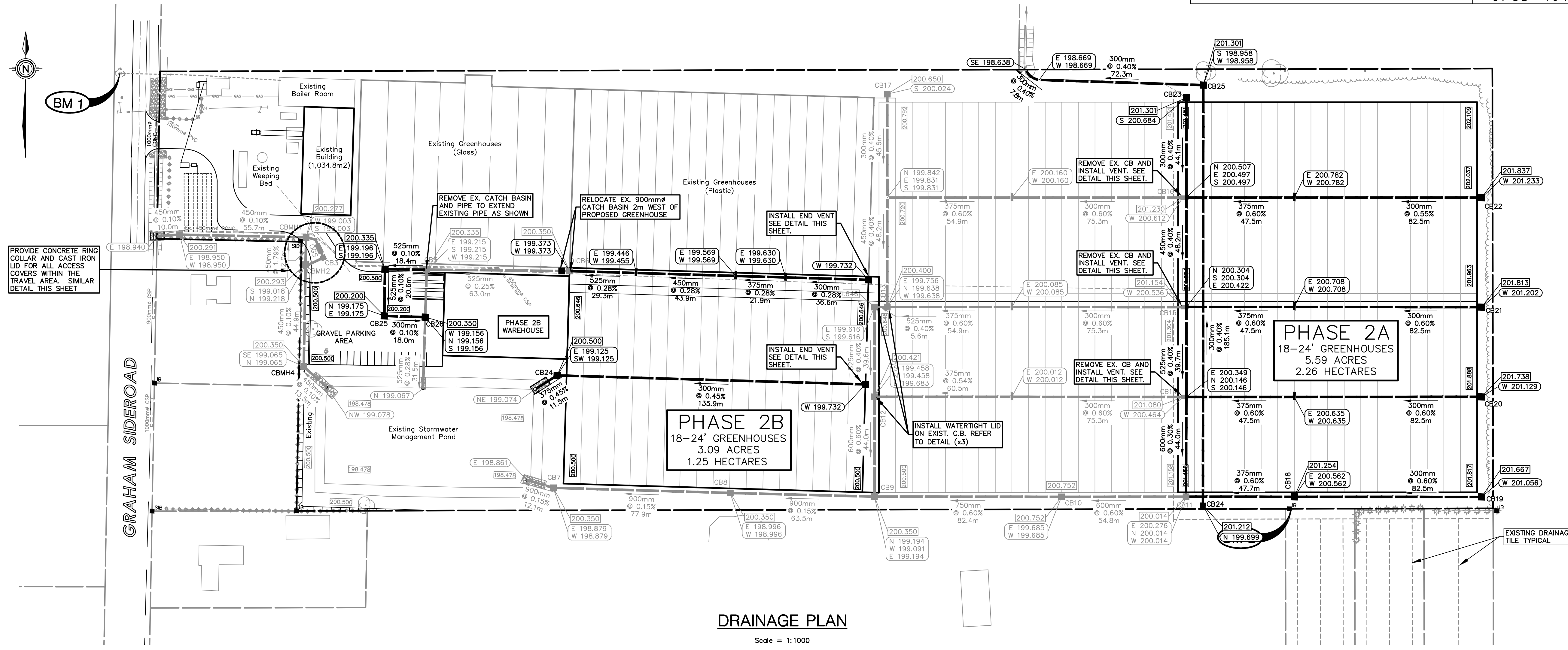
**PHASE 2A & 2B**

**3080 GRAHAM SIDEROAD**  
**KINGSVILLE, ONTARIO**

SHEET TITLE:

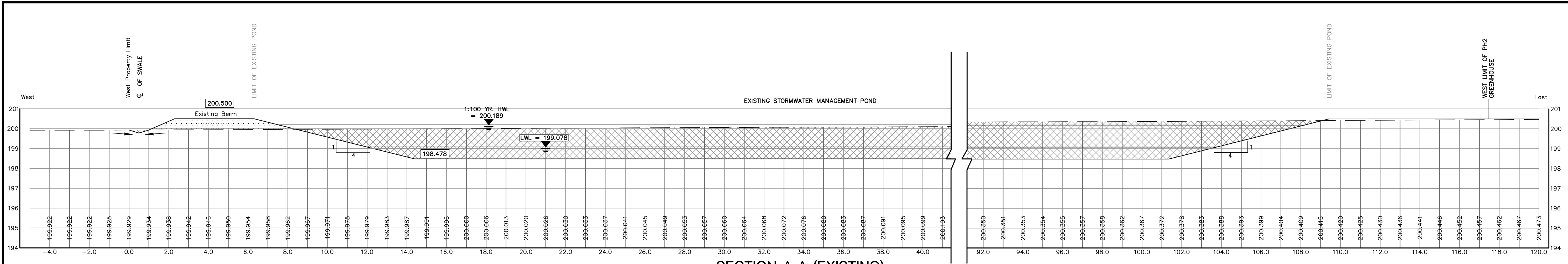
**DRAINAGE PLAN**

DESIGNED BY:	H.C.M	DATE:	FEB. 13th, 2018
DRAWN BY:	R.A.L	SCALE:	1:1000
SHEET No.:	3	OF:	4
PROJECT No.:	E17-113		



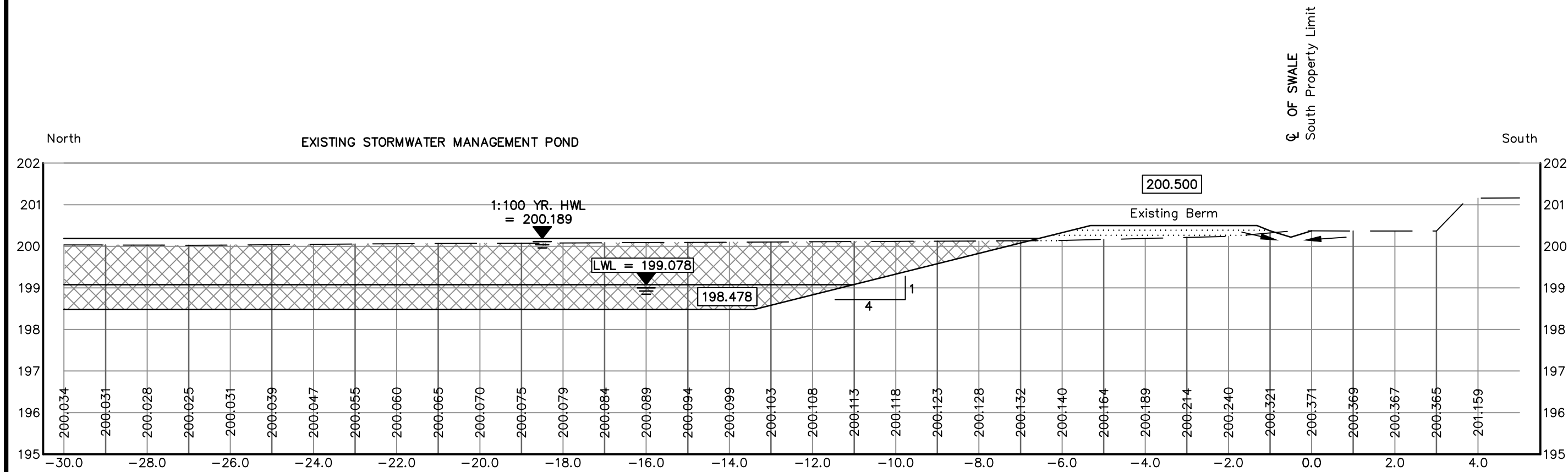
DRAINAGE PLAN  
Scale = 1:1000





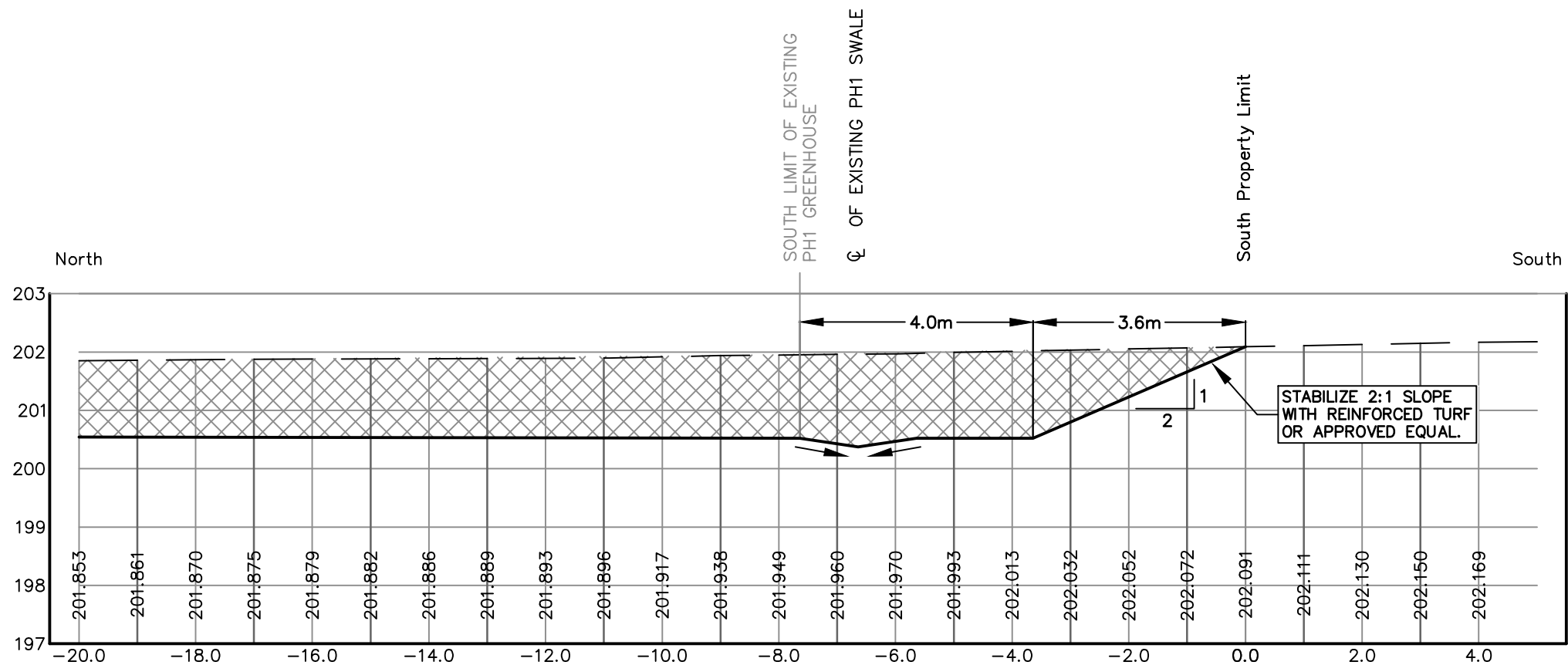
SECTION A-A (EXISTING)

Scale = 1:100



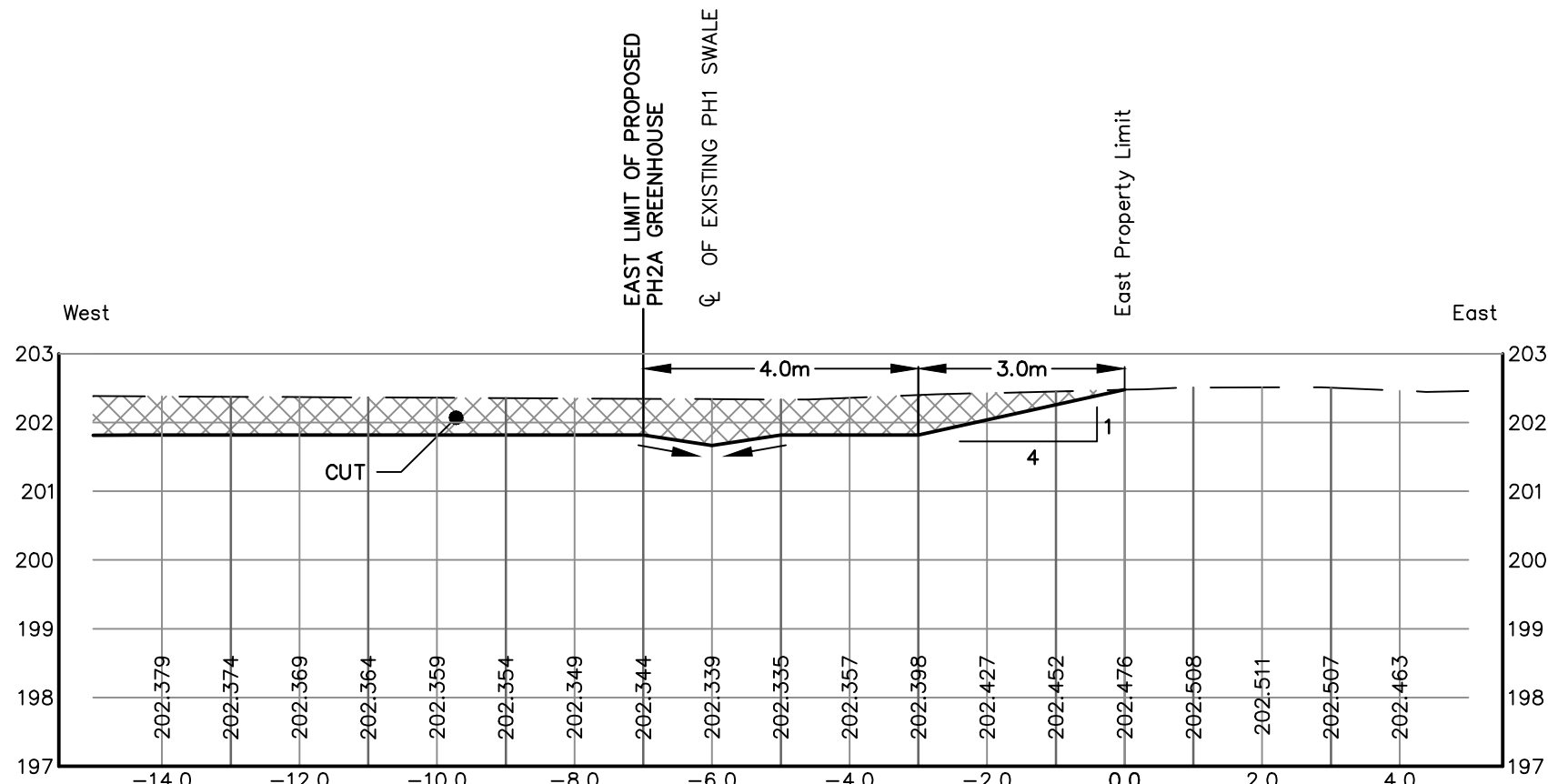
SECTION B-B (EXISTING)

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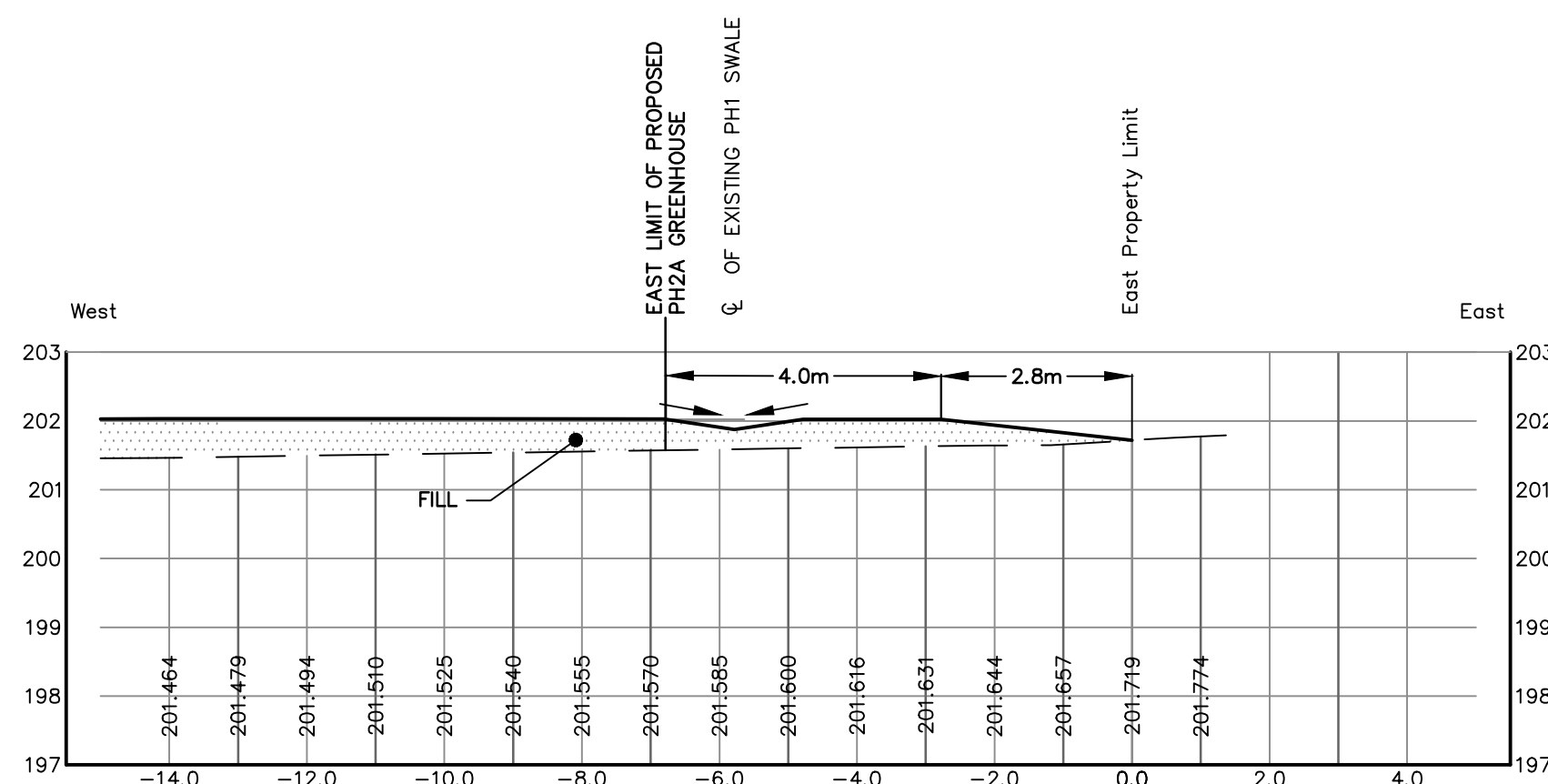
SECTION D-D

Scale = 1:100



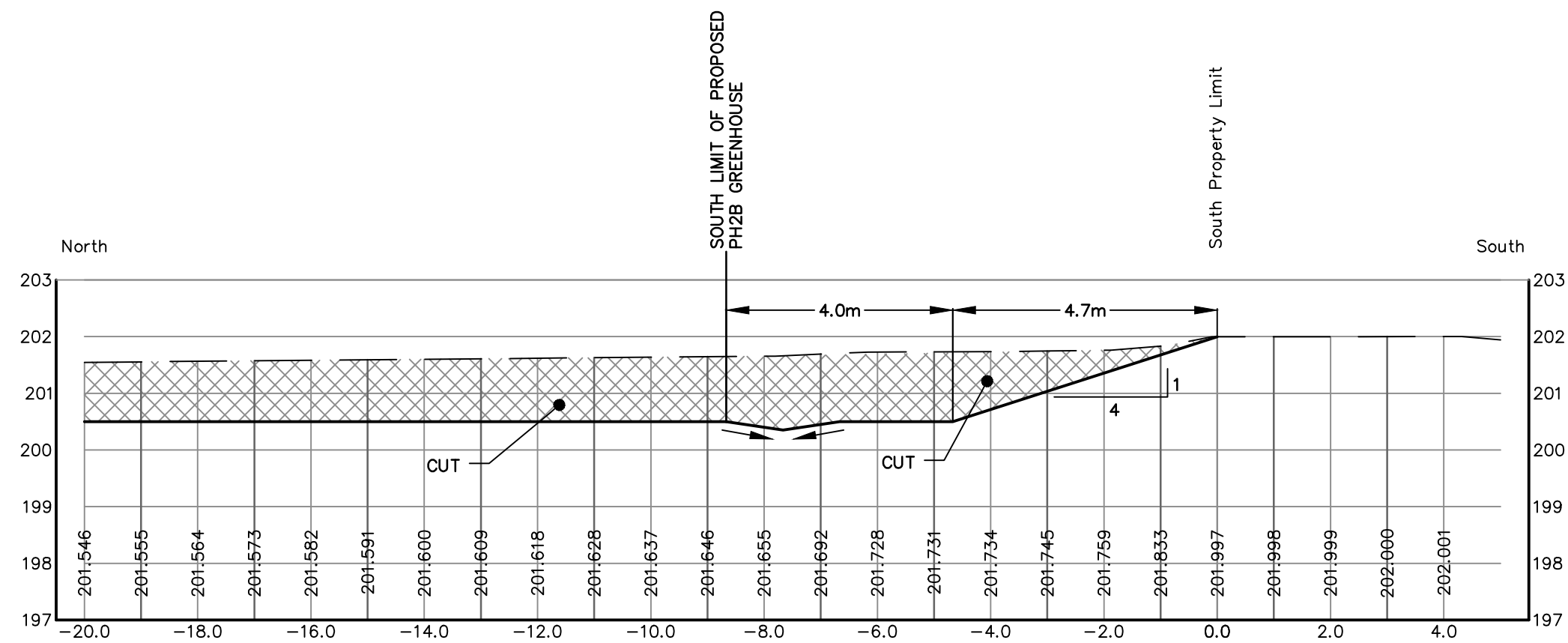
SECTION F-F

Scale = 1:100



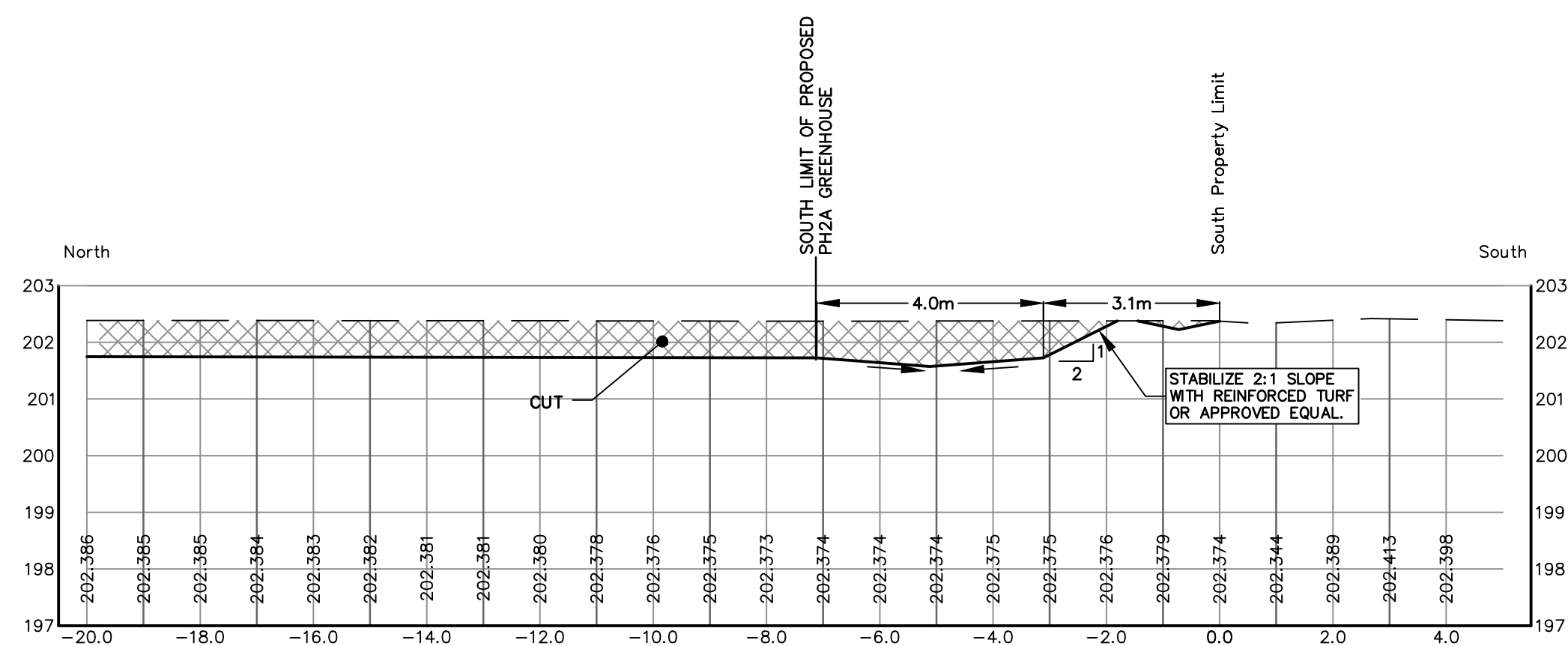
SECTION G-G

Scale = 1:100



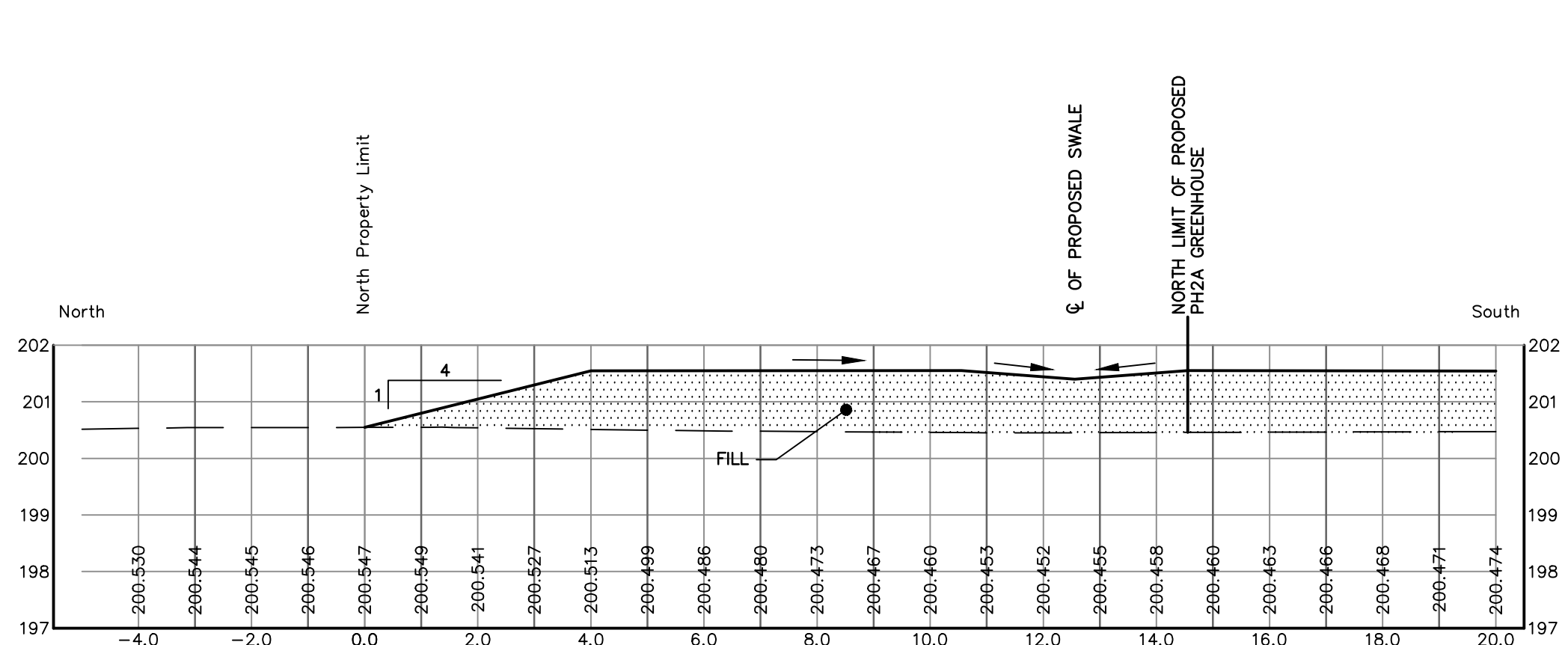
SECTION C-C

Scale = 1:100



SECTION E-E

Scale = 1:100



SECTION H-H

Scale = 1:100

- NOTES:
1. THE ACCURACY OF THE UTILITIES SHOWN ON THESE DRAWINGS ARE NOT GUARANTEED BY THE OWNER OR N. J. PERALTA ENGINEERING LTD. OTHER UTILITIES MAY BE PRESENT OR THE UTILITIES SHOWN MAY DIFFER IN SIZE OR LOCATION SHOWN.
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  4. APPROXIMATE PROPOSED TOP ELEVATION.
  5. DENOTES PROPOSED INVERTS.
  6. APPROXIMATE PROPOSED SITE GRADE.
  7. APPROXIMATE PROPOSED SWALE GRADES.
  8. ALL POND SIDE SLOPES NO STEEPER THAN 4 (H:V) TO 1 (H:V).
  9. PLACE TOPSOIL ON ALL SLOPES AND DISTURBED AREAS AND SEED TO GRASS.
  10. ALL NEW COVERED DRAINS AND SURFACE SWALES TO HAVE OUTLET EROSION PROTECTION.
  11. EROSION PROTECTION TO COMPRISE OF 300mm THICK QUARRIED Limestone RAP ON NON-MOVING FILTER CLOTH MINIMUM 2.0m WIDE.
  12. PROVIDE RODENT GRATES ON ALL DRAIN OUTLETS.
  13. TOP ELEVATION OF PHASE 1 & 2 DETENTION POND BANK IS TO BE NO LESS THAN 187.720m.
  14. STORM EVENTS IN EXCESS OF THE 1:100 YEAR STORM MAY CAUSE FLOODING.
  15. STORM DRAINAGE AND DETENTION DESIGN BASED ON SITE LAYOUT ESTABLISHED BY OWNER. ADEQUACY OF SITE LAYOUT IS THE RESPONSIBILITY OF THE OWNER.
  16. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE STORMWATER MANAGEMENT REPORT DATED APRIL 2017.
  17. OWNER/CONTRACTOR IS RESPONSIBLE TO PROVIDE ADEQUATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. FOR DETAILS SEE OPSS 577.
  18. DETAILS FOR SEDIMENT CONTROL MEASURES ARE AVAILABLE IN APPENDIX 'D' OF THE STORMWATER MANAGEMENT REPORT.
  19. CATCHBASINS TO BE PRECAST CONCRETE WITH CAST IRON OR HEAVY DUTY STEEL GRATE OR EQUIVALENT.
  20. ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT AND FULL CUT-OFF.

BENCHMARK:

1. TOP NUT OF FIRE HYDRANT AT NORTHWEST CORNER OF PROPERTY ON THE WEST SIDE OF GRAHAM SIDE ROAD.  
ELEV. 201.484m
2. NAIL ON POST NEAR B. 90m WEST OF SOUTHEAST CORNER OF PROPERTY.  
ELEV. 202.552m

BUILDING PERMIT	W.L.L.	16 MAY 2018
PERMIT/APPROVAL	W.L.L.	2 MAR. 2018
ISSUED FOR:	BY	DATE
REVISIONS		

**N. J. Peralta**  
**Engineering Ltd.**

Consulting Engineers

Kingsville Ontario

ENGINEERING STAMPS:



**SUNVALLEY**  
**HYDROPONICS**

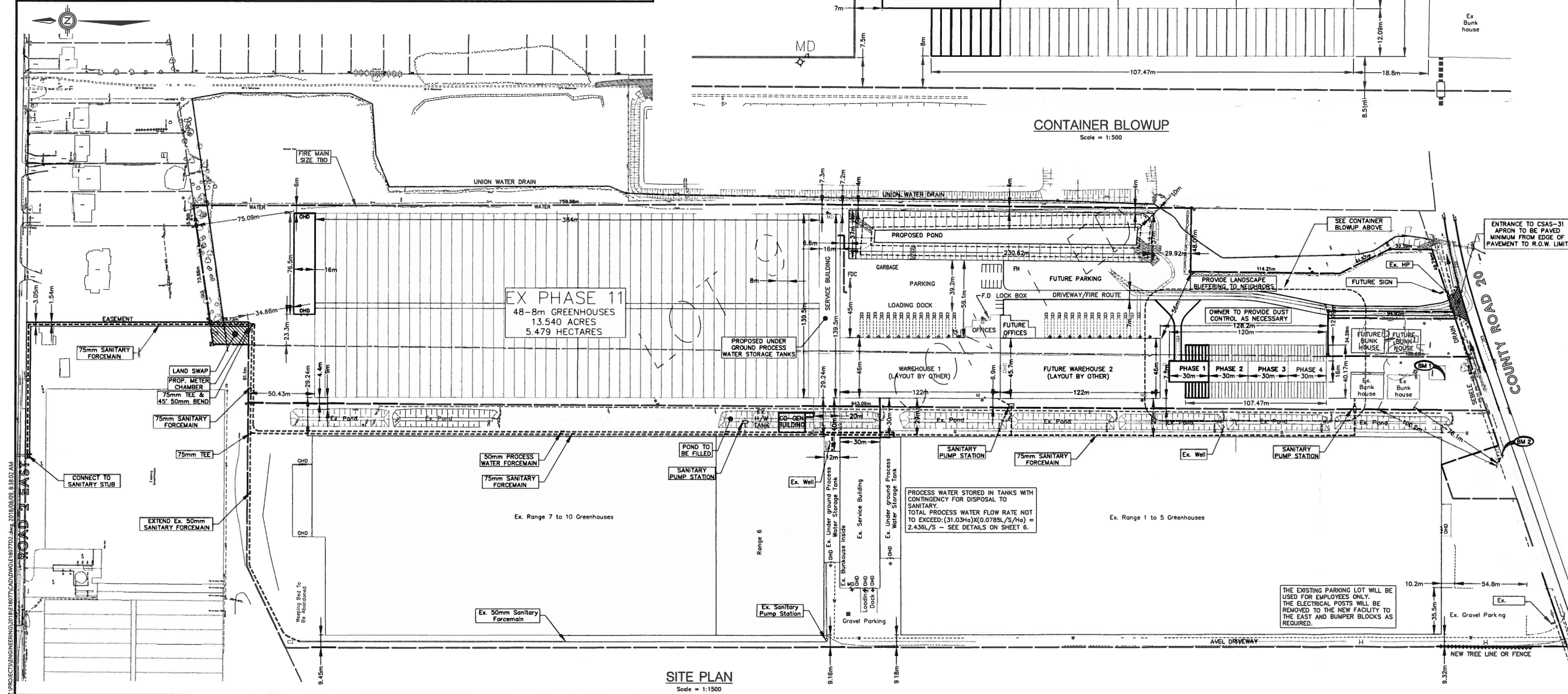
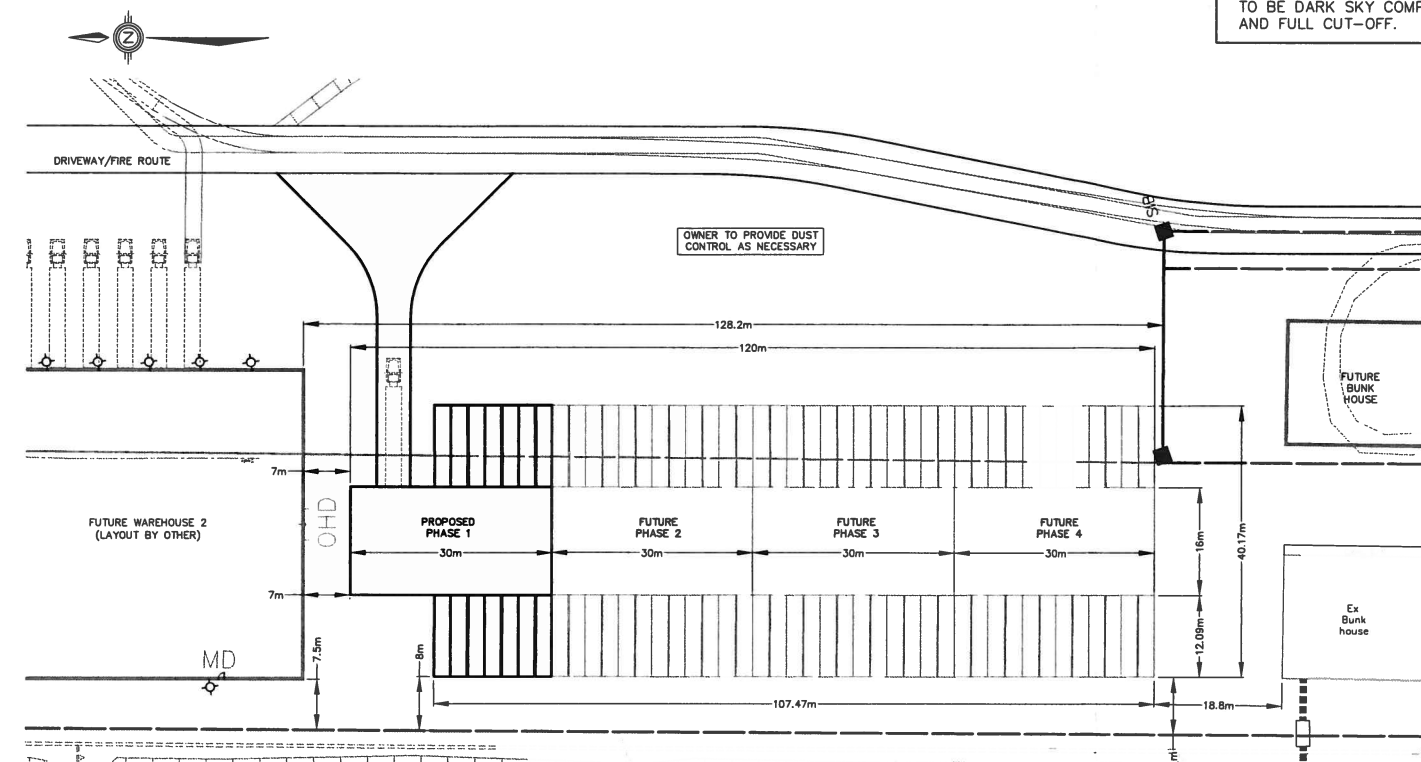
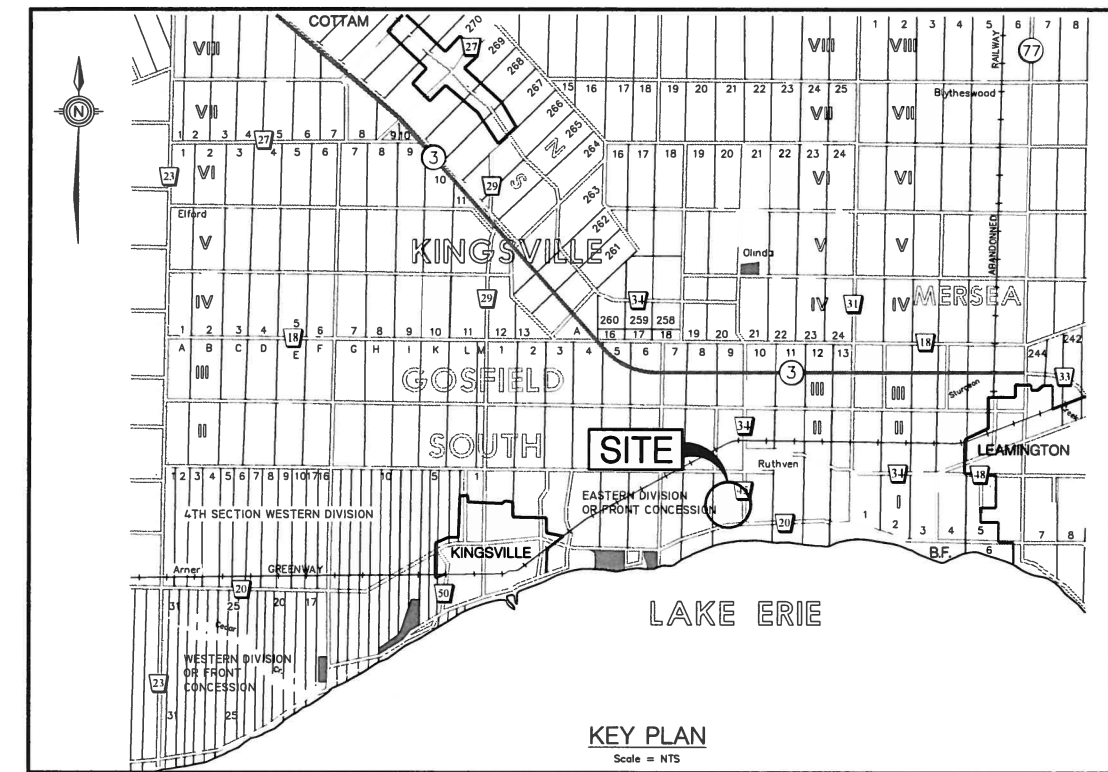
**PHASE 2A & 2B**

**3080 GRAHAM SIDEROAD**  
**KINGSVILLE, ONTARIO**

SHEET TITLE:

SECTIONS

DESIGNED BY:	DATE:
H.C.M	FEB. 13th, 2018
DRAWN BY:	SCALE:
R.A.L.	1:1000
SHEET No.:	OF:
4	4
PROJECT No.:	E17-113



**SITE DETAILS (300-18801, 18800, 18700, 18500)**

TOTAL PROPERTY AREA =	31.029 ha.
EXISTING BUILDING AREA =	12.705 ha.
GH & BUILDING AREA =	6.475 ha.
GH COVERAGE =	61.81 %
FUTURE BUILDING AREA =	0.59 ha.
FUTURE COVERAGE =	63.71 %
SERVICE BUILDING HEIGHT =	8.23m
GH BUILDING HEIGHT =	7.32m
ZONING =	A-1 AGRICULTURE

NOTE: ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT AND FULL CUT-OFF.

- NOTES:**
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  - ALL ELEVATIONS SHOWN IN METRES.
  - APPROXIMATE PROPOSED TOP ELEVATIONS:  
191.405 TO 191.425
  - APPROXIMATE PROPOSED SWALE GRADES:  
191.405 TO 191.425
  - APPROXIMATE PROPOSED SWALE GRADES:  
191.405 TO 191.425
  - ALL POND SLOPES NO STEEPER THAN 4:1 (H:V).
  - PLACE TOPSOIL ON ALL SLOPES AND DISTURBED AREAS AND SEED TO GRASS.
  - ALL NEW COVERED DRAINAGE AND SURFACE SWALES TO HAVE OUTLET EROSION PROTECTION.
  - STORM DRAINAGE AND DETENTION DESIGN BASED ON 100 YEAR STORM MAY CAUSE FLOODING.
  - STORM DRAINAGE AND DETENTION DESIGN BASED ON 100 YEAR STORM MAY CAUSE FLOODING.
  - THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE STORMWATER MANAGEMENT REPORT DATED JULY 2014.
  - OWNER/CONTRACTOR IS RESPONSIBLE TO PROVIDE ACCURATE DETENTION DESIGN DURING CONSTRUCTION. FOR DETAILS SEE SPSS 877.
  - DETAILS FOR SEWER CONTROL MEASURES ARE AVAILABLE IN APPENDIX 'B' OF THE STORMWATER MANAGEMENT REPORT.
  - CATCHBASINS TO BE PRECAST CONCRETE WITH CAST IRON OR HEAVY DUTY STEEL GRATE OR EQUIVALENT.

**BENCHMARK:**

1. CANADA GEODETIC SURVEY PLACQUE ON FOUNDATION, WEST SIDE OF HIGHWAY	ELEV. 194.064m
2. TOP NUT OF FIRE HYDRANT LOCATED ON NORTH SIDE OF COUNTY ROAD 20 IN FRONT OF HOUSE AT MN. 1444.	ELEV. 194.804m

OWNER REVIEW	H.C.M.	18/08/08
ISSUED FOR:	BY	DATE

**N. J. Peralta Engineering Ltd.**  
Consulting Engineers  
Kingsville Ontario

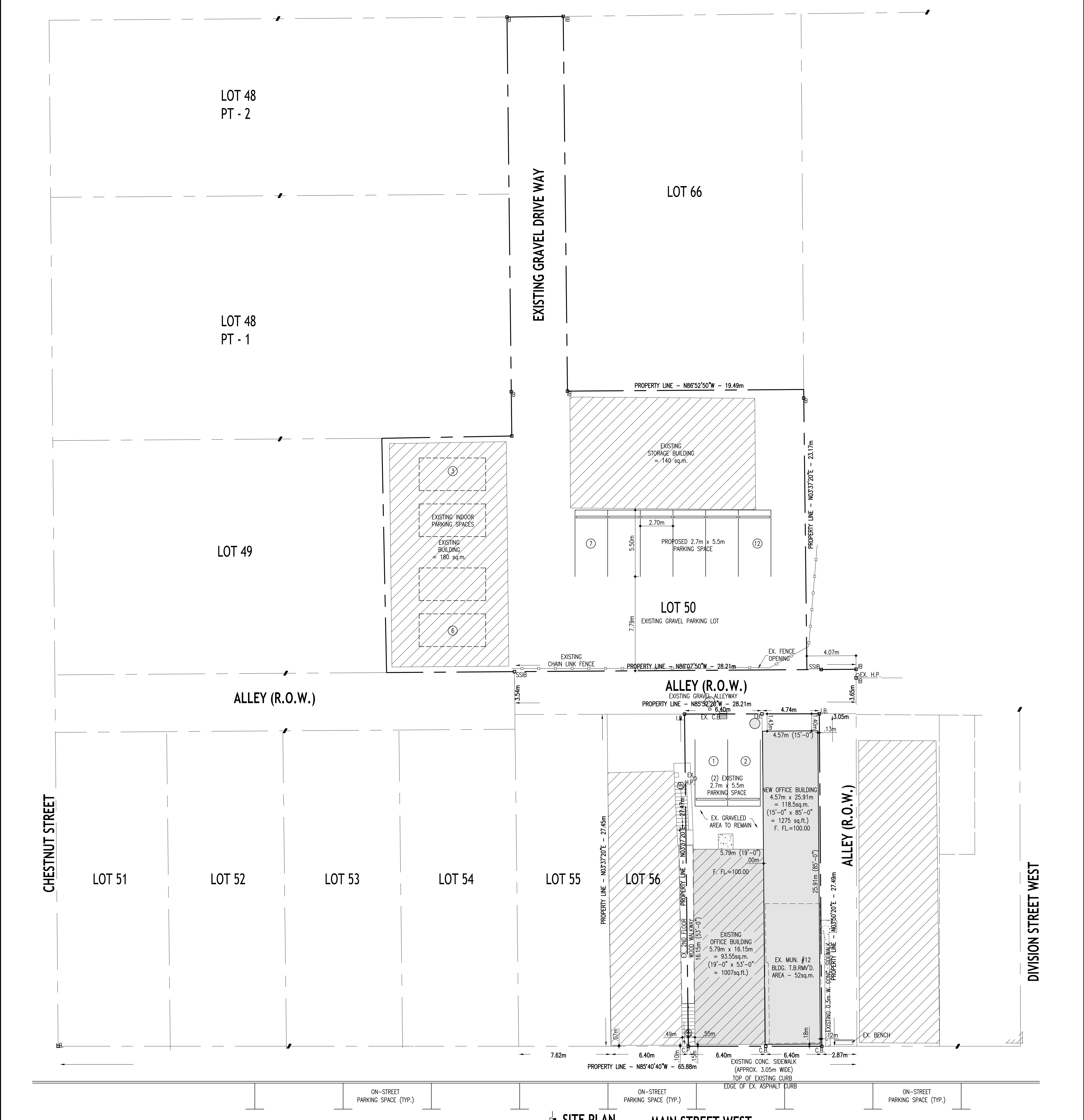
**PRELIMINARY FOR APPROVAL**

**SUNRITE CONTAINER GROWING**  
**TOWN OF KINGSVILLE ONTARIO**

**SITE PLAN**

DESIGNED BY:	H.C.M.	DATE:	AUG 1st, 2018
DRAWN BY:	H.C.M.	SCALE:	AS SHOWN
SHEET No.:	1	OF:	1
PROJECT No.:	E18-077		





14 MAIN STREET

OFF STREET PARKING REQUIREMENTS

BUILDING	REQUIREMENT	PROPOSED
LOT AREA (min.)	N/A	304.67 sq.m.
FRONT YARD DEPTH (min.)	EST. BLDG. LINE	0.18m
INTERIOR SIDE YARD (min.)	0.0m	0.12m
EXTERIOR SIDE YARD (min.)	EST. BLDG. LINE OR 3.0m	0.12m
REAR YARD DEPTH (min.)	EST. BLDG. LINE	1.40m
LOT COVERAGE (max.)	N/A	N/A
BUILDING HEIGHT (max.)	16.5m	6.71m

14 MAIN STREET

PROPOSED BUILDING DATA - 14 MAIN STREET

BUILDING	AREA
EXISTING CONCRETE BLOCK OFFICE BUILDING TO REMAIN	5.79m x 16.15m = 93.55sq.m. (19'-0" x 53'-0" = 1007sq.ft.)
EXISTING MUN#12 BUILDING TO BE REMOVED	IRREGULAR SHAPE - 52sq.m. (TO BE REMOVED)
NEW METAL STUD-FRAME OFFICE BUILDING	4.57m x 25.91m = 118.5sq.m. (15'-0" x 85'-0" = 1275 sq.ft.)
EXISTING BUILDING AREA = 145.55 sq.m. NEW TOTAL BUILDING AREA = 212.05 sq.m. 66.5 sq.m. (ADDITION)	

14 MAIN STREET

OFF STREET PARKING REQUIREMENTS

BUILDING USE	PARKING SPACE REQUIREMENTS
PROPOSED OFFICE SPACE ADDITION	= 1 SPACE/20.0 sq.m.(GFA) = 66.5sq.m. (x2 STORIES) = 133 sq.m./20 sq.m. (GFA) = 6.65 (7 SPACES)
REQUIRED	EXISTING BUILDING - 2 SPACES PROPOSED BLDG. - 7 SPACES
**PARKING PROVIDED ON LOT 50 (13 KING STREET) OWNED BY 1147166 ONTARIO INC.	
EX. STORAGE BUILDINGS ON 13 KING ST.	= 1 SPACE/200.0 sq.m. = (140sq.m. + 180sq.m.)/200sq.m. = 320sq.m./200sq.m. = 1.6 (2 SPACES)
TOTAL	TOTAL REQUIRED - 11 SPACES TOTAL PROVIDED - 12 SPACES

LEGAL SURVEY PROVIDED BY:

VERHAEGEN  
STUBBERFIELD  
HARTLEY  
BREWSTER  
BEZAIRE  
INC.

187 Talbot Street East  
N8H 1L8  
Ph: (519)322-2376  
Fax: (519)322-2675

LEAMINGTON  
187 Talbot Street East  
N8H 1L8  
Ph: (519)322-2376  
Fax: (519)322-2675  
www.vshbbsurveys.com

ONTARIO LAND SURVEYS

REVISIONS

REVISIONS	ISSUED FOR	DATE
	OWNER APPROVAL	JULY 16/2018
	SITE PLAN APPROVAL	AUG. 2/2018

CONTRACTOR:  
**MARCOVECCHIO CONSTRUCTION**  
GENERAL CONTRACTORS  
PHONE (519) 885-1111  
FAX (519) 885-1112

PROJECT:  
**NEW BUILDING ADDITION  
FOR  
CENTURY 21**

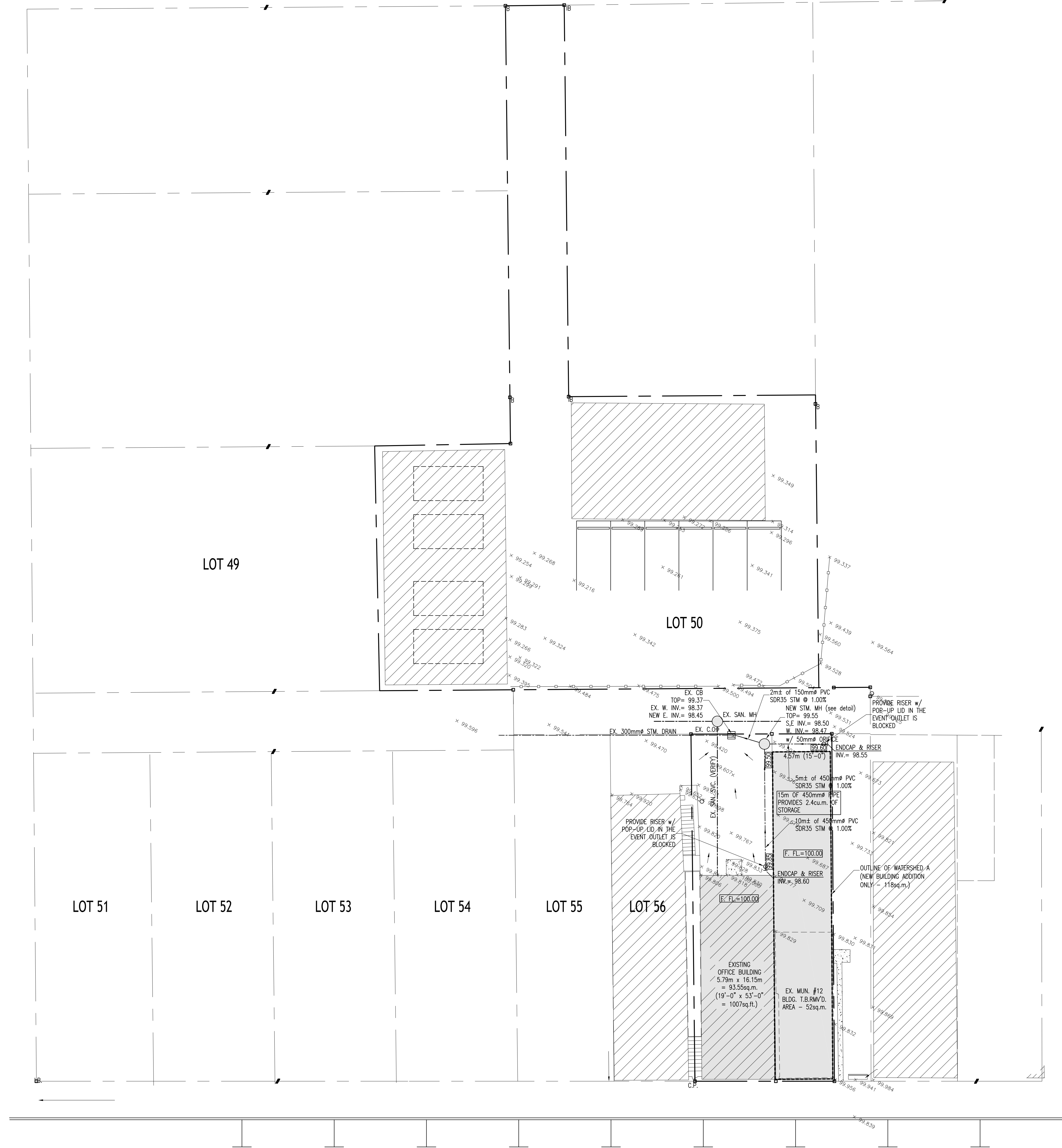
14 MAIN STREET WEST  
KINGVILLE, ONTARIO

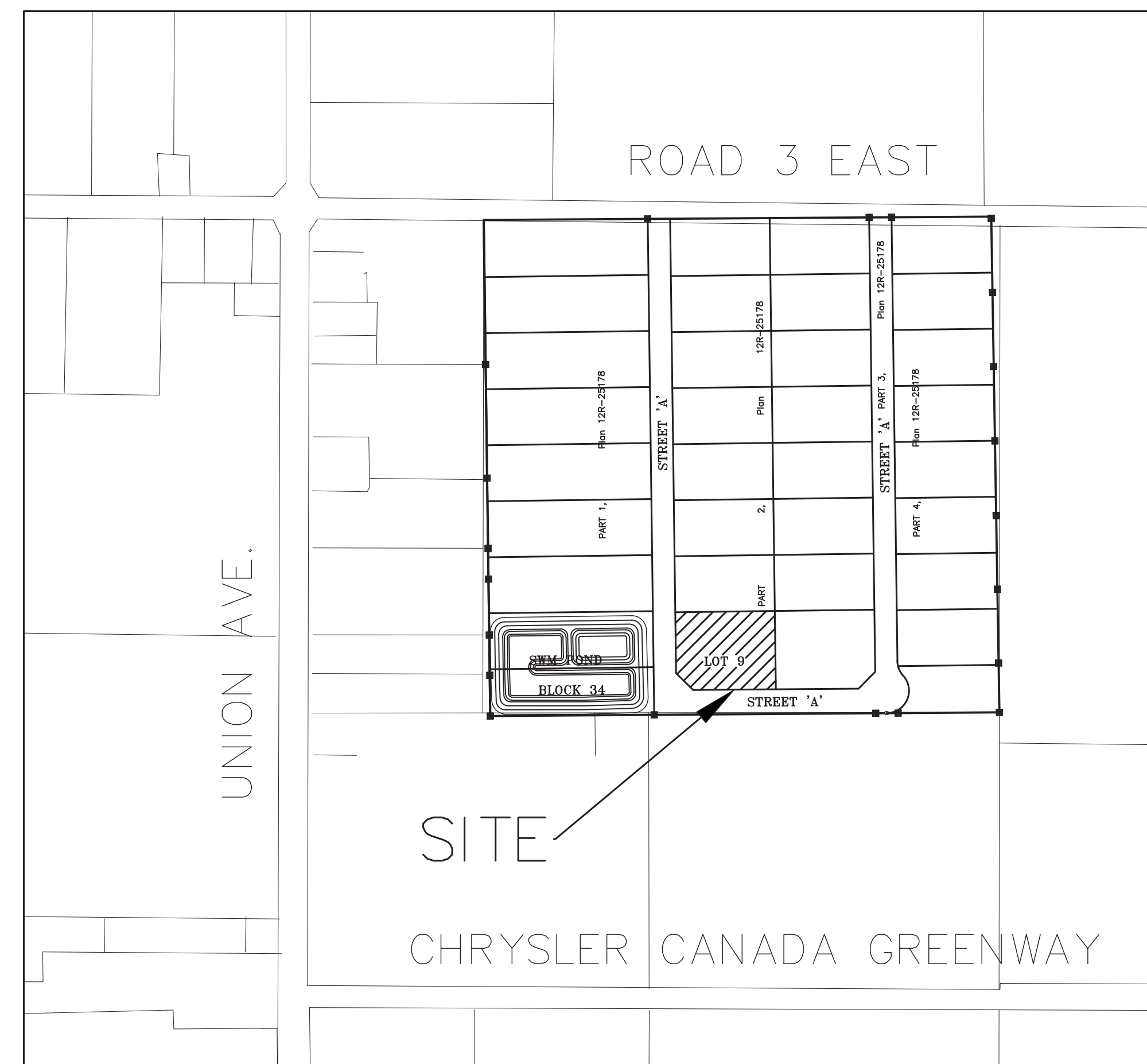
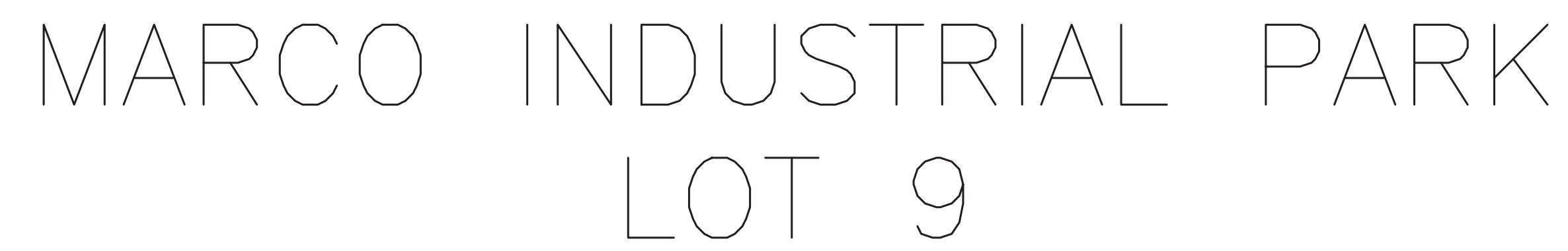
SHEET TITLE:  
**SITE PLAN**

LICENSED PROFESSIONAL ENGINEER  
08/02/18  
M.K.MCFADDEN  
100098313  
PROVINCE OF ONTARIO

**Y.C. LIU ENGINEERING**  
25 MANULIFE AVE. WEST  
KINGVILLE, ONTARIO N9L 1S6  
TEL: (519) 361-9411  
FAX: (519) 361-9400

DRAWN	CHECKED	FILE NO.	DWG. NO.
C.W.	C.L.	18-086	1
BCIN	FIRM BCIN	DATE	SHEET NO.
20529	29635	JULY/18	SP-1 of 2





## KEY PLAN



						2.	SUBMITTED TO OWNER	04 JULY 2018	T.O.	R.C.S.
						1.	DRAFT PLAN	19 JUNE 2018	S.M.R.	R.C.S.
NO.	REVISION		DATE	BY	APP.	NO.	REVISION	DATE	BY	APP.

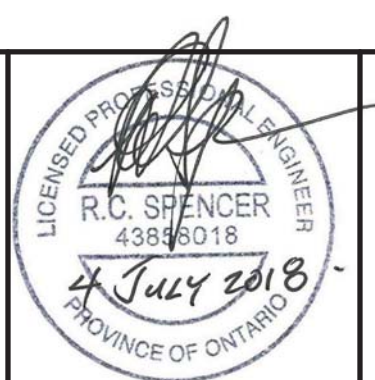
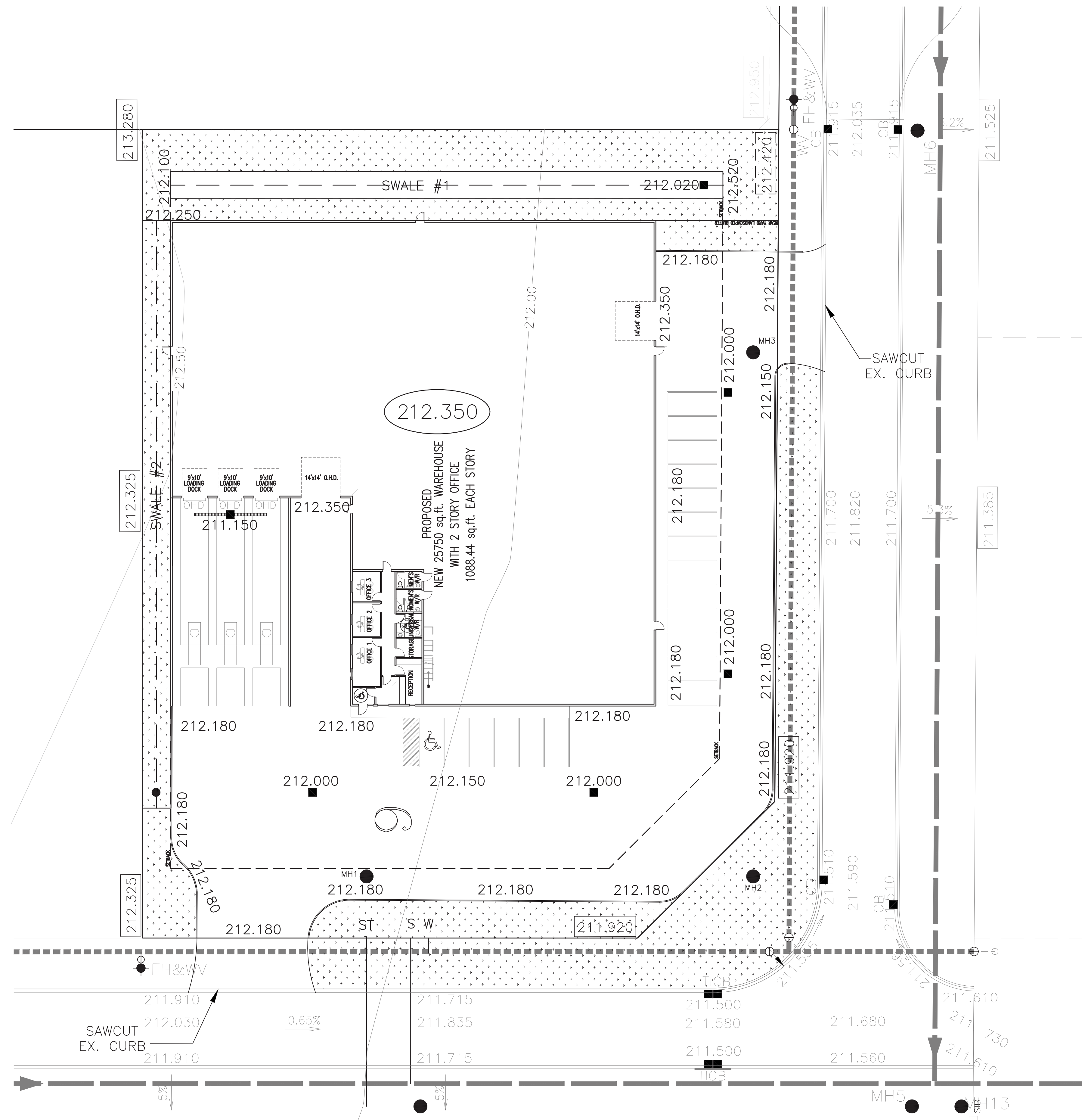
DESIGN	S.M.R.
CHECKED	R.C.S.
DRAWN	S.M.R.
CHECKED	R.C.S.
DATE	JUNE 2018
SCALE	1 : 250

MARCO INDUSTRIAL PARK  
LOT 9

### KEY PLAN

PROJECT NO.	18-762
FIGURE NO.	1
OF	5







**RC SPENCER ASSOCIATES INC.**  
Consulting Engineers  
Windsor: 800 University Ave. W. - Windsor, ON N9A 5B9  
Leamington: 18 Talbot St. W. - Leamington, ON N8H 1M4  
Chatham: 138 King St. W. Unit 102 - Chatham, ON N7M 1E5

Professional Engineers  
Ontario

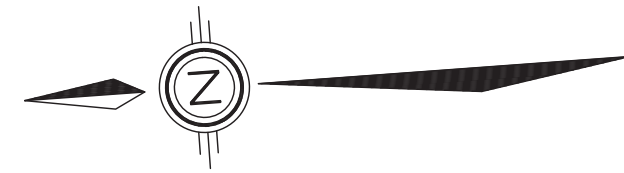
NO.	REVISION	DATE	BY	APP.

NO.	REVISION	DATE	BY	APP.
2.	SUBMITTED TO OWNER	04 JULY 2018	T.O.	R.C.S.
1.	DRAFT PLAN	19 JUNE 2018	S.M.R.	R.C.S.

DESIGN	S.M.R.
CHECKED	R.C.S.
DRAWN	S.M.R.
CHECKED	R.C.S.
DATE	JUNE 2018
SCALE	1 : 250

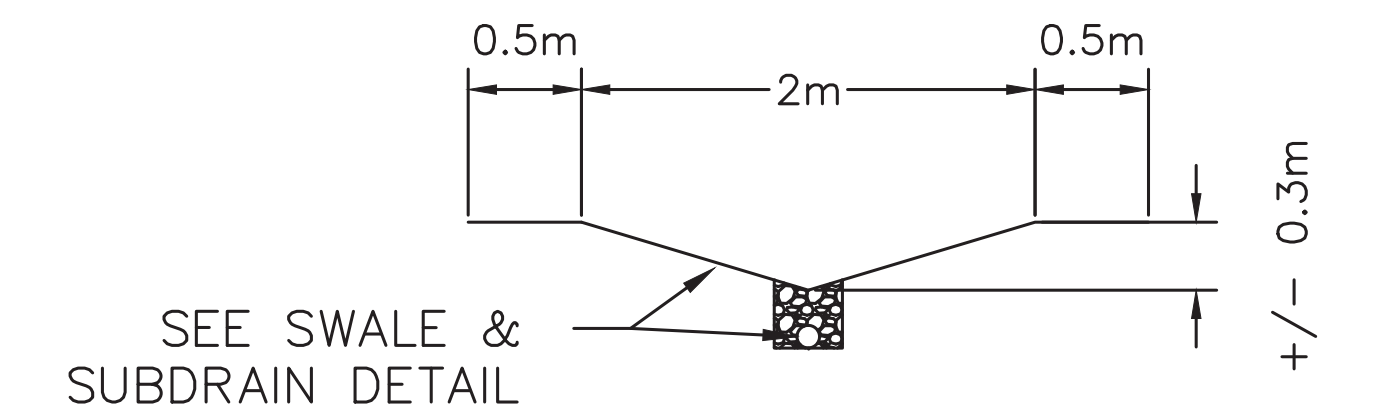
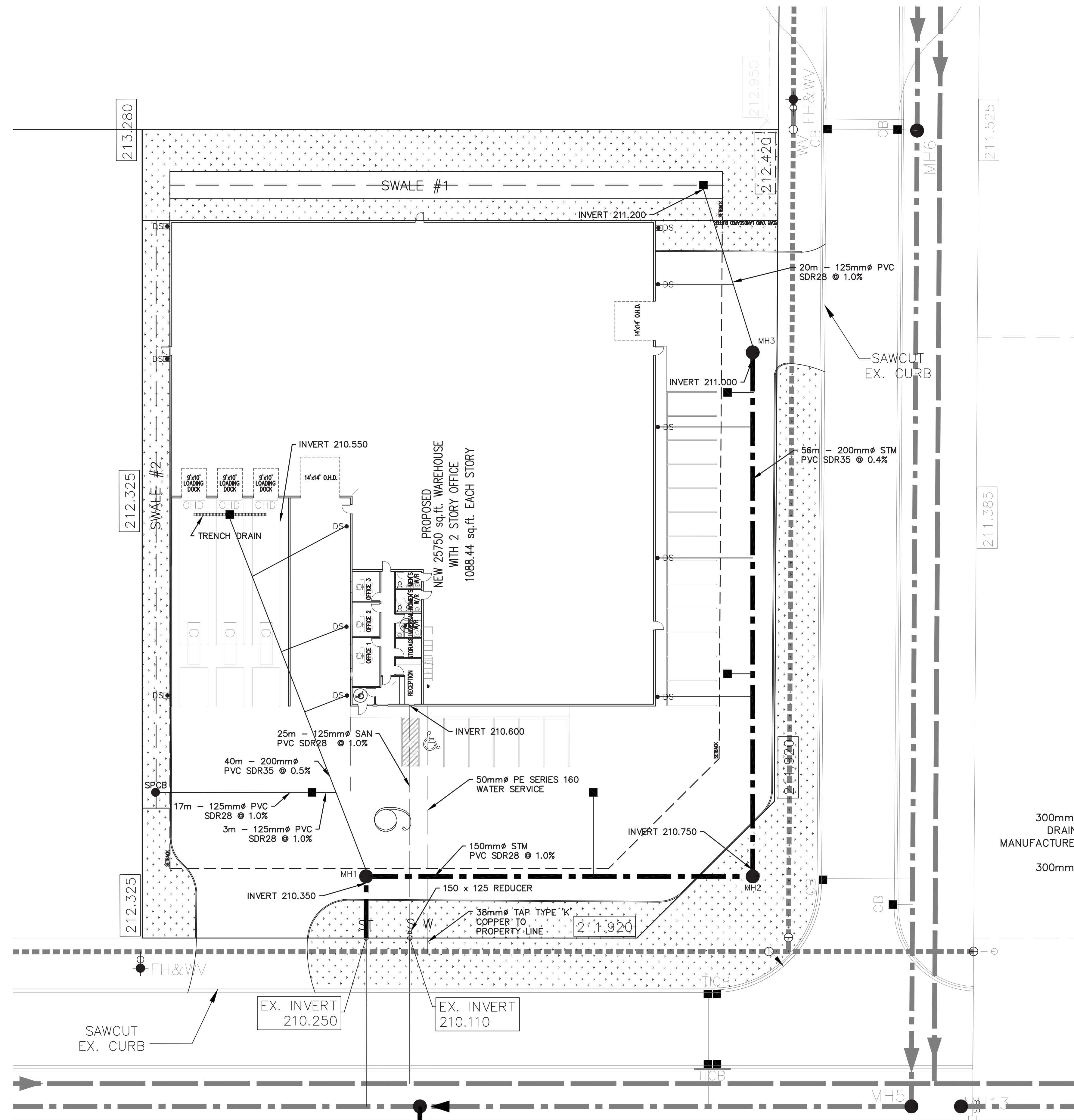
MARCO INDUSTRIAL PARK LOT 9	PROJECT NO. 18-762
PAVING AND GRADING	FIGURE NO. 2
	OF 5



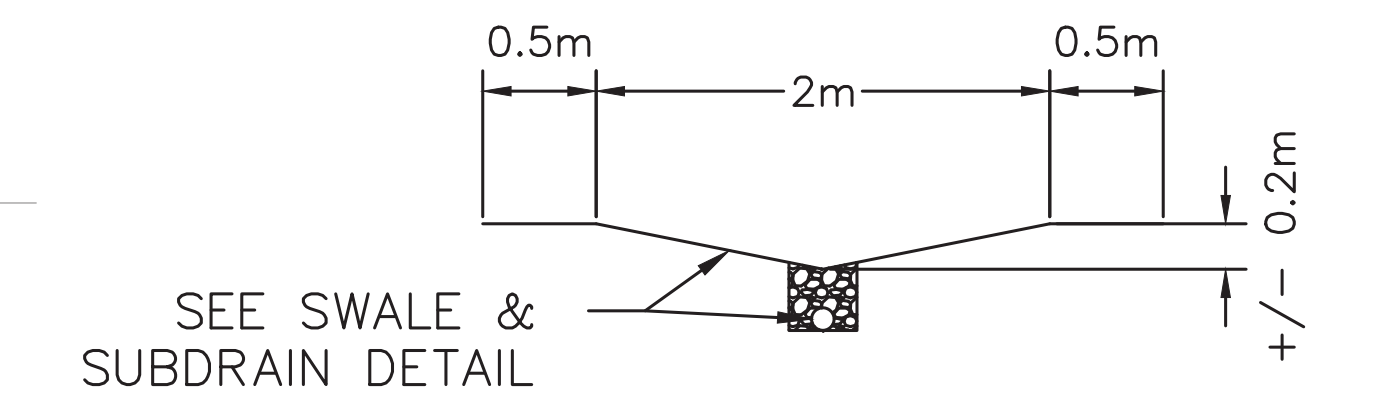


### GENERAL NOTES

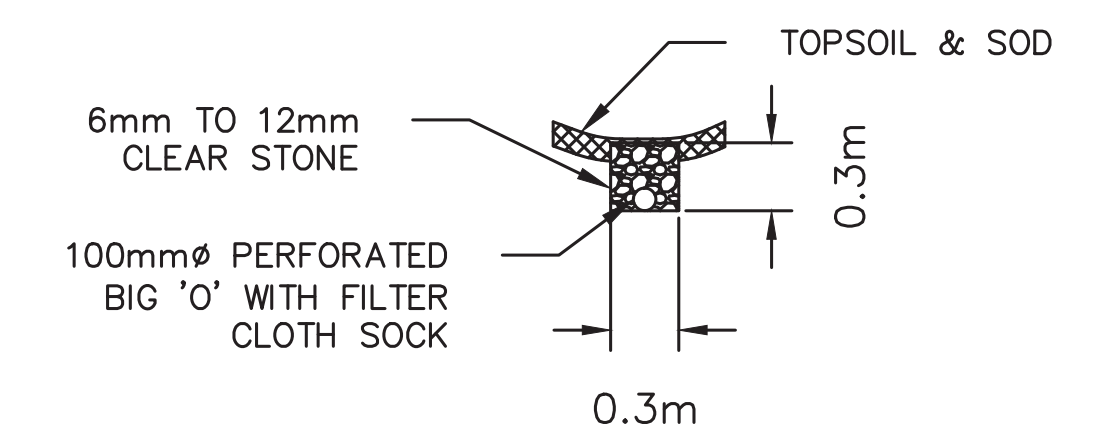
1. PERFORM ALL WORK TO TOWN OF KINGSVILLE STANDARDS AND OBTAIN ALL PERMITS
2. RESTORE ALL DISTURBED AREAS WITHIN THE RIGHT OF WAY TO TOWN OF KINGSVILLE STANDARDS
3. ALL CATCH BASIN LEADS ARE 100mm $\varnothing$  PVC SDR28 @ 1.0% UNLESS OTHERWISE NOTED.
4. CONTRACTOR TO CONFIRM LOCATIONS OF EXISTING UTILITIES PRIOR TO PROCEEDING WITH ANY WORK AND REPORT ANY DISCREPANCIES TO ENGINEER
5. 999.000 DENOTES PROPOSED PAVEMENT ELEVATION
6. (212.350) DENOTES PROPOSED FINISHED FLOOR GRADE
7. ALL REMOVALS AND EXCESS EXCAVATED MATERIAL TO BE DISPOSED OF OFF-SITE



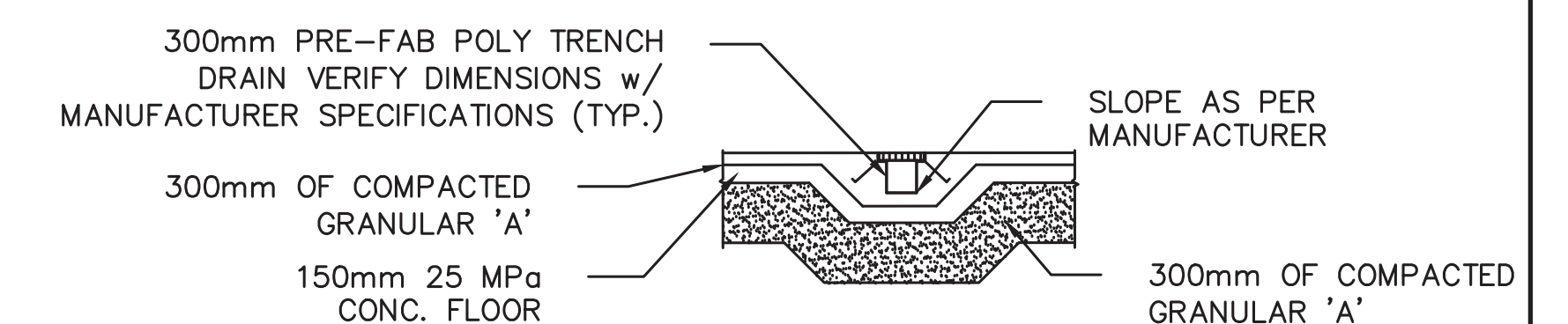
SWALE #1 DETAIL  
N.T.S.



SWALE #2 DETAIL  
N.T.S.



SWALE AND SUBDRAIN DETAIL  
N.T.S.



TRENCH DRAIN DETAIL  
N.T.S.



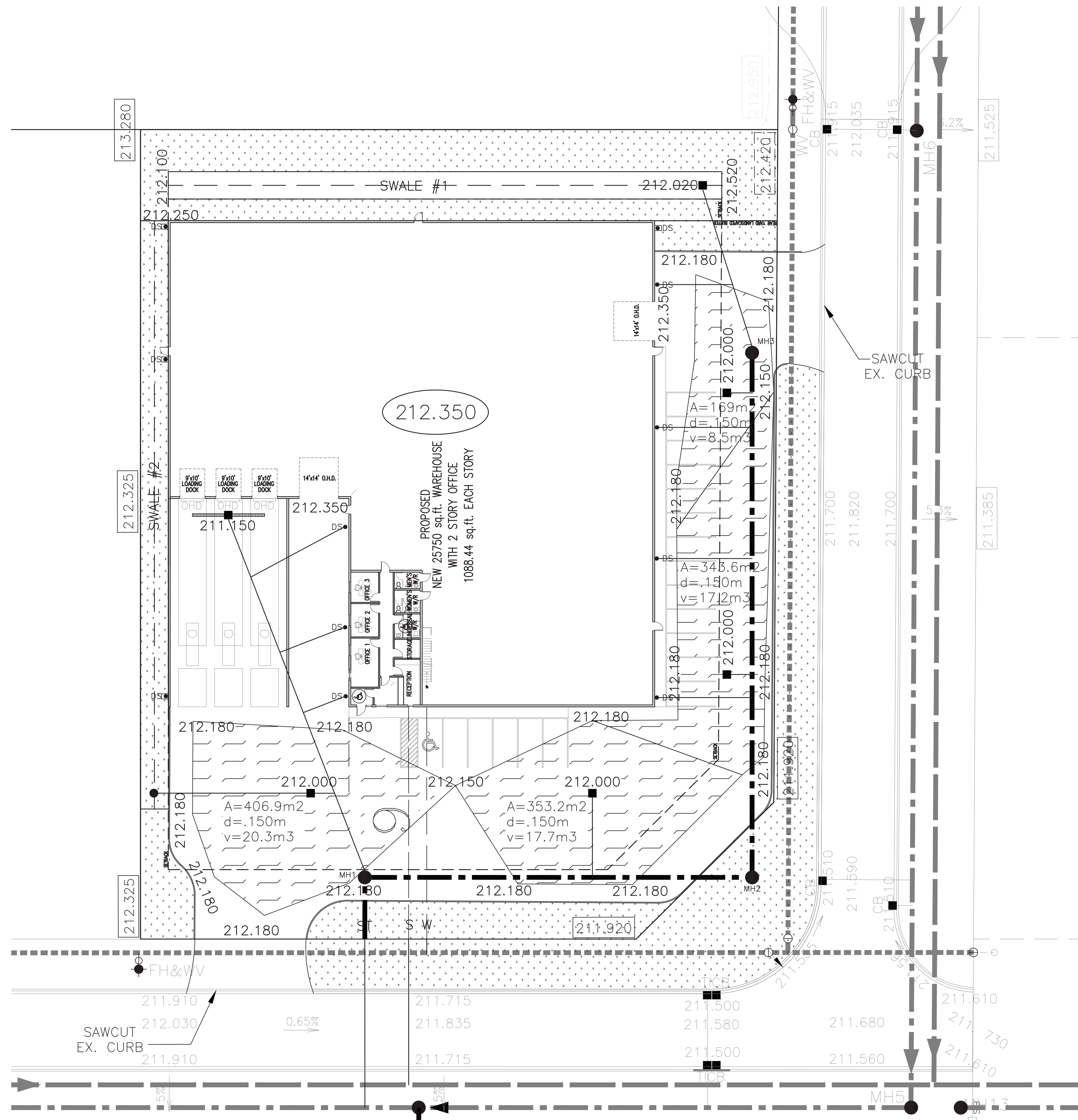
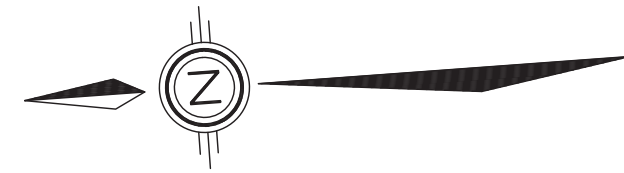
NO.	REVISION	DATE	BY	APP.

NO.	REVISION	DATE	BY	APP.

DESIGN	S.M.R.
CHECKED	R.C.S.
DRAWN	S.M.R.
CHECKED	R.C.S.
DATE	JUNE 2018
SCALE	1 : 250

PROJECT NO.	18-762
FIGURE NO.	3
OF	5





**RC SPENCER ASSOCIATES INC.**  
Consulting Engineers

Windsor: 800 University Ave. W. - Windsor, ON N9A 5B9  
Leamington: 18 Talbot St. W. - Leamington, ON N8H 1M4  
Chatham: 138 King St. W. Unit 102 - Chatham, ON N7M 1E3

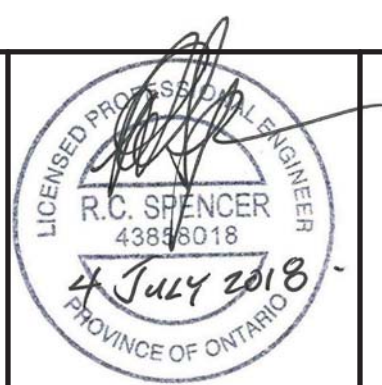
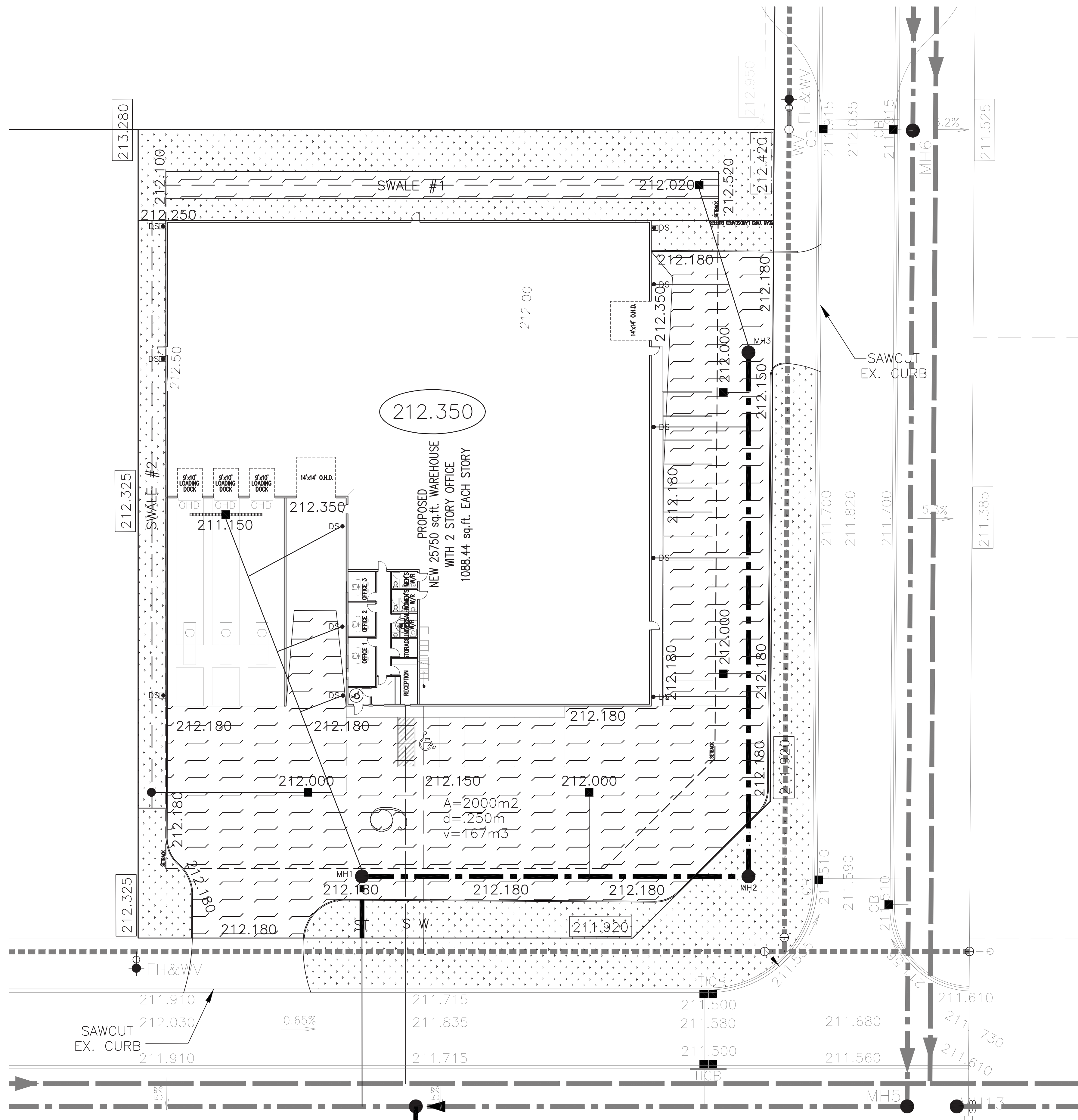
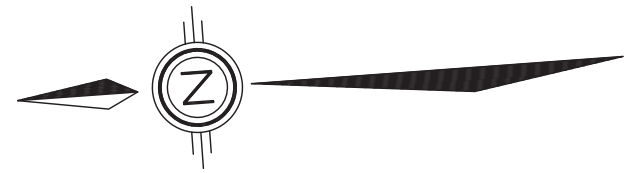
Professional Engineers  
Ontario

NO.	REVISION	DATE	BY	APP.

NO.	REVISION	DATE	BY	APP.
2.	SUBMITTED TO OWNER	04 JULY 2018	T.O.	R.C.S.
1.	DRAFT PLAN	19 JUNE 2018	S.M.R.	R.C.S.

DESIGN	S.M.R.
CHECKED	R.C.S.
DRAWN	S.M.R.
CHECKED	R.C.S.
DATE	JUNE 2018
SCALE	1 : 250

MARCO INDUSTRIAL PARK LOT 9	PROJECT NO. 18-762
2 YEAR STORM STORAGE	FIGURE NO. 4
	OF 5



**RC SPENCER ASSOCIATES INC.**  
Consulting Engineers

Windsor: 800 University Ave. W. - Windsor, ON N9A 5B9  
Leamington: 18 Talbot St. W. - Leamington, ON N8H 1M4  
Chatham: 138 King St. W. Unit 102 - Chatham, ON N7M 1E5

Professional Engineers  
Ontario

NO.	REVISION	DATE	BY	APP.

NO.	REVISION	DATE	BY	APP.
2.	SUBMITTED TO OWNER	04 JULY 2018	T.O.	R.C.S.
1.	DRAFT PLAN	19 JUNE 2018	S.M.R.	R.C.S.

DESIGN	S.M.R.
CHECKED	R.C.S.
DRAWN	S.M.R.
CHECKED	R.C.S.
DATE	JUNE 2018
SCALE	1 : 250

MARCO INDUSTRIAL PARK LOT 9	PROJECT NO. 18-762
100 YEAR STORM STORAGE	FIGURE NO. 5
	OF 5



# LOAD BOSS LOGISTICS WAREHOUSE EXPANSION

1971 ROAD 3 EAST, TOWN OF KINGSVILLE

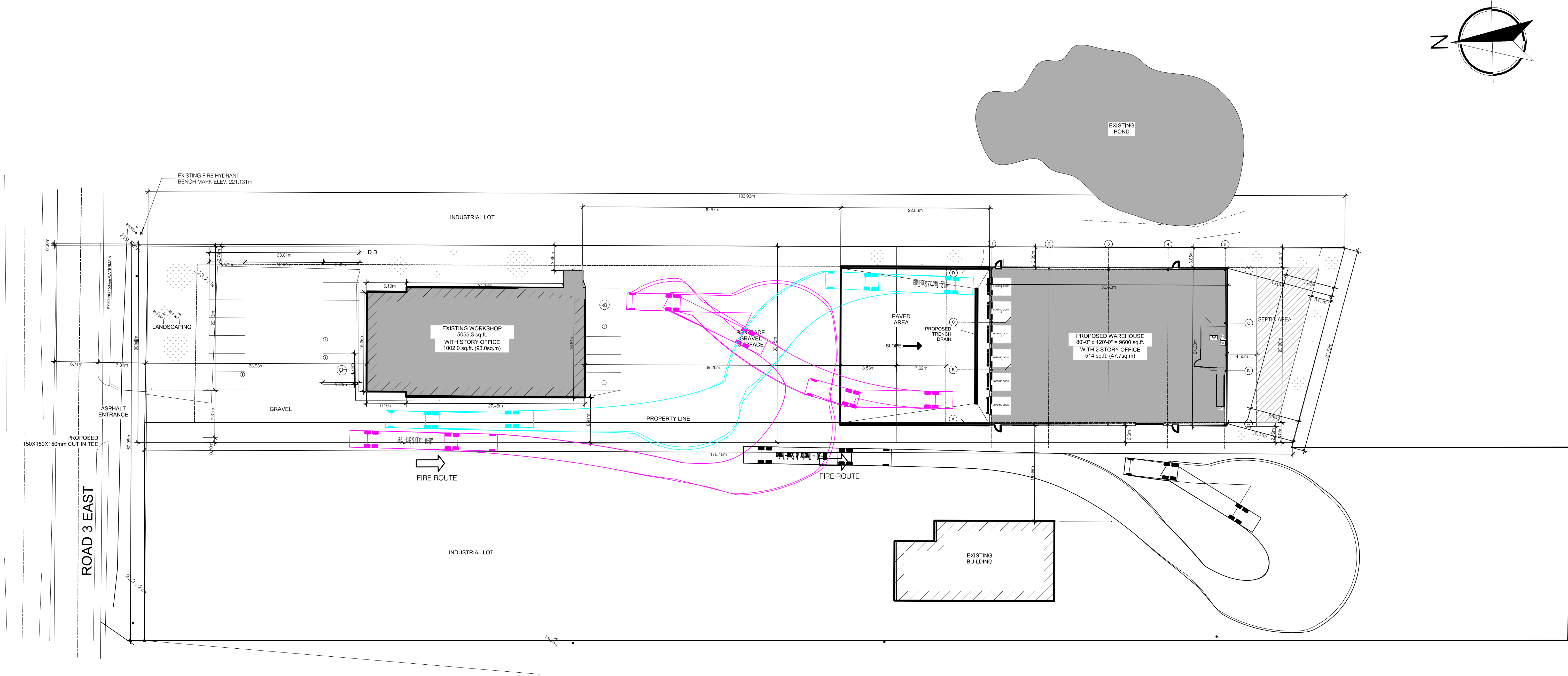


KEY MAP

SHEET INDEX	
Sheet Number	Sheet Title
--	TITLE PAGE
C1	SITE PLAN
C2	GRADING PLAN AND SERVICING PLAN
C3	PRE - DEVELOPMENT
C4	POST - DEVELOPMENT

**ATTENTION**  
CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE EXACT LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.





GENERAL NOTES:  
1. This drawing is NOT to be scaled.  
2. This drawing, as an instrument of service, is provided by and is the property of Crestwood Engineers Planners Architects.  
3. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Crestwood Engineers Planners Architects of any variation from the supplied information.  
4. This discipline is not responsible for the accuracy of survey, and the other disciplines information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.  
5. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.  
6. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

SITE DATA FOR NEW BUILDING ON 1971 ROAD 3 EAST, KINGSVILLE ZONING: LIGHT INDUSTRIAL ZONE M1		
PROPOSED USE	REQUIREMENTS	PROPOSED
LOT FRONTAGE	24 m (80 ft)	30.48 m (100 ft)
MIN. LOT AREA	1,300 sq.m. (14,000 sq.ft.)	5436.67 sq.m. (58519.84 sq.ft.)
MAX. BUILDING HEIGHT	10.5 m (34.45 ft.)	5.49 m (18 ft)
MAX. LOT COVERAGE	50%	26.7%
MIN. LANDSCAPED SPACE	15%	18.4%
FRONT YARD SETBACK	7.5 m (25 ft)	129.74 (425.67 ft)
INTERIOR SIDE YARD	3.0 m (10 ft)	3.0 m (10 ft)
INTERIOR SIDE YARD	3.0 m (10 ft)	2.46 m (8.08 ft)
REAR YARD SETBACK	7.5 m (25 ft)	10.41 m (34.17 ft)
<b>PARKING REQUIREMENTS</b> OFFICE (ACCESSORY USE): 1/40 sq.m. of GFA PARKING SPACES REQUIRED: 47.75 / 40 = 1.19 WAREHOUSE: 1/200 sq.m. of GFA PARKING SPACES REQUIRED: 891.87 / 200 = 4.46 SUBTOTAL PARKING SPACES REQUIRED: 2 + 5 = 7 BARRIER FREE PARKING SPACES REQUIRED: 1		
TOTAL PARKING SPACES REQUIRED: 7 + 1 BARRIER FREE		
TYPICAL PARKING SPACE = 2.7 m x 5.5 m MIN. TYPICAL ACCESSIBLE PARKING SPACE = 4.7 m x 5.5 m MIN.		

Scale: 1:300

PARTNER / CONSULTANTS

Date Revision

SEAL



DATE - 07/11/2018

PROJECT TITLE  
**WAREHOUSE**  
LOAD BOSS LOGISTICS  
1971 Road 3 East, Kingsville, ON

JOB NUMBER  
18-062

SHEET NUMBER

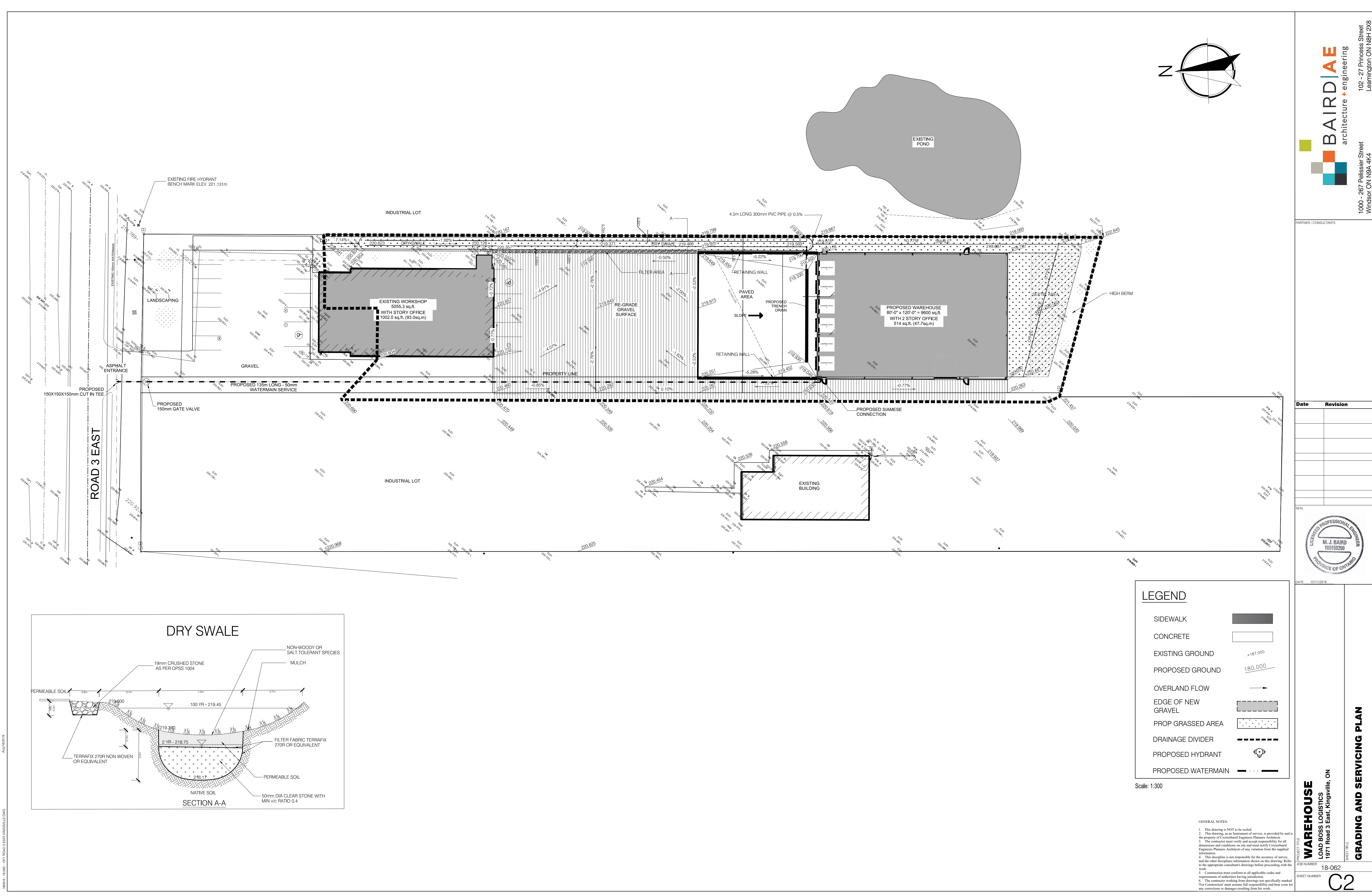
**C1**

SHEET TITLE  
**SITE PLAN**



180816 - 18-062 - 1971 ROAD 3 EAST KINGSVILLE.DWG

ADD 18/02/18



LEGEND

SIDEWALK

CONCRETE

EXISTING GROUND

PROPOSED GROUND

OVERLAND FLOW

EDGE OF NEW GRAVEL

PROP GRASSED AREA

DRAINAGE DIVIDER

PROPOSED HYDRANT

PROPOSED WATERMAIN

Scale: 1:300

GENERAL NOTES:  
1. This drawing is NOT to be scaled.  
2. This drawing, as an instrument of service, is provided by and is the property of Christward Engineers Planners Architects.  
3. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Christward Engineers Planners Architects of any variation from the supplied information.  
4. This discipline is not responsible for the accuracy of survey, and the other disciplines information shown on this drawing. Refer to the appropriate consultant's drawing before proceeding with the work.  
5. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.  
6. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

WAREHOUSE

LOAD BOSS LOGISTICS

1971 Road 3 East, Kingsville, ON

PROJECT TITLE

18-062

JOB NUMBER

18-062

SHEET NUMBER

C2

GRADING AND SERVICING PLAN

DATE

07/11/2018

REVISION

SEAL

LICENSED PROFESSIONAL ENGINEER

M. J. BAIRD

100150250

PROVINCE OF ONTARIO

PARTNER / CONSULTANTS

1000 - 267 Pelissier Street  
Windsor ON N9A 4K4

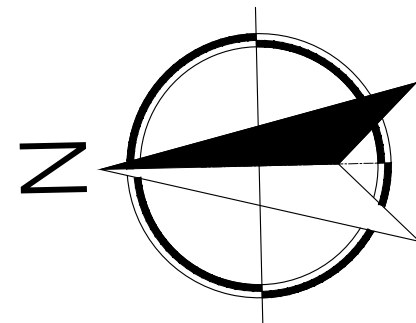
102 - 27 Princess Street  
Leamington ON N8H 2X8

BAIRD | AE  
architecture + engineering

FILE: 180816 - 18-062 - 1971 ROAD 3 EAST KINGSVILLE.DWG

95





1000 - 267 Pelissier Street  
Windsor ON N9A 4K4

PARTNER / CONSULTANTS

[illegible]

DATE: 07/11/2018

PROJECT TITLE

**WAREHOUSE**

**LOAD BOSS LOGISTICS**

1971 Road 3 East, Kingsville,

JOB NUMBER	18-062
CUSTOMER ORDER	

C3

## PRE-DEVELOPMENT CONDITION

FILE: 180816 - 18-062 - 1971 BOARD 3 EAST KINGSVILLE DWG

SIDEWALK  
 CONCRETE  
 EXISTING GROUND  
 PROPOSED GROUND  
 OVERLAND FLOW  
 EDGE OF NEW GRAVEL  
 PROP GRASSED AREA  
 DRAINAGE DIVIDER  
 PROPOSED HYDRANT  
 PROPOSED WATERMAIN

CURVE NUMBER



DRAINAGE AREA BOUNDARY

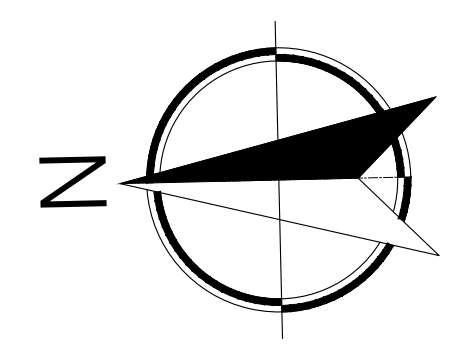
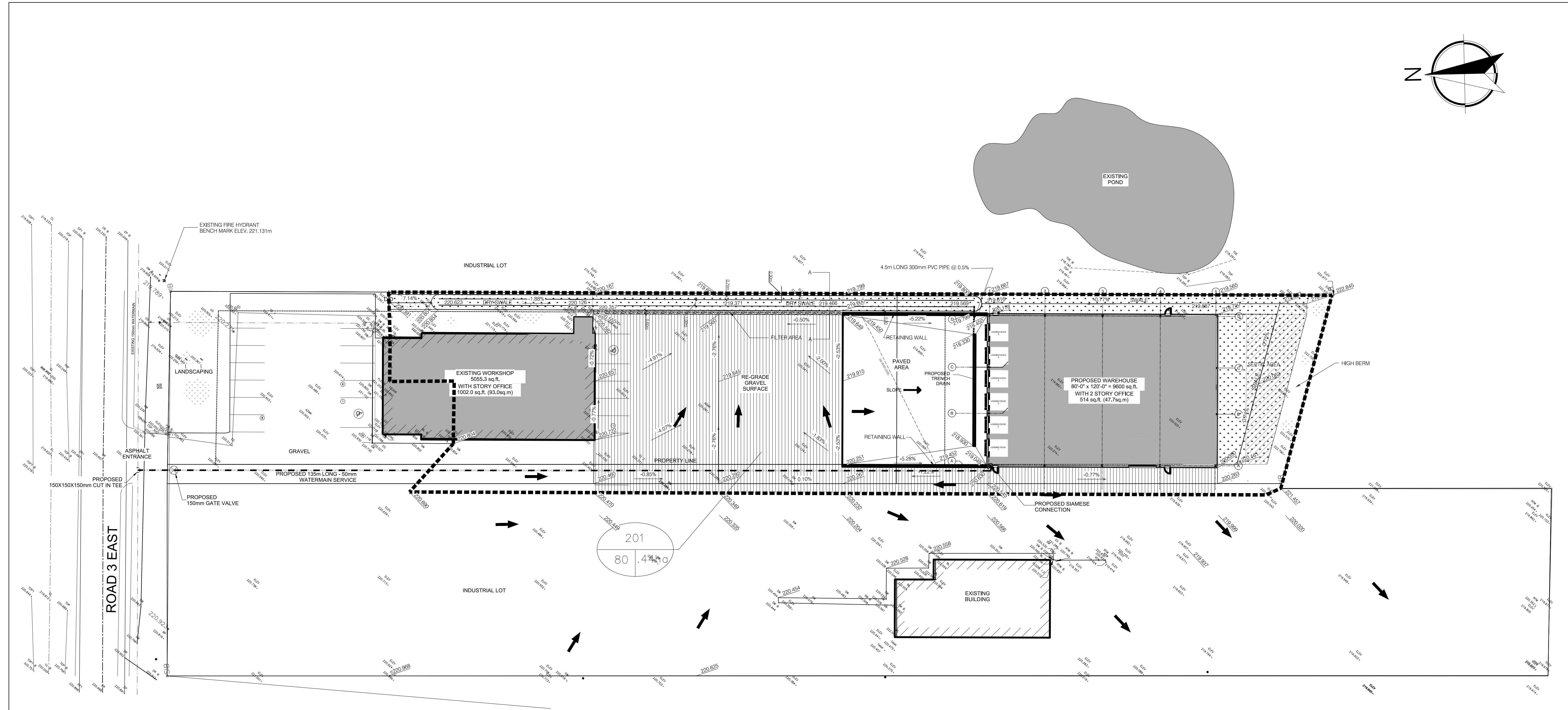
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### GENERAL NOTES

1. This drawing is NOT to be scaled.
2. This drawing, as an Instrument of service, is provided by and in the property of Crozierbaker Engineers Planners Architects
3. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify Crozierbaker Engineers Planners Architects of any variation from the supplied information.
4. This discipline is not responsible for the accuracy of surveying, and other disciplines information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.
5. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.
6. The contractor working from drawings not specifically marked "For Construction" must assume full responsibility and bear costs for any corrections or damages resulting from his work.

Scale: 1:300

180816 - 18-062 - 1971 ROAD 3 EAST KINGSVILLE.DWG  
Aug 16/2018



LEGEND	
SIDEWALK	
CONCRETE	
EXISTING GROUND	
PROPOSED GROUND	
OVERLAND FLOW	
EDGE OF NEW GRAVEL	
PROP GRASSED AREA	
DRAINAGE DIVIDER	
PROPOSED SIAMESE	
PROPOSED WATERMAIN	

SWM LEGEND	
	CATCHMENT AREA (ha)
	CURVE NUMBER
	DRAINAGE ARROW
	DRAINAGE AREA BOUNDARY

GENERAL NOTES:  
1. This drawing is NOT to be scaled.  
2. This drawing, as an instrument of service, is provided by and is the property of CivilRoad Engineers Planners Architects.  
3. The contractor must verify and accept responsibility for all dimensions and conditions on site and must notify CivilRoad Engineers Planners Architects of any variation from the supplied information.  
4. This discipline is not responsible for the accuracy of survey, and the other disciplines information shown on this drawing. Refer to the appropriate consultant's drawings before proceeding with the work.  
5. Construction must conform to all applicable codes and requirements of authorities having jurisdiction.  
6. The contractor working from drawings not specifically marked 'For Construction' must assume full responsibility and bear costs for any corrections or damages resulting from his work.

architecture + engineering

1000 - 267 Pelissier Street  
Windsor ON N9A 4K4

PARTNER / CONSULTANTS

Date	Revision

SEAL

DATE: 07/12/2018

PROJECT TITLE

**WAREHOUSE**

LOAD BOSS LOGISTICS

1971 Road 3 East, Kingsville, ON

JOB NUMBER

18-062

SHEET TITLE

**POST-DEVELOPMENT CONDITION**

SHEET NUMBER

**C4**





2021 Division Road North  
Kingsville, Ontario N9Y 2Y9  
(519) 733-2305  
www.kingsville.ca  
kingsvilleworks@kingsville.ca

**Date:** December 3, 2018

**To:** Mayor and Council

**Author:** Ryan McLeod, Director of Financial Services

**RE:** 2018 Year End Capital Project Carry Overs and Reserve Transfers

**Report No.:** FS-2018-16

---

#### **AIM**

To recommend the transfer of certain unspent funds to the appropriate reserves.

#### **BACKGROUND**

The 2018 tax rate was set to fund certain capital projects within the budget year. Due to various circumstances, some capital projects remain incomplete at year end and administration is recommending the tax funds raised in 2018 for these projects be set aside to fund the completion of these projects in the next budget cycle.

When determining which projects to seek reserve transfer approval for, the following factors were considered:

- Commitments to legislative or contractual obligations
- Uncontrollable factors impeding project completion
- Strategic goals of the municipality
- Non tax related funding sources related to the project (eg. Grants, reserves)
- Stability of tax rate increases independent of prior year surplus/deficit reconciliation

#### **DISCUSSION**

Administration is requesting the following capital project reserve transfers:

<b>Project Name</b>	<b>Budget Funded by 2018 Taxation</b>	<b>Request to Transfer</b>
PW - Bridge #042 – Maddox Drain Culvert (Eng.)	\$30,000	Unspent amount to PW Capital Reserve (39068)
PARKS - Mettawas Park - Phase 2- Design and Engineering	\$60,500	Unspent amount to Mettawas Park Reserve (31062)

FAC - Floor Scrubber	\$9,150	Unspent amount to Facilities Reserve (39118)
REC - Youth Programing Equipment	\$12,000	Unspent amount to new Recreation & Events Reserve (31070)

Administration is also requesting the following operating budget reserve transfers:

Project Name	Budget	Request to Transfer
GEN ADMIN – General Insurance Deductible	\$175,000	Unspent funds to Budget Stabilization Reserve (31060)
GEN ADMIN – Professional Services – Legal / HR	\$189,000	Unspent funds to Budget Stabilization Reserve (31060)
MARINA – Budget vs Actual	\$77,441	Unspent budget variance to Marina Improvement Reserve (31057)

Please note that any grant funds received during the year, which were not spent on their intended purpose, will be transferred to a reserve and applied against eligible expenditures in future years.

## LINK TO STRATEGIC PLAN

Effectively manage corporate resources and maximize performance in day-to-day operations.

## FINANCIAL CONSIDERATIONS

The transfers to reserves outlined in this report are intended to recognize ongoing projects in accordance with council approved commitments and to ensure future tax rate decisions are not impacted by previously approved capital projects.

## CONSULTATIONS

Senior management team.

## RECOMMENDATION

That council approve capital and operating transfers to reserves as outlined in the table in report FS-2018-16.

Ryan McLeod

Ryan McLeod, CPA, CA  
Director of Financial Services

Peggy Van Mierlo-West

Peggy Van Mierlo-West, C.E.T.  
Chief Administrative Officer



2021 Division Road North  
Kingsville, Ontario N9Y 2Y9  
(519) 733-2305  
www.kingsville.ca  
kingsvilleworks@kingsville.ca

**Date:** December 5, 2018  
**To:** Mayor and Council  
**Author:** Ryan McLeod, CPA, CA  
**RE:** 2019 Draft Budget Submission & Executive Summary  
**Report No.:** FS-2018-17

---

#### **AIM**

To provide Council with the 2019 draft budget for review and consideration.

#### **BACKGROUND**

As per section 290, of the *Municipal Act, 2001*, every year, municipalities are required to prepare and adopt a budget. The budget must include all estimated revenues, expenses, debt repayments and reserve contributions or withdrawals for the year.

The annual budget serves 3 main purposes;

- 1) It determines the amount of revenue to be raised from property taxes, which in turn, establishes the tax rate.
- 2) It provides the opportunity to direct financial resources towards municipal priorities.
- 3) It provides a tool for financial management and control.

#### **DISCUSSION**

The municipal budget includes both 'property tax' supported operations and 'water & wastewater rate' supported operations. Property tax supported operations determine the property tax rate, while the water and wastewater budgets form the basis for future water and wastewater rate discussions.

#### **Property Tax Supported Operations**

A summary of all property tax funded operations is located on page 3 of the budget document. As indicated in this summary, the budget consists of two components: an Operating Budget and a Capital Budget.

#### **Operating Budget**

Administration is committed to responsibly managing our financial resources to maintain or enhance the level of service the Town provides to its residents. The total 'net' operating

expenses for 2019 are budgeted at \$13,139,755 (2018 - \$12,334,780), an increase of \$804,975. 'Net' operating expenses refers to gross operating expenses, less operating revenues + / - operating reserve adjustments. The detailed departmental operating budgets can be found on pages 10 - 35.

The major factors contributing to increased operating costs are as follows:

### **Wages and Benefits**

Salaries and wages funded by taxation amount to \$5,356,000 (2018 - \$5,172,000) and are the single most significant component of the Town's operating expenses. The increase of \$184,000 is primarily attributable to COLA adjustments, wage increases in accordance with our collective agreements (union) and performance based grid movements (non-union staff).

### **OMPF Funding Decrease**

In 2019, the amount the Town receives from the Ontario Municipal Partnership Fund (OMPF) is anticipated to decrease by \$136,965 (2019 - \$776,135, 2018 - \$913,100). While the Province has not yet issued the 2019 allocation notices, financial struggles at the Provincial level would suggest this funding will, at a minimum, continue to decrease at the same rate it has over the past few years. As this provincial transfer payment offsets general operating expenditures, any decrease will need to be funded by taxation to maintain current service levels.

### **Policing Costs**

The Town's contract with the OPP is set to increase by \$145,327 in 2019. The OPP contract is based on a Provincial costing formula, which factors in a base service costs per household, plus additional costs based on calls for service.

### **Enhanced By-law Enforcement**

As directed by Council, the 2019 budget includes \$85,500 for the cost of hiring an additional by-law enforcement officer. This position is being considered in response to growing concerns regarding greenhouse light pollution and odour control, in addition to a general increase in by-law enforcement requests.

### **Growth Related Costs**

A number of operating cost increases are directly related to the growth of the municipality. For example, garbage collection is based on the number of households. Park maintenance is a function of the size and location of our parks. Streetlight hydro is based on the number of streetlights. Road maintenance is a function of the number of lane kilometers. As the municipality grows, so will the operating costs required to maintain established levels of service.

### **Inflation**

According to Statistics Canada, the Consumer Price Index for Ontario rose by 2.5% between October 2017 and October 2018. While management strives to find efficiencies wherever possible, the general increase in the cost of goods and services cannot be ignored.



## **Grants & Donations**

In accordance with Town Policy, the 2019 draft budget reflects a grants and donations budget of 0.5% of taxation or \$82,000 (based on 2018 taxes). As of the date of this report, we have received grant requests totaling \$160,450. A detailed listing of grant requests can be found in Appendix A of the budget document. As in previous years, Council will assess grant applications during budget deliberations. Please note that grant awards in excess of the \$82,000 currently budgeted will increase taxation.

## **Capital Budget**

The capital budget consists of current year capital expenditures (offset by various funding sources), reserve contributions and long-term debt servicing costs. The capital budget is summarized below:

	<b>2019 Draft Budget</b>	<b>2018 Budget</b>
Current Year Expenditures	\$11,951,183	\$11,784,884
Less: Funding Sources	(\$10,669,623)	(\$10,548,290)
Transfers to Reserves	\$2,195,500	\$1,710,500
Debt Service Costs	\$926,819	\$953,929
Capital Budget - Funded by Taxation	<u>\$4,403,879</u>	<u>\$3,901,023</u>

A detailed list of the proposed capital projects can be found on pages 6 – 8 of the budget document. The funding sources for each capital project, such as grants, reserves, development charges, etc. are identified in the columns on the right hand side of the schedule. Please note, only those projects with amounts in the last column on the right hand side of the schedule impact current year taxation.

## **Infrastructure Sustainability**

As stated in the strategic plan, it is our goal to become a leader in sustainable infrastructure renewal and development. In an effort to close our infrastructure deficit over the next 10 years, the strategic plan indicates a commitment to increase capital spending on infrastructure and / or reserve contributions by 2.9% of the annual tax levy, each year. Administration is pleased to report that the 2019 draft budget reflects this target.

## **Long-term Debt**

Administration is also pleased to report that the 2019 draft budget proposes no new debt. In a commitment to fiscal responsibility, the strategic plan includes a performance measure to reduce our tax supported debt service costs to less than 6.4% of taxation in 2019. Based on the draft budget, the debt service costs in 2019 will be approx. \$926,819 or 5.3% of taxation.

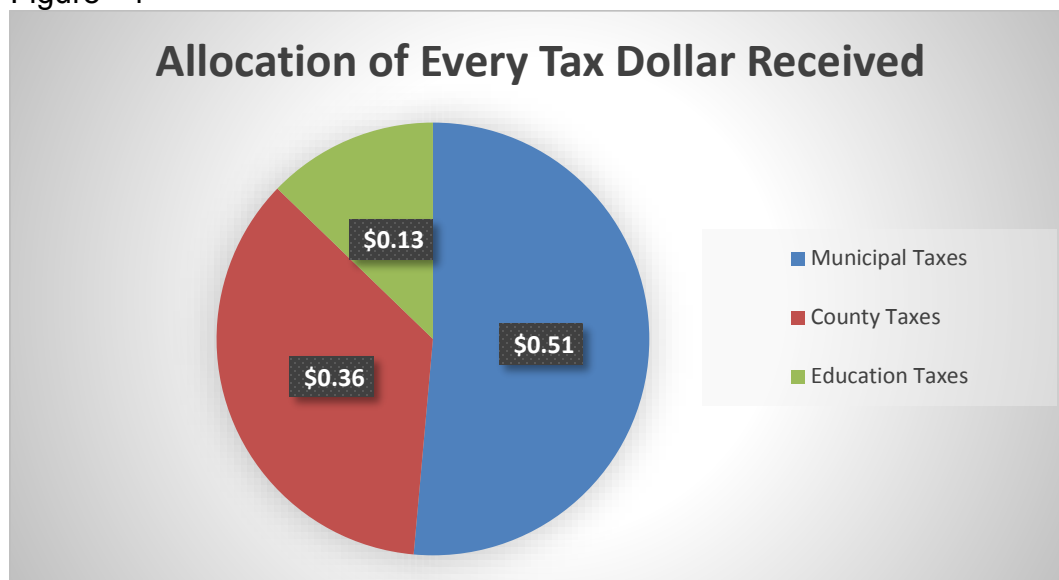
Further information and analysis on the proposed 2019 capital projects will be provided to Council prior to budget deliberations.

## **Taxation**

When residents receive their tax bill, they are actually paying 3 different taxes: Municipal (or local) taxes, County taxes and Education taxes.

Based on the 2018 budget, every tax dollar that a Kingsville resident paid was divided as follows:

Figure - 1



### **Municipal Tax Levy**

The 2019 draft budget proposes a total Tax Levy of \$17,332,634 (2018 - \$16,024,803).

The Residential Tax Rate is calculated as follows:

Total Tax Levy / Weighted Assessment Base = Residential Tax Rate

Based on this formula, any increase to the Town's assessment base will reduce the impact of budgetary changes on the tax rate.

### **Assessment Growth**

According to the latest assessment information provided by MPAC, the weighted value of our assessment will increase by 5.13% in 2018. This 5.13% increase is a combination of phased-in assessment growth (2.73%) and new construction (2.4%). A detailed breakdown of the Town's assessment base can be found on page 4 of the budget document.

### **Tax Rates**

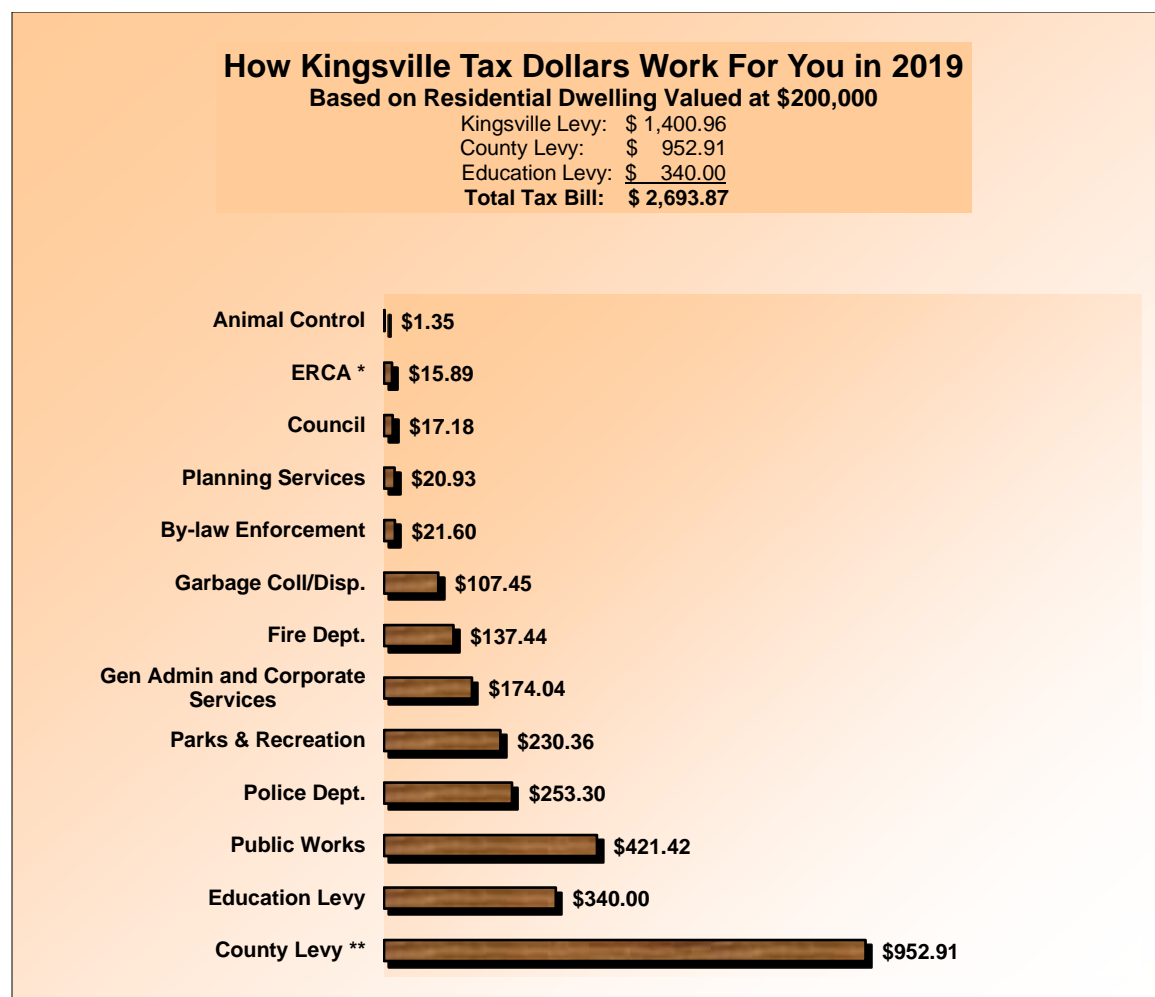
The 2019 budget proposes a municipal tax rate increase of 2.9% (2018 – 3.3%). On a home valued at \$200,000 this represents an annual increase of \$39.22 (2018 - \$43.14).

As illustrated in Figure 1 above, the municipal taxes represent only 51% of the property tax bill that Kingsville residents will pay. The County tax rate is established by County Council. The Education Tax rate is established by the Province. At the time of this report, the County and Education Tax rates are unknown.

For budget discussion purposes, council should be aware that a 1% change in the municipal tax rate equals approx. \$160,000.

## Taxes Dollars at Work

The following chart illustrates how the tax dollars, on a home valued at \$200,000, would be distributed based on the 2019 draft budget. For the purpose of this chart, we have assumed no changes in the Education or County tax rates.



## Water and Wastewater Rate Supported Operations

A summary of all water / wastewater rate funded operations can be found on page 36. The detailed operating budgets, for these departments, can be found on pages 38-42. Water and wastewater capital projects, along with the various funding sources, are listed on page 37.

Further information and analysis on the proposed capital projects for water and wastewater will be provided to Council prior to budget deliberations.

## **Budget Deliberation Dates**

In light of other municipal commitments, Administration recommends the following dates for budget deliberations;

- Friday, January 11, 2019
- Friday, January 25, 2019
- Friday, February 8, 2019 (if necessary)

These dates are recommendations only. It is understood that alternative dates may be necessary to accommodate every Councillor's availability.

## **LINK TO STRATEGIC PLAN**

Effectively manage corporate resources and maximize performance in day-to-day operations.

To become a leader in sustainable infrastructure renewal and development.

## **FINANCIAL CONSIDERATIONS**

Please see above.

## **CONSULTATIONS**

Senior management team

## **RECOMMENDATION**

That Council receive the 2019 draft budget and provide direction on budget deliberation dates.

*Ryan McLeod*

Ryan McLeod, CPA, CA  
Director of Financial Services

*Peggy Van Mierlo-West*

Peggy Van Mierlo-West, C.E.T.  
Chief Administrative Officer





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**Date:** December 4, 2018  
**To:** Mayor and Council  
**Author:** Jennifer Astrologo, Director of Corporate Services/Clerk  
**RE:** Appointment Process – County Council Alternate  
**Report No.:** CS-2018-24

---

## **AIM**

To provide Council with information for the purpose of establishing a process to elect the County Council Alternate.

## **BACKGROUND**

At the November 26, 2018 Regular Meeting, the following motion was carried:

Moved by Deputy Mayor Queen, seconded by Councillor Neufeld,  
That Council receives Staff Report CS-2018-22, entitled, "Policy to Appoint an Alternate to Essex County Council" for information; and that Council direct Administration to proceed to appoint an Alternate in accordance with Option 1 of said Report, being a Call for Nominations.

## **DISCUSSION**

On or about September 12, 2017, Council approved the Council Vacancy Policy. As discussed in Staff Report CS-2018-22, that Policy can provide guidance to Council for the process to be adopted when accepting nominations and appointing the County Council Alternate (the "Alternate").

In this regard, the following process is recommended for a Call for Nominations process:

- Members of Council wishing to be appointed as the Alternate put their name forward for consideration at an open meeting of Council.

- All members who put their name forward shall be considered for appointment.
- Each nominee shall be given two (2) minutes to give a brief statement, outlining his/her motivation and/or qualifications to be appointed as the Alternate.
- Following submissions, each Council Member may ask one (1) clarifying question of the nominee.
- Council votes to appoint the nominee.

With respect to the voting procedure, it is recommended that Council adopt the procedure outlined at provision 6.26 of the Council Vacancy Policy, attached at Appendix A. Specifically, that the Alternate must receive more than half of the votes of all voting members of Council in attendance. Voting can be conducted through a show of hands, or through a written ballot.

### **LINK TO STRATEGIC PLAN**

No direct link to the Strategic Plan.

### **FINANCIAL CONSIDERATIONS**

There are no financial considerations.

### **CONSULTATIONS**

CAO

### **RECOMMENDATION**

That Council provide direction to Administration regarding the procedure to be adopted for the purposes of appointing the County Council Alternate for the 2018-2022 Council Term.

*Jennifer Astrologo*

Jennifer Astrologo, B.H.K. (hons), LL.B  
Director of Corporate Services/Clerk

*Peggy Van Mierlo-West*

Peggy Van Mierlo-West, C.E.T.  
Chief Administrative Officer

## Appendix A - Report CS-2018-24

Council Vacancy Policy, CS-012

- 6.21 It is the Candidate(s) sole responsibility to meet any deadline or otherwise comply with any requirement of this policy, the *Act* or the *Municipal Elections Act*.
- 6.22 The Clerk will create a list of all Candidates and publicly post the Candidate Listing on the Town's website. The Listing will be updated as eligible Applications are received.
- 6.23 A Special Meeting of Council open to the public will be held for the purposes of allowing the Candidates to make submissions to Council and to allow Council to select a Candidate to fill the vacancy.
- 6.24 Notwithstanding the requirement of the Procedural By-law, the agenda for the meeting shall be set by the Clerk to allow for the orderly proceeding of selecting a Candidate. The agenda shall include the following:
- a. A certified list of all Candidates listed in alphabetical order by last name.
  - b. Any personal statement of qualification for consideration of Council.
- 6.25 At the meeting, the following shall take place:
- a. The Chair will make a short statement of the purpose of the meeting and the general order of proceedings to be followed.
  - b. The Clerk will provide to the Chair a list of the names of those individuals who have indicated, in writing, their interest in being appointed to the vacancy and the Chair will call for a motion from Council in the following form: *"THAT the following individuals, who have signified in writing that they are legally qualified to hold office and consented to accept the office if they are appointed to fill the vacancy, be considered for appointment to fill such vacancy."*
  - c. Candidates will be sequestered in an adjacent room until it is their time to answer the questions posed by Council. Once a candidate has answered the questions, they may remain in the Council Chambers.
  - d. Each of the nominees shall be afforded the opportunity to address Council for a period of not more than five (5) minutes. The order of speaking will be determined alphabetically by last name.
  - e. Each member of Council will be permitted to ask not more than two (2) questions to each Candidate. Responses from the Candidates shall be limited to a maximum of two (2) minutes per question.
  - f. The Clerk shall be responsible for managing the time restrictions outlined in (d) and (e), above.
- 6.26 Upon hearing all the submissions of the Candidates, Council will proceed to vote as follows:

- a. Candidate names will be displayed in alphabetical order, in the Council Chambers by the Clerk.
  - b. Each Member of Council will be provided with a ballot by the Clerk with their name on it listing all Candidates in alphabetical order.
  - c. Each Member of Council will cast their vote on the ballot and sign their name.
  - d. Members of Council will cast their vote for one (1) Candidate only.
  - e. The Clerk will collect the ballots, place the ballots of all Members of Council in a container and randomly draw the completed ballots.
  - f. When a ballot is drawn, the Clerk will publicly announce the name of the Member of Council whose vote it is and announce the Candidate in which they voted for.
  - g. The Clerk will tabulate and announce the results.
  - h. If the Candidate receiving the greatest number of votes cast does not receive more than one-half the votes of all voting members of Council, the Candidate or Candidates who received the fewest number of votes will be excluded from further consideration. The vote will be taken again by the Clerk and, if necessary, more than once, excluding in each successive vote the Candidate or Candidates who receive the fewest number of votes. This process will be repeated until the Candidate receiving the greatest number of votes has also received more than one-half of the votes of the voting Members of Council.
  - i. Where the votes cast are equal for all remaining Candidates and if:
    - i. There are three or more Candidates remaining, the Clerk will by Lot select one such Candidate to be excluded from the subsequent voting.
    - ii. If only two (2) Candidates remain, the tie will be broken by selecting a Candidate by Lot, as conducted by the Clerk.
- 6.27 Upon conclusion of the voting, the Clerk will note the Candidate receiving the votes of more than one-half of the number of the voting Members of Council or the Candidate selected through Section 6.23 i) ii.
- 6.28 The appointment of the Candidate will be made by By-law. A By-law confirming the appointment will be enacted by Council at the next Council meeting.
- 6.29 The Clerk will administer the Declaration of Office required by subsection 232(1) of the *Act*, at the meeting where the By-law referred to in section 6.25 of this policy is enacted by Council, or as directed by Council.





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**Date:** December 4, 2018  
**To:** Mayor and Council  
**Author:** Peggy Van Mierlo-West, CAO  
**RE:** Kingsville Highland Games Committee – Terms of Reference  
**Report No.:** CAO 12-2018

---

## **AIM**

To provide Council with a proposed terms of reference for the Kingsville Highland Games Committee.

## **BACKGROUND**

At the June 11, 2018 Council meeting, council approved a proposal to revive the Kingsville Highland games at Lakeside Park for 2019. The Highland Games are proposed to occur June 22, 2019. With events including pipe band competitions, highland dance competitions, and sheep herding demonstrations.

## **DISCUSSION**

Active committees strengthen the future well-being of the community and provide improved communication between Council and their residents. The attached terms of reference describe Kingsville Highland Games committee and provides its mandate.

The Committee will have the task of developing and facilitating the Kingsville Highland Games including all things necessary to facilitate the 2019 Kingsville Highland Games.

This will be a volunteer committee. Should the terms of reference be approved it will be advertised as per town policy.

## **LINK TO STRATEGIC PLAN**

Improve recreational and cultural facilities and opportunities within the Town of Kingsville.

## **FINANCIAL CONSIDERATIONS**

The committee is an unpaid position. Funding for the event has been included within the 2019 Operational plan.

## **CONSULTATIONS**

## **RECOMMENDATION**

That the attached Terms of Reference for the Kingsville Highland Games Committee be approved; and that advertising for resident position begin immediately.

*Peggy Van Mierlo-West*

Peggy Van Mierlo-West, C.E.T.  
Chief Administrative Officer

Authorizing or Mandating Legislation: None

Procedural By-law: By-law 105-2011 as amended from time to time

Approved: \_\_\_\_\_

Evaluation Date: January 2021

Date of Formation: January 2019

---

### 1.0 PURPOSE

To create a memorable, fiscally responsible annual festival to celebrate the Scottish and Celtic Culture while partnering with local business and organizations

-And-

To promote the general betterment and positive self-image of our community using the identified strengths that exist in the community;

### 2.0 COMMITTEE PARTICULARS

#### 2.1 Resource:

- 2.1.1 Parks and Recreation Program Manager; Municipal Services; Kingsville BIA; Manager of Municipal Facilities and Property
- 2.1.2 Staff Support: As determined by the Parks and Recreation Program Manager
- 2.1.3 Number of Council Members: One
- 2.1.4 Number of Community Members: Ten minimum

**2.2 Term:** January 1, 2019 to November 14, 2022

**2.3 Meeting Frequency:** Quarterly unless called by the Chair

**2.4 Remuneration:** None

### 3.0 SCOPE OF WORK

The Committee shall:

- 3.1 Plan, organize and operate the annual Communities in Bloom tour in collaboration with the Parks and Recreation Department, Municipal Services, Local Businesses and individual homeowners
- 3.2 Act as and recruit volunteers to assist in the operation of the annual Kingsville Highland Games event
- 3.3 Develop methods and new ideas to maintain the sustainability and build upon the tourism draw of the Kingsville Highland Games.

### 4.0 REQUIRED SKILLS

Strategy	Project Management	Communications
Risk Management	Business Management	Stakeholder Relations



**REGULAR MEETING OF COUNCIL  
MINUTES**

**Monday, November 26, 2018**

**7:00 PM**

**Council Chambers**

**2021 Division Road N**

**Kingsville, Ontario N9Y 2Y9**

Members of Council	Mayor Nelson Santos
	Deputy Mayor Gord Queen
	Councillor Susanne Coghill
	Councillor Tony Gaffan
	Councillor Thomas Neufeld
	Councillor Larry Patterson
Members of Administration	J. Astrologo, Director of Corporate Services
	K. Brcic, Planner
	S. Kitchen, Deputy Clerk-Council Services
	A. Plancke, Director of Municipal Services
	P. Van Mierlo-West, CAO
	R. Baines, Deputy Clerk - Administrative Services

**A. CALL TO ORDER**

Mayor Santos called the Regular Meeting to order at 7:00 p.m.

**B. MOMENT OF SILENCE AND REFLECTION**

Mayor Santos asked those present to stand and observe a moment of silence and reflection to be followed by the playing of O'Canada.

**C. PLAYING OF NATIONAL ANTHEM**

**D. DISCLOSURE OF PECUNIARY INTEREST**



Mayor Santos reminded Council that any declaration is to be made prior to each item being discussed and to identify the nature of the conflict, if any, as the agenda items come forward.

**E. MATTERS SUBJECT TO NOTICE**

**1. PUBLIC MEETING--Licensing, Regulating and Registration of Dogs  
Proposed By-law Amendment**

R. Baines, Deputy Clerk-Administrative Services

i) Notice of Consideration of Amendments to Licensing, Regulating and Registration of Dogs By-law dated October 9, 2018;

ii) Report dated November 26, 2018;

iii) Proposed By-law 122-2018, being a by-law to amend By-law 103-2003, as amended, being a By-law to provide for the licensing, regulating and registration of dogs by-law within the Town of Kingsville

Comments from the audience:

Mary Ann Malott, 67 McDonald St., commented that she is aware of many complaints in connection with dog tethering, and that some people might not know who to contact. She is in support of the proposed By-law.

Linda Beck, 3184 Division Road North, commented that she is also in support and felt that all residents in the community should help by reporting instances of dogs being tethered outside for extended periods of time.

Melanie Coulter, Executive Director, Windsor Essex Humane Society informed that the Society receives many reports of tethered dogs. The concern with the current by-law is that enforcement is very difficult and the reduction of the limit to 4 hours will assist with that issue. She explained that when there is a chronic situation, residents will be educated in the matter respecting compliance. Dogs who are tethered for extended periods of time are not getting the social interaction they need and it poses a safety hazard to the dog as well.

There were no further comments from anyone in attendance in the audience.

**626-2018**

**Moved By** Councillor Susanne Coghill

**Seconded By** Councillor Larry Patterson

That Council receives Report of R. Baines, Deputy Clerk-Administrative Services, dated November 26, 2018; and that By-law 122-2018 amending the Licensing,

Regulating and Registration of Dogs By-law 103-2003, as amended, be adopted at this Regular Meeting.

**CARRIED**

**2. PUBLIC MEETING--Application for Zoning By-law Amendment ZBA/25/18 by Jeremy Capussi 140 Main St. E, Pt. of Lot 1, Concession 1 ED, Pts. 1 & 2, RP 12R 14569**

R. Brown, Manager of Planning Services

i) Notice of Complete Application and Public Meeting: Zoning By-law Amendment, dated November 6, 2018;

ii) Report dated November 16, 2018;

iii) Proposed By-law 123-2018, being a by-law to amend By-law 1-2014, the Comprehensive Zoning By-law for the Town of Kingsville.

Comments from the applicant.

Karl Tanner, Dillon Consulting, on behalf of Mr. Capussi, commented that the applicant will be coming back for site plan approval. He stated that the traffic study shows traffic will function appropriately. The tenant who will be opening up a medical practice in the building is a family member of the Applicant.

As a response to concerns as to how construction dust and noise will impact the neighbourhood, Mr. Brown stated that the Town can request through the site plan process a construction plan to show where construction vehicles will be placed during construction.

Comments from the audience:

John Smith, 23 Cherry Lane stated that he has been coming to meetings regularly and the proposal is 100% better than it was a year ago. He asked if he would be able to provide landscaping input when that is being discussed. Mr. Smith was asked to provide written comments addressed to the Manager of Planning Services in this regard with a view to a possible site meeting with the nearby residents.

Doug Duff, 71 Robin Court asked if the architectural aspect of the design could be improved, and also expressed traffic concerns. He stated that the Town has a road problem and needs better traffic flow. He also expressed concerns regarding the dust and mud local construction projects cause seasonally.

Margie Anson, 69 Augustine Dr. stated she does not think the type of density proposed blends in with the existing neighbourhood. She also asked if there were any conservation concerns. Mr. Brown confirmed that there are no significant species at risk and no significant features to be preserved.

Katherine Gunning, 4 Elwood, Cottam, expressed concern if the front yard setbacks on Main St. were reduced from the current regulated setbacks. Mr. Brown explained that a road widening will be necessary, which will push the building back an additional six feet. Ms. Gunning stated that because it is not known what will be developed on the other side of the building, she hopes the current setbacks 'on the books' will remain.

Lindsey Ecker, 55 Golfview Drive, asked if the environmental study would be available for review, and it was confirmed that study is available with the public record.

Joanne Rivard, 222 Sandybrook Way, inquired about fire truck access.

**627-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Larry Patterson

That Council approves Zoning Amendment application ZBA/25/18 to rezone a portion of the lands (Phase One) located at 140 Main St E. from Residential Zone 1 Urban – holding 'R1.1(h)' to a site-specific Residential Zone 4 Urban Exception 5 'R4.1-5' to permit:

Mixed Use Commercial/Residential building which may include: a medical office/clinic and accessory pharmacy; neighbourhood commercial uses excluding a convenience store or commercial plaza;

Permit a reduced easterly side yard setback of 2.8 m (9 ft.);

Permit a total height of 11.5 m or three storeys whichever is less;

Limit the ground floor commercial space to 705 sq. m (7,588 sq. ft.) and;

Permit a partial fourth storey amenity space limited to 50% of the ground floor area; and

adopt the implementing by-law.

**CARRIED**

**3. PUBLIC MEETING--Application for Zoning Amendment - ZBA/20/18 by Robert & Barbara Dick & Helena Koop – Owners Heather Scott – Authorized Applicant 101 Mill St. W Part of Lot 1 & 2, Concession 1 WD Roll No. 3711 160 000 02710**

K. Brcic, Town Planner

i) Notice of Complete Application and Public Meeting: Zoning By-law Amendment, dated November 6, 2018;

ii) Report dated November 19, 2018;

iii) Powerpoint presentation by Applicant; and

iv) Proposed By-law 125-2018, being a By-law to amend By-law 1-2014, the Comprehensive Zoning By-law for the Town of Kingsville.

The Applicant, Heather Scott, and her daughter Jordan, were in attendance. Leigh Ann Mastronardi, a local yoga practitioner, was also in attendance.

Comments from the Applicant:

Jordan Scott presented the Powerpoint presentation entitled "Estate of Health Holistic Day Spa and Yoga Studio" and described the proposal in terms of services to be offered (holistic treatments, yoga classes, seminars and workshops, retreats, and gift shop). Ms. Leigh Ann Mastronardi stated that she is seeing a very large need in the community for this type of centre; that the size of her existing location cannot accommodate the number of students requesting classes.

Comments from the audience:

Solicitor Brian Chillman spoke in support of the Zoning By-law Amendment Application, having known the Scott family for many years.

Craig Farqueson, 116 Mill St. West stated that he likes the passive use, but is concerned about the increase in traffic flow and parking on the street.

Donna Carter, 91 Laurel St. stated that she thinks the idea is wonderful, but also expressed concerns regarding traffic and overflow parking on the street.

Lindsey Ecker, 55 Golfview, stated that she is in strong support of the application and indicated that having recently hosted a local Holistic Health and Wellness Expo event she is aware that numerous people in a very wide age range are continuing to express interest in this type of preventative health care.



Sarah Ann Shields, 97 Erie St. stated that she is new to Town, is a local wellness practitioner and is in support of the application. She stated that the proposal would create a cultural experience for residents and visitors, with a focus on wellness.

Mr. John Kolbrich, 74 Laurel, stated he and his wife's only concern is the amount of traffic going right by the door of their home, stating that originally there was 100 feet between the driveway and the next residence, and now the driveway would be only 10 feet from their bedroom. He asked if the parking could be relocated to the Mill St. side.

**628-2018**

**Moved By** Councillor Susanne Coghill

**Seconded By** Deputy Mayor Gord Queen

That Council approves Zoning Amendment Application ZBA/20/18 to amend the current 'Residential Zone 1 Urban Exception 20 (R1.1-20)' zoning of the lands known as 101 Mill Street West, in the Town of Kingsville, to revise the permitted uses as follows:

The existing uses as follows:

Those uses permitted under Section 6.1 Residential Zone 1 Urban (R1.1); An inn, an assembly hall, a banquet facility and a gift shop.

or;

The proposed use as follows:

A holistic health centre and an accessory gift shop;

and adopt the implementing by-law.

**CARRIED**

At 9:02 p.m. Mayor Santos called for a ten-minute recess and the Regular Meeting reconvened at 9:13 p.m.

**F. AMENDMENTS TO THE AGENDA**

Councillor Patterson added one Announcement and one item of unfinished business. Deputy Mayor Queen added one announcement and one Notice of Motion, and Mayor Santos added one announcement.

## **G. STAFF REPORTS**

### **1. Hillview Crescent Parking - Traffic By-Law Revision**

T. Del Greco, Manager of Municipal Services

**629-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Tony Gaffan

That Council approves an amendment of the Kingsville Traffic By-Law (21-2005) to include the addition of “No Parking” signs on the south side of Hillview Crescent from Division Street North to the eastern property line of 55 Hillview Crescent.

**CARRIED**

### **2. Special Needs Signage Requests**

G. A. Plancke, Director of Municipal Services

**630-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Thomas Neufeld

That Council receive the information specific to the installation of “Special Needs” signage and further that Council direct administration to formalize a Special Needs Sign Installation Policy based in accordance with the following stipulations:

- A physician’s statement identifying the extent of the disability;
- Concurrence from the parents of their understanding that the sign will only remain in place for a predefined period (typically five (5) year increments), and will be removed when the child reaches a specified age (typically thirteen (13) years of age), or no reconfirmation from the parents requesting the sign that the requirement for the sign is still valid after the initial five (5) year installation period.
- (Age confirmation may include a sworn statement of the child’s date of birth);
- Written acknowledgement from the parents of their understanding that the sign is no guarantee of their child’s safety and that they remain responsible for the monitoring of their child’s activities;

- A commitment to notify the municipality in a timely manner of any positive changes in their child's impairments (for example, cochlear implants, use of a hearing aids etc. for children with hearing impairments);
- A commitment to notify the municipality in a timely manner of any relocation to another place of residence.

**CARRIED**

The Special Needs Sign Installation Policy will come back to Council at a future meeting for review and approval.

### **3. Kingsville Range Light Relocation**

G. A. Plancke, Director of Municipal Services

**631-2018**

**Moved By** Councillor Larry Patterson

**Seconded By** Councillor Thomas Neufeld

That Council receive the information as presented, and to accept the donation of the Kingsville Range Light as donated by the Kingsville Historical Park Museum Board of Directors, provided that:

The sum of \$33,000 be included into the 2019 Capital budget for expenses related to the relocation, and permanent placement of, the "Kingsville Lighthouse".

**CARRIED**

### **4. Pedestrian Cross Walk Requests**

G. A. Plancke, Director of Municipal Services

**632-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Larry Patterson

That Council receive the information provided, and that \$24,000 be included within the 2019 Capital budget deliberations for the installation of two (2) Pedestrian Crossovers to be located at the intersection of Division St. S. and Pearl St. and 44 Main St. E. respectively; and,

That Council direct administration to develop a Pedestrian Crossover Policy as a guidance document to govern supplemental requests for Pedestrian Crossovers for discussion a future date of Council.

**CARRIED**

**5. Final Acceptance / Royal Oak at the Creek Phase 8a**

G. A. Plancke, Director of Municipal Services

**633-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Susanne Coghill

That Council concurs with the request of the Developer's Engineer and endorsed by the Director of Municipal Services for the Town to grant "Final Acceptance" of the roadway and infrastructure for the Royal Oak at the Creek Phase 8A subdivision.

**CARRIED**

**6. Application for Site Plan Approval SPA/13/18 by 2623991 Ontario Ltd. 609 Road 3 E Part of Lot 4, Con 2 ED, Part 1, RP 12R 11488, Part 2, RP 12R 22191**

R. Brown, Manager of Planning Services

**634-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Susanne Coghill

That Council waive notice requirement of procedural by-law and allow the applicant and members of the audience to speak to Staff Report Item G6, being Application for Site Plan Approval SPA/13/18 (2623991 Ontario Ltd., 609 Road 3 East).

**CARRIED**

Comments from the Applicant:

Todd Statzer on behalf of the Applicant, explained that he is a consultant with a great deal of experience in horticultural growing and production practices. He provided information regarding the technology involved with respect to odour control; that this facility will be using technology that kills the odour and not just to "catch it". The technology, utilizing hydrogen peroxide produced by the sun, kills funguses, mold and mildews. He indicated that before his current position as Director of Environmental Sciences with urban-gro, he was a plant and pesticide inspector for the State of Illinois in the Bureau of Medicinal Plants, and as a result has been on both sides of the issue. He stated that most greenhouses are metal-walled where he is from, and explained that any air leaving the facility is treated.

Comments from the public:

Doug Duff, 71 Robin Court, stated that he is a chemist and a chemical engineer and understood the technical explanation provided by Mr. Statzer. He stated that he is concerned that this location is only 7/8 of a mile from one of the applications that was denied previously, is not too far from the arena complex, and about one mile away from his neighbourhood. His second concern is that if this application is approved the Town may be subject to a lawsuit for the applications that were denied previously. Finally, he stated that because the facility is metal, the taxes should be assessed at a higher rate.

Director Plancke explained the proposed waterline infrastructure.

Joanne Rivard, 222 Sandybrook Way, asked if migrant workers are allowed to work on medical marihuana facilities. She also asked for clarification pertaining to the imposition of fines against the growers in the event of non-compliance.

Alex Gruening, 749 Road 3 East stated that he has experienced the big trucks speeding up and down Road 3 East, and the street is taking a beating.

Doug Duff, 71 Robin Court stated that if this application is approved it will have to be monitored.

Dave Lamarre of urban-gro, Inc. spoke in support of the agreement, indicating that that he has been in 60 to 70 indoor greenhouse grows and that this facility will set the standard for all facilities.

**635-2018**

**Moved By** Councillor Thomas Neufeld

**Seconded By** Councillor Tony Gaffan

That:



Council approve Phase One of the proposed greenhouse development for a medical marihuana production facility, subject to the conditions outlined in the site plan agreement, for a 5.78 ha (13.78 ac.) greenhouse with auxiliary warehouse and supporting facilities and authorize the Mayor and Clerk to sign the site plan agreement and register said agreement on title, and

Council require a security deposit equal to 50% of the total cost of the odour control system, lighting control system and Road 3 E road improvements (Phase One only) to be deposit with the Town prior to release of any building permits.

**CARRIED**

**7. Committee of Adjustment & Planning Advisory Committee Composition**

R. Brown, Manager of Planning Services

**636-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Larry Patterson

That Council receive the Report of R. Brown, Manager of Planning Services dated November 16, 2018 RE: Committee of Adjustment and Planning Advisory Committee Composition.

<b>Recorded</b>	<b>For</b>	<b>Against</b>
Mayor Nelson Santos	X	
Deputy Mayor Gord Queen	X	
Councillor Susanne Coghill	X	
Councillor Tony Gaffan		X
Councillor Thomas Neufeld		X
Councillor Larry Patterson	X	
<b>Results</b>	<b>4</b>	<b>2</b>

**CARRIED (4 to 2)**

**637-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Thomas Neufeld

That Council move to continue this Regular Meeting past the hour of 11:00 p.m.

<b>Unanimous</b>	<b>For</b>	<b>Against</b>
Mayor Nelson Santos	X	
Deputy Mayor Gord Queen	X	
Councillor Susanne Coghill	X	
Councillor Tony Gaffan	X	
Councillor Thomas Neufeld	X	
Councillor Larry Patterson	X	
<b>Results</b>	<b>6</b>	<b>0</b>

**CARRIED (6 to 0)**

**8. 2014 – 2018 Committee Review Report**

J. Astrologo, Director of Corporate Services

**638-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Thomas Neufeld

That Council direct Administration to advertise the same list of Committees that operated in the Town of Kingsville as was sought in accordance with the Town's Appointment By-law 1-2015, and amendments thereto, save and except the Drainage Advisory Committee and The 55+ Advisory Committee, for a term of two (2) years.

**CARRIED**

**9. Policy to Appoint an Alternate to Essex County Council**

J. Astrologo, Director of Corporate Services

**639-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Thomas Neufeld

That Council receives Staff Report CS-22-2018, entitled, "Policy to Appoint an Alternate to Essex County Council" for information; and that Council direct Administration to proceed to appoint an Alternate in accordance with Option 1 of said Report, being a Call for Nominations.

**CARRIED**

**H. BUSINESS/CORRESPONDENCE-ACTION REQUIRED**

- 1. Correspondence of residents of Olinda Sideroad dated October 29, 2018 with attached Petition to level and resurface Olinda Sideroad and service storm drains (SEE: Agenda Item L-2)**

**640-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Susanne Coghill

That Council receive Petition of Residents of Olinda Sideroad, dated October 31, 2018 together with accompanying cover correspondence dated October 29, 2018, and refer same to Administration for report.

**CARRIED**

**I. MINUTES OF THE PREVIOUS MEETINGS**

- 1. Regular Meeting of Council--November 13, 2018**
- 2. Regular 'Closed Session' Meeting of Council--November 13, 2018**

**641-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Tony Gaffan

That Council adopts Regular Meeting of Council Minutes dated November 13, 2018 and Regular 'Closed Session' Meeting of Council Minutes dated November 13, 2018.

**CARRIED**

**J. MINUTES OF COMMITTEES AND RECOMMENDATIONS**

**1. Kingsville B.I.A.- September 11, 2018**

**642-2018**

**Moved By** Councillor Tony Gaffan

**Seconded By** Councillor Susanne Coghill

That Council receive Kingsville B.I.A. Meeting Minutes dated September 11, 2018.

**CARRIED**

**2. Kingsville Municipal Heritage Advisory Committee--October 10, 2018**

**643-2018**

**Moved By** Councillor Susanne Coghill

**Seconded By** Deputy Mayor Gord Queen

That Council receive Kingsville Municipal Heritage Advisory Committee Meeting Minutes, dated October 10, 2018.

**CARRIED**

**K. BUSINESS CORRESPONDENCE - INFORMATIONAL**

**1. Cheryl and Paul Lowes--Correspondence dated November 6, 2018**

**RE: Drainage issues**

**2. Windsor-Essex County Health Unit (WECHU) Board of Health --Cannabis Resolution Recommendation passed at its Board of Health Meeting held on October 18, 2018**

**644-2018**

**Moved By** Councillor Larry Patterson

**Seconded By** Councillor Thomas Neufeld

That Council receives Business Correspondence-Informational items 1 and 2.

**CARRIED**

Ms. Coghill left the room at 11:42 p.m.

**L. NOTICES OF MOTION**

**1. Deputy Mayor Queen may move, or cause to have moved:**

That Administration investigate and report back to the new Council elect, the feasibility of adopting a policy similar to the recently approved policy of Secondary Suites to help ease the affordable housing shortage, based on compliance on both Building Code and Fire regulations.

**645-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Thomas Neufeld

That Administration investigate and report back to the new Council elect, the feasibility of adopting a policy similar to the recently approved policy of Secondary Suites to help ease the affordable housing shortage, based on compliance on both Building Code and Fire regulations.

**CARRIED**

**2. Councillor Patterson may move, or cause to have moved:**

That a Petition signed by the residents of the Olinda Sideroad be forwarded to management regarding the Olinda Sideroad as a safety concern.

Councillor Patterson did not move this motion at this Regular Meeting because the Petition was filed with Council at this Regular Meeting.

**3. Councillor Patterson may move, or cause to have moved:**

That the Town's Council representatives discuss with Essex County Council to consider that the speed limit on County Road 27 from Highway 3 going northeast



to County Road 34 in Cottam be reduced from 80 km to 60 km, to the 50 km sign.

**646-2018**

**Moved By** Councillor Larry Patterson

**Seconded By** Councillor Tony Gaffan

That Council defer Notice of Motion Agenda Item L-3 (Councillor Larry Patterson may move, or cause to have moved, that the Town's Council representatives discuss with Essex County Council to consider that the speed limit on County Road 27 from Highway 3 going northeast to County Road 34 in Cottam be reduced from 80 km to 60 km, to the 50 km sign) to a future meeting.

**CARRIED**

Ms. Van Mierlo-West left the room at 11:44 p.m. and returned at 11:46 p.m.

Ms. Coghill returned to the room at 11:45 p.m.

**M. UNFINISHED BUSINESS, ANNOUNCEMENTS AND UPDATES**

1. Councillor Patterson inquired about the tree removal in Cottam for the walking trail. Ms. Van Mierlo-West responded that the trail is part of the Cottam Revitalization Plan and the revitalization of the trail.

2. Councillor Patterson expressed his thanks to Town staff for the excellent progress being made on improvements to the Cottam Rotary Park and suggested that a couple of flood lights might be considered to be installed.

3. On behalf of the Royal Canadian Legion and Veterans Voices of Canada, Deputy Mayor Queen presented the LCol Frederick Kent Jaspersen Flag of Remembrance to Mayor Santos, sponsored by the Town of Kingsville.

4. Mayor Santos extended his personal thanks to the Council Members for representing the municipality over this term of Council. He presented a photograph memento to each member. He also expressed his thanks to Town Administration.

**N. BYLAWS**

**1. By-law 122-2018**

**647-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Thomas Neufeld

That Council read By-law 122-2018, being a by-law to amend By-law 103-2003, as amended, being a By-law to provide for the licensing, regulating and registration of dogs within the Town of Kingsville a first, second and third and final time.

**CARRIED**

**2. By-law 123-2018**

**648-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Susanne Coghill

That Council read By-law 123-2018, being a by-law to amend By-law 1-2014, the Comprehensive Zoning By-law for the Town of Kingsville (ZBA/25/18; 140 Main St. East) as amended, a first, second and third and final time.

**CARRIED**

**3. By-law 125-2018**

**649-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Larry Patterson

That Council read by-law 125-2018 being a by-law to amend By-law 1-2014, the Comprehensive Zoning By-law for the Town of Kingsville (ZBA/20/18; 74 Laurel St.) a first, second and third and final time.

**CARRIED**

**4. By-law 126-2018**

**650-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Tony Gaffan

That Council reads By-law 126-2018, being a by-law to designate a certain property, including land and buildings, known as the Old Fire Hall (30 Main St.

East, Kingsville) as being of cultural heritage value or interest under the provisions of the *Ontario Heritage Act*, R.S.O. 1990, c. O.18, as amended.

**CARRIED**

**O. CLOSED SESSION**

**651-2018**

**Moved By** Councillor Susanne Coghill

**Seconded By** Councillor Larry Patterson

That Council at 11:55 p.m., pursuant to Section 239(2) of the Municipal Act, 2001, enter into Closed Session to address the following item:

1. Section 239(2)(c) a proposed or pending acquisition or disposition of land by the municipality; being an update report of CAO P. Van Mierlo-West regarding the Agreement of Purchase and Sale with the Greater Essex County District School Board.

**CARRIED**

**P. REPORT OUT OF CLOSED SESSION**

Upon rising from Closed Session at 12:09 a.m. Mayor Santos reported that Council received an update on the status of the Agreement of Purchase and Sale with the Greater Essex County District School Board. He reported that the conditional Agreement is in place and the municipality is looking forward to finalizing the same.

**Q. CONFIRMATORY BY-LAW**

**1. By-law 127-2018**

**652-2018**

**Moved By** Deputy Mayor Gord Queen

**Seconded By** Councillor Larry Patterson

That Council reads By-law 127-2018, being a By-law to confirm the proceedings of the Council of The Corporation of the Town of Kingsville at its November 26, 2018 Regular Meeting a first, second and third and final time.

**CARRIED**

**R. ADJOURNMENT**

**653-2018**

**Moved By** Councillor Susanne Coghill

**Seconded By** Councillor Larry Patterson

That Council adjourns this Regular Meeting at 12:10 a.m.

**CARRIED**



VIA EMAIL ONLY

November 30, 2018

The Government of Ontario  
c/o The Honourable Doug Ford, MPP  
Premier of the Government of Ontario  
Queen's Park, Legislative Building, Room 281  
Toronto, Ontario M7A 1A1  
Email: [premier@ontario.ca](mailto:premier@ontario.ca)

The Government of Ontario  
c/o The Honourable Caroline Mulroney, MPP  
Attorney General and Minister of Francophone Affairs  
McMurtry-Scott Building, 720 Bay Street, 11<sup>th</sup> Floor  
Toronto, Ontario M7A 2S9  
Email: [caroline.mulroney@ontario.ca](mailto:caroline.mulroney@ontario.ca)

Dear Premier Ford and Minister Mulroney:

**Re: Cannabis Retail Stores Proximity to Schools – Greater Essex County District School Board Comments**

This correspondence is in response to the above-noted Ministry of the Attorney General led process that addressed limits of Cannabis Retail Stores proximity to schools. Please be advised that the Greater Essex County District School Board has had an opportunity to review and at the November 20, 2018 Board of Trustee's Meeting, passed a motion to write a letter of concern regarding the proximity of Cannabis Retail Stores to schools.

The Board is aware that Ontario Regulation 468/18, being the General Regulations pursuant to the *Cannabis Licence Act, 2018*, were approved and ordered by the Lieutenant Governor of Ontario, through an Order In Council on November 14, 2018. The Regulations came into force on November 16, 2018, when the Lieutenant Governor of Ontario proclaimed the Act to come into force, based on the recent passage of Bill 36, Cannabis Statute Law Amendment Act, 2018, receiving Royal Assent on October 17, 2018.

Under the Act, this gave the ability for the Ministry of the Attorney General to recommend the Regulations thereto. As such, Section 11 of the Regulation under the Act, established a minimum 150 metre separation distance between Cannabis Retail Stores and schools.

The Board is concerned with the minimum distance established by the Government of Ontario. By amending the Regulations to enhance the separation distance of Cannabis Retail Stores



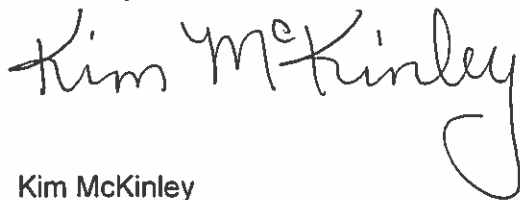
proximity to schools immediately, this will achieve one of the key principles of the legislation – to protect youth and to take whatever steps are necessary to ensure that cannabis remains out of the hands of people under the age of 19.

The Government of Ontario needs to help ensure that we protect the student community of the schools through ensuring public health and safety, protecting youth and reducing illegal sales.

The Board requests that the Ministry of the Attorney General re-commence the consultations with a wider stakeholder group in revising the Regulations and then have the draft regulations open to board public consultation and then make recommendations to the Lieutenant Governor of Ontario to amend the Regulations thereafter.

Should you have any questions or concerns on the above, please do not hesitate to contact the undersigned.

Sincerely,



Kim McKinley  
Chairperson of the Board

cc.

Honourable Bill Blair, Minister of Border Security and Organized Crime Reduction [Bill.Blair@parl.gc.ca](mailto:Bill.Blair@parl.gc.ca)

Honourable Lisa Gretzky, MPP, Windsor West (Email: [lgretzky-qp@ndp.on.ca](mailto:lgretzky-qp@ndp.on.ca))

Honourable Percy Hatfield, MPP, Windsor – Tecumseh (Email: [phatfield-qp@ndp.on.ca](mailto:phatfield-qp@ndp.on.ca))

Honourable Taras Natyshak, MPP Essex (Email: [tnatyshak@ndp.on.ca](mailto:tnatyshak@ndp.on.ca))

Honourable Rick Nicholls, MPP, Chatham-Kent – Leamington (Email: [rick.nicholls@pc.ola.org](mailto:rick.nicholls@pc.ola.org))

Honourable Andrea Horwath, MPP, Leader of the Official Opposition (Email: [ahorwath-qp@ndp.on.ca](mailto:ahorwath-qp@ndp.on.ca))

Honourable Sara Singh, MPP, Attorney General Critic (Email: [ssingh@ndp.on.ca](mailto:ssingh@ndp.on.ca))

Honourable Lisa M. Thompson, MPP, Minister of Education (Email: [minister.edu@ontario.ca](mailto:minister.edu@ontario.ca))

Honourable Marit Stiles, MPP, Education Critic (Email: [mstiles-qp@ndp.on.ca](mailto:mstiles-qp@ndp.on.ca))

The City of Windsor, [vcritchley@citywindsor.ca](mailto:vcritchley@citywindsor.ca)

Municipality of Leamington, [bpercy@leamington.ca](mailto:bpercy@leamington.ca)

Town of Amherstburg, [pparker@amherstburg.ca](mailto:pparker@amherstburg.ca)

Town of Essex, [rauger@essex.ca](mailto:rauger@essex.ca)

Town of Kingsville, [jastrologo@kingsville.ca](mailto:jastrologo@kingsville.ca)

Town of Lakeshore, [knewman@lakeshore.ca](mailto:knewman@lakeshore.ca)

Town of LaSalle, [bandreatta@lasalle.ca](mailto:bandreatta@lasalle.ca)

Town of Tecumseh, [lmoy@tecumseh.ca](mailto:lmoy@tecumseh.ca)

Township of Pelee, [k.digiovanni@pelee.ca](mailto:k.digiovanni@pelee.ca)



admin@erca.org

P.519.776.5209

F.519.776.8688

360 Fairview Avenue West  
Suite 311, Essex, ON N8M 1Y6

November 27<sup>th</sup>, 2018

Peggy Van Mierlo-West  
Town of Kingsville  
2021 Division Rd. N.  
Kingsville, ON | N9Y 2Y9

Dear Peggy,

The Essex Region Conservation Foundation would like to thank the Town of Kingsville for being a Route Sponsor during the annual Essex Region Conservation Bike Tour. On September 29<sup>th</sup>, over 250 cyclists experienced the #PlaceforLife by bicycle, enjoying our region's unique routes and trails. After the ride, Mettawas Park in Kingsville, served as an amazing venue for our Lake Front Festival, where our participants and volunteers enjoyed some great food and music. Local bike vendors were also on hand to provide support and educate on new products. We appreciate your help and hope to continue this relationship in the future.

Your generous support and contribution is greatly appreciated, and helped raise over \$20,000 for conservation initiatives in the Windsor-Essex region. Funds raised from the Essex Region Conservation Bike Tour support continued trail connections in the #PlaceforLife. It is involvement from people and organizations such as yourselves that helps us enhance and maintain our Place for Life.

Again, on behalf of the Essex Region Conservation Foundation, thank you very much for your support.

Sincerely,

Danielle Breault Stuebing  
Director of Community Outreach Services  
519-776-5209 ext. 352 [dstuebing@erca.org](mailto:dstuebing@erca.org)

Peter Baldwin  
Communications & Events Specialist  
519-776-5209 ext. 367 [pbaldwin@erca.org](mailto:pbaldwin@erca.org)

In light of the recent municipal election, the Council of the Corporation of the Town of Kearney passed the following resolution in regard to the creation, maintenance and general quality of the Municipal Voters' List:

**Resolution #**

**10.(d)(iii)/21/11/2018**

**WHEREAS** concern over the quality of the Municipal Voters' List is not a new phenomenon;  
**AND WHEREAS** in 2012, the Association of Municipal Managers, Clerks and Treasurers of Ontario (AMCTO) published a "Voters' List Position Paper" and since that time has been advocating for transformational changes to the way that Ontario creates and maintains the Voters' List for municipal elections;  
**AND WHEREAS** the Preliminary List of Electors which forms the Voters' List in Ontario is supplied by data from the Municipal Property Assessment Corporation (MPAC);  
**AND WHEREAS** despite the incremental changes made by MPAC, MPAC has a limited ability to fix the currency and accuracy issues that impairs the current process and the Voters' List continues to be flawed with data inaccuracies and outdated information;  
**AND WHEREAS** a transformational solution to the way that the Voters' List is created and managed is required;  
**NOW THEREFORE BE IT RESOLVED** that the Council of the Corporation of the Town of Kearney supports the re-establishment of the multi-stakeholder working group between the Ministry of Municipal Affairs, Ministry of Finance, AMCTO, MPAC and Elections Ontario in exploring and identifying ways to create and maintain the Voters' List for Municipal Elections;  
**AND FURTHER** Council requests an update be provided from this 'Voters' List Working Group' on the transformational solutions being discussed;  
**AND FURTHER** that this resolution be circulated to all Ontario Municipalities for their consideration and support.

**CARRIED**

We hope that this resolution will be of interest to your Municipality, and that you will support this endeavour moving forward.

Sincerely,

*Cindy Filmore*

Senior Office Assistant  
Town of Kearney  
Ph# (705) 636-7752  
Fax (705) 636-0527



# Municipality of Northern Bruce Peninsula

56 Lindsay Road 5, R.R. #2, Lion's Head, ON N0H 1W0  
Telephone: (519) 793-3522 • Fax: (519) 793-3823  
[www.northbrucepeninsula.ca](http://www.northbrucepeninsula.ca)

December 4, 2018

TOWN OF KEARNEY  
8 MAIN STREET  
KEARNEY, ON  
P0A 1M0

Att: Cindy Filmore

Dear Ms. Filmore:

Re: The Creation, Maintenance and General Quality of the Municipal  
Voters' List

The resolution received by the Town of Kearney (attached), was reviewed by the Council of the Municipality of Northern Bruce Peninsula on December 3, 2018, relating to the above noted item. At this meeting, Resolution # 28-07-2018 was carried and adopted by Council:

"THAT Council supports the attached resolution No. 10.(d)(iii)/21/11/2018 from The Corporation of the Town of Kearney in regards to the creation, maintenance and general quality of the municipal voters' list. "

The above is being provided for your information.

Yours truly,

A handwritten signature in black ink, reading "Mary Lynn Standen". The signature is written in a cursive style with a large, stylized 'M' and 'S'.

Mary Lynn Standen  
Clerk

Encl.

**Subject:**

Council Resolution re Voters' List for Municipal Elections

Good afternoon,

In light of the recent municipal election, the Council of the Corporation of the Town of Kearney passed the following resolution in regard to the creation, maintenance and general quality of the Municipal Voters' List:

**Resolution #**

**10.(d)(iii)/21/11/2018**

**WHEREAS** concern over the quality of the Municipal Voters' List is not a new phenomenon;  
**AND WHEREAS** in 2012, the Association of Municipal Managers, Clerks and Treasurers of Ontario (AMCTO) published a "Voters' List Position Paper" and since that time has been advocating for transformational changes to the way that Ontario creates and maintains the Voters' List for municipal elections;

**AND WHEREAS** the Preliminary List of Electors which forms the Voters' List in Ontario is supplied by data from the Municipal Property Assessment Corporation (MPAC);

**AND WHEREAS** despite the incremental changes made by MPAC, MPAC has a limited ability to fix the currency and accuracy issues that impairs the current process and the Voters' List continues to be flawed with data inaccuracies and outdated information;

**AND WHEREAS** a transformational solution to the way that the Voters' List is created and managed is required;

**NOW THEREFORE BE IT RESOLVED** that the Council of the Corporation of the Town of Kearney supports the re-establishment of the multi-stakeholder working group between the Ministry of

Municipal Affairs, Ministry of Finance, AMCTO, MPAC and Elections Ontario in exploring and identifying ways to create and maintain the Voters' List for Municipal Elections;

**AND FURTHER** Council requests an update be provided from this 'Voters' List Working Group' on the transformational solutions being discussed;

**AND FURTHER** that this resolution be circulated to all Ontario Municipalities for their consideration and support.

**CARRIED**

We hope that this resolution will be of interest to your Municipality, and that you will support this endeavour moving forward.

Sincerely,

*Cindy Filmore*

Senior Office Assistant  
Town of Kearney  
Ph# (705) 636-7752  
Fax (705) 636-0527



# **THE CORPORATION OF THE TOWN OF KINGSVILLE**

## **BY-LAW 124-2018**

**Being a by-law under the Municipal Act, 2001, Part 13, Section 408; to authorize the issue of two series of debentures to consolidate the financing of construction and/or maintenance of numerous drains all in the Town of Kingsville.**

**WHEREAS** by By-Law number 70-2014 the Town of Kingsville did authorize the culvert replacement on the 3<sup>rd</sup> Concession Road Drain East of the West Townline Drain;

**WHEREAS** by By-Law number 77-2018 the Town of Kingsville did authorize the maintenance on the 8<sup>th</sup> Concession Road Drain, 9<sup>th</sup> Concession Road Drain, Armstrong Drain, Ash Billings Drain, Billings Relief Drain, Burstyn Drain, Cameron Road Drain, Centre Branch of the No. 47 Drain, Chesley-Sarnes Drain, Church Drain, Clark Subdivision Drain, Conklin Drain, Cottam Outlet Drain, Cottam Sideroad Drain, Dornton Drain, East Branch of the No. 47 Drain, East Townline Drain, Ferguson Tytgat Drain, Gilboe Drain, Graham Sideroad Drain, Henderson Drain, Kokovai Drain, Kunch Drain, Lovelace Drain, McCain Sideroad Branch of No. 47 Drain, McDonald Drain, Melville Bruner Drain, Middleton Drain, Morley Wigle Drain, Moroun Pump Station, North Branch of the East Branch of the No. 47 Drain, North Townline Drain East of Belle River, Patterson Drain, Rose Branch of Billings Drain, Ruscom River Drain, Scott Taylor Drain, Steckles Drain, Sweetman Knister Drain, Tully Drain and Branch, Upcott Drain, Vanduinhoven Drain, West Townline Drain – Lower Portion, West Townline Drain – Upper Portion;

**AND WHEREAS** the portions payable by the owners were confirmed and final notices were mailed to the benefiting owners outlining the final time and place for paying the debt in full;

**AND WHEREAS** the portion to be financed is \$176,610.07;

**AND WHEREAS** it is intended that the unpaid balance shall be borrowed by the Corporation upon the credit of the Corporation.

**NOW THEREFORE THE MUNICIPAL COUNCIL OF THE CORPORATION OF THE TOWN OF KINGSVILLE ENACTS AS FOLLOWS:**

1. That for the purpose of borrowing the said sum of \$176,610.07, debentures of the Corporation of a like amount shall be issued therefore in sums of not less than One Thousand Dollars (\$1,000.00) each.
2. The first series of debentures shall be dated December 11<sup>th</sup>, 2018 and shall be payable in two (2) annual installments of principal on the 31<sup>st</sup> day of July in each of the years 2019 and 2020 inclusive and shall bear interest at a rate of four point two five per cent (4.25%) per annum payable annually on July 31<sup>st</sup> beginning on July 31<sup>st</sup>, 2019 for the length of the issue ending July 31<sup>st</sup>, 2020. The respective amounts of principal and interest payable in each of such years shall be set forth in Schedule "A" hereto annexed and forming part of this by-law.
3. The second series of debentures shall be dated December 11<sup>th</sup>, 2018 and shall be payable in five (5) annual installments of principal on the 31<sup>st</sup> day of July in each of the years 2019 and 2023 inclusive and shall bear interest at a rate of four point two five per cent (4.25%) per annum payable annually on July 31<sup>st</sup> beginning on July 31<sup>st</sup>, 2019 for the length of the issue ending July 31<sup>st</sup>, 2023. The respective amounts of principal and interest payable in each of such years shall be set forth in Schedule "B" hereto annexed and forming part of this by-law.

4. The debentures shall be in fully registered form. They shall be payable as to both principal and interest in lawful money of Canada at the TD Canada Trust Bank in the Town of Kingsville.
5. The debentures shall be sealed with the seal of the Corporation and signed by the Head of Council and the Director of Financial Services or his designate.

**READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS  
10<sup>th</sup> DAY OF DECEMBER, 2018.**

\_\_\_\_\_  
**MAYOR, Nelson Santos**

\_\_\_\_\_  
**CLERK, Jennifer Astrologo**

SCHEDULE 'A'



2021 Division Road North  
Kingsville, Ontario N9Y 2Y9  
(519) 733-2305  
[www.kingsville.ca](http://www.kingsville.ca)

**DEBENTURE AMORTIZATION SCHEDULE**  
**Town of Kingsville ELK Annuity Fund**

Municipal Drains		Various Projects	
By-Law:	124-2018	By-Law Passed:	December 10, 2018
Principal:	\$112,319.47	Payments per Year:	1
Annual Interest Rate:	4.25%	Number of Regular Payments:	2
Payment Date:	July 31st	Payment Amount:	\$59,764.75

Cheque No.:	Year	Annual Payment	Principal	Interest	Principal Balance
	2019	\$59,764.75	\$54,991.17	\$4,773.58	\$57,328.30
	2020	\$59,764.75	\$57,328.30	\$2,436.45	\$0.00

\* Final payment adjustment due to rounding made to interest component.

Amortization Schedule Prepared By:

**Ryan McLeod, CPA, CA**  
**Director of Financial Services**



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**DEBENTURE AMORTIZATION SCHEDULE**  
**Town of Kingsville ELK Annuity Fund**

Municipal Drains		Various Projects	
By-Law:	124-2018	By-Law Passed:	December 10, 2018
Principal:	\$64,290.60	Payments per Year:	1
Annual Interest Rate:	4.25%	Number of Regular Payments:	5
Payment Date:	July 31st	Payment Amount:	\$14,542.99

Cheque No.:	Year	Annual Payment	Principal	Interest	Principal Balance
	2019	\$14,542.99	\$11,810.64	\$2,732.35	\$52,479.96
	2020	\$14,542.99	\$12,312.59	\$2,230.40	\$40,167.37
	2021	\$14,542.99	\$12,835.88	\$1,707.11	\$27,331.49
	2022	\$14,542.99	\$13,381.40	\$1,161.59	\$13,950.09
	2023	\$14,542.99	\$13,950.09	\$592.90	\$0.00

\* Final payment adjustment due to rounding made to interest component.

Amortization Schedule Prepared By:

**Ryan McLeod, CPA, CA**  
**Director of Financial Services**

THE CORPORATION OF THE TOWN OF KINGSVILLE

BY-LAW 129-2018

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*Being a By-law to amend By-law No. 1-2014,  
the Comprehensive Zoning By-law for the Town of Kingsville*

**WHEREAS** By-law No. 1-2014 is the Town's Comprehensive Zoning By-law to regulate the use of land and the character, location and use of buildings and structures in the Town of Kingsville;

**AND WHEREAS** the Council of the Corporation of the Town of Kingsville deems it expedient and in the best interest of proper planning to further amend By-law No. 1-2014 as herein provided;

**AND WHEREAS** there is an Official Plan in effect in the Town of Kingsville and this By-law is deemed to be in conformity with the Town of Kingsville Official Plan;

**NOW THEREFORE THE COUNCIL FOR THE CORPORATION OF THE TOWN OF KINGSVILLE ENACTS AS FOLLOWS:**

1. Schedule "A", Map 25 of By-law 1-2014 is hereby amended by changing the zone symbol on an approximately 15.67 ha (38.714 ac.) portion of land, known municipally as 882 County Road 8, in Part Lot 25, Concession 2, Except Part 1 on 12R8986, as shown on Schedule 'A' in cross-hatch attached hereto from 'Agriculture (A1)' to 'Agriculture - Restricted (A2)'.
2. This by-law shall come into force and take effect from the date of passing by Council and shall come into force in accordance with Section 34 of the Planning Act.

READ a FIRST, SECOND and THIRD time and FINALLY PASSED this 10<sup>th</sup> day of December, 2018.

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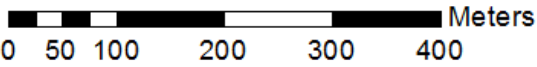
**MAYOR, Nelson Santos**

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**CLERK, Jennifer Astrologo**



Schedule A



**882 County Road 8**  
**Part Lot 25 CON 2 Except PT 1 12R8986**  
**ZBA/34/18**



Schedule "A", Map 25 of By-law 1-2014 is hereby amended by changing the zone symbol as shown on Schedule 'A' in cross-hatch attached hereto from 'Agriculture (A1)' to 'Agriculture - Restricted (A2)'.

# THE CORPORATION OF THE TOWN OF KINGSVILLE

## BY-LAW 130 - 2018

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### Being a By-law to confirm the proceedings of the Council of The Corporation of the Town of Kingsville at its December 10, 2018 Regular Meeting

**WHEREAS** sections 8 and 9 of the *Municipal Act, 2001* S.O. 2001 c. 25, as amended, (the "Act") provides that a municipality has the capacity, rights, powers and privileges of a natural person for the purpose of exercising the authority conferred upon a municipality to govern its affairs as it considers appropriate.

**AND WHEREAS** section 5(3) of the Act provides that such power shall be exercised by by-law, unless the municipality is specifically authorized to do so otherwise.

**AND WHEREAS** it is deemed expedient that the proceedings of the Council of The Corporation of the Town of Kingsville (the "Town") be confirmed and adopted by by-law.

### **NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF KINGSVILLE ENACTS AS FOLLOWS:**

1. The actions of the Council at its December 10, 2018 Regular Meeting in respect of each report, motion, resolution or other action taken or direction given by the Council at its meeting, is hereby adopted, ratified and confirmed, as if each resolution or other action was adopted, ratified and confirmed by its separate by-law.
2. The Chief Administrative Officer and/or the appropriate officers of the Town are hereby authorized and directed to do all things necessary to give effect to the actions set out in paragraph 1, or obtain approvals, where required, and, except where otherwise provided, the Mayor and the Clerk are hereby directed to execute all documents necessary and to affix the corporate seal to all such documents.
3. This By-Law comes into force and takes effect on the day of the final passing thereof.

**READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS  
10<sup>th</sup> DAY OF DECEMBER, 2018.**

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**MAYOR, Nelson Santos**

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**CLERK, Jennifer Astrologo**